

AMBLEVIEW ESTATES
PRELIMINARY PLANS

A PARCEL OF LAND LOCATED IN THE NORTHEAST
QUARTER OF SECTION 2, TOWNSHIP 9 SOUTH,
RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN,

ELK RIDGE, UTAH

PROJECT LOCATION: 11200 SOUTH ELK RIDGE DRIVE

prepared for:

CADENCE HOMES

3400 NORTH ASHTON BLVD SUITE #180

LEHI , UT 84043

prepared by:

TRANE ENGINEERING

27 EAST MAIN STREET

LEHI, UT 84043

PHONE: (801) 768-4544

GENERAL NOTES:

- General Construction Notes:
1. All Mainline piping shall be placed with a minimum of 4'-0" cover over the top of the pipe. Gas lines shall be placed with a minimum of 2'-0" cover.
 2. All new culinary water and pressurized irrigation main line pipe shall be PVC C900 DR 18 class 150 unless otherwise approved by the city.
 3. All new culinary water and pressurized irrigation main line pipe shall be 8" in diameter.
 4. A minimum of 50 PSI static pressure shall be required at all points in the culinary water system within the boundaries of all new subdivisions.
 5. Culinary water service meter boxes shall be located within the 2' strip between the sidewalk and the property line. Meters shall be located only in landscaped areas.
 6. The minimum required fire flow at the fire hydrant locations shall be 1500 GPM.
 7. When required, pressure reducing valve vaults (PRV) shall be located as directed by the City or City Engineer. The City or City Engineer shall provide the contractor with the appropriate downstream pressure setting.
 8. Fire hydrants shall be located at all intersections. The maximum spacing between fire hydrants shall not exceed 500' measured along a public right-of-way.
 9. Air pressure testing dry culinary water or pressurized irrigation pipe lines shall be in accordance with manufacturers recommendations.
 10. Only City personnel shall open and close city water valves, unless otherwise approved in writing by the City.
 11. All water samples for culinary water testing shall be collected and delivered by City personnel. The contractor shall pay for the testing expense.
 12. Tapping into water lines shall not be allowed in groundwater or mud.
 13. All culinary water and pressurized irrigation mainline valves shall be located in line with corner lot property lines. The number of valves shall be as follows: 90° ELL -1 valve Tee -2 valves Cross -3 valves Additional valves may be required by the City.
 14. ELK RIDGE City shall reserve the right to require the developer to submit a soils investigation report that has been prepared by a registered professional engineer. If in the opinion of the City staff or the City Engineer, the development site contains questionable soils or high water table.
 15. All mainline sewer piping sizes 8" to 15" shall be PVC and shall be supplied in lengths no longer than 13'. Main line pipe sizes 18" and larger shall be reinforced concrete pipe.
 16. All sewer service laterals taps on existing lines shall be "insert-a-tee-type" connections.
 17. The maximum depth of any cul-de-sac shall be 400' measured from the start of the road to the beginning of the cul-de-sac. The radius of all cul-de-sacs shall be 50' measured from the center of the cul-de-sac to the top back of curb.
 18. The contractor shall provide, install, and maintain all road construction, barricades, channeling devices, and construction signs in accordance with the Manual of Uniform Traffic Control Devices (MUTCD) for road construction activities.
 19. Traffic access shall be maintained for local residents to properties along construction boundaries.
 20. Work performed with the State Highway rights-of-way shall conform to State of Utah specifications for excavation on State Highway prepared by the Department of Transportation.
 21. All debris resulting from work on the project shall be disposed of by the contractor. The contractor shall make appropriate arrangements for disposal sites at which debris may be lawfully disposed.
 22. No open burning of construction debris shall be allowed.
 23. The contractor shall provide mailboxes and posts according to US Postal Service standards and shall place them in the planter strips at locations designated by the City.
 24. Developers are required to install a minimum of half the right-of-way plus 12'.

BENCHMARK

EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 9S, RANGE 2E
ELEVATION = 4577.63



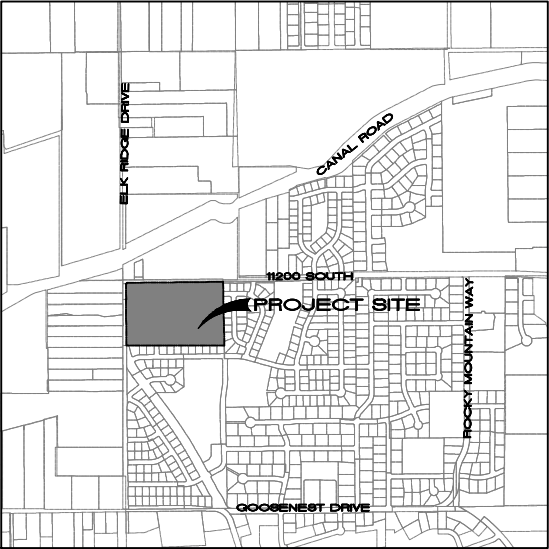
UTILITIES AND SERVICES

NATURAL GAS DOMINION
ELECTRIC SESD
TELEPHONE CENTURYLINK
CABLE TELEVISION COMCAST

LAND USE:	
PLAT "A" =	18.76 ACRES
ZONING=	R-12
TOTAL LOTS=	40 LOTS
ACREAGE IN LOTS=	12.09 ACRES
ACREAGE IN ROW=	4.37 ACRES
ACREAGE COMMERCIAL=	2.3 ACRES
DENSITY OVERALL =	2.43 LOTS/ACRE

SHEET INDEX

SHEET NO.	SHEET NAME
1	COVER SHEET / INDEX SHEET
2	UTILITY PLAN
3	GRADING PLAN
4	AMBLEVIEW WAY PLAN & PROFILE SHEET
5	HORIZON VIEW PLAN & PROFILE SHEET
6	1200 SOUTH PLAN & PROFILE SHEET
7	350 EAST PLAN & PROFILE SHEET
8	SWPPP
PLAT	PRELIMINARY PLAT



VICINITY MAP
NTS



REVISIONS			
NO.	DATE	DESCRIPTION	BY
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2			
3			
4			

DESIGNED BY:	TGT
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CHECK BY:	TGT
DATE:	7/19/21
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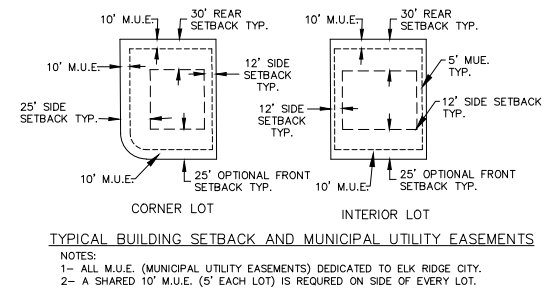
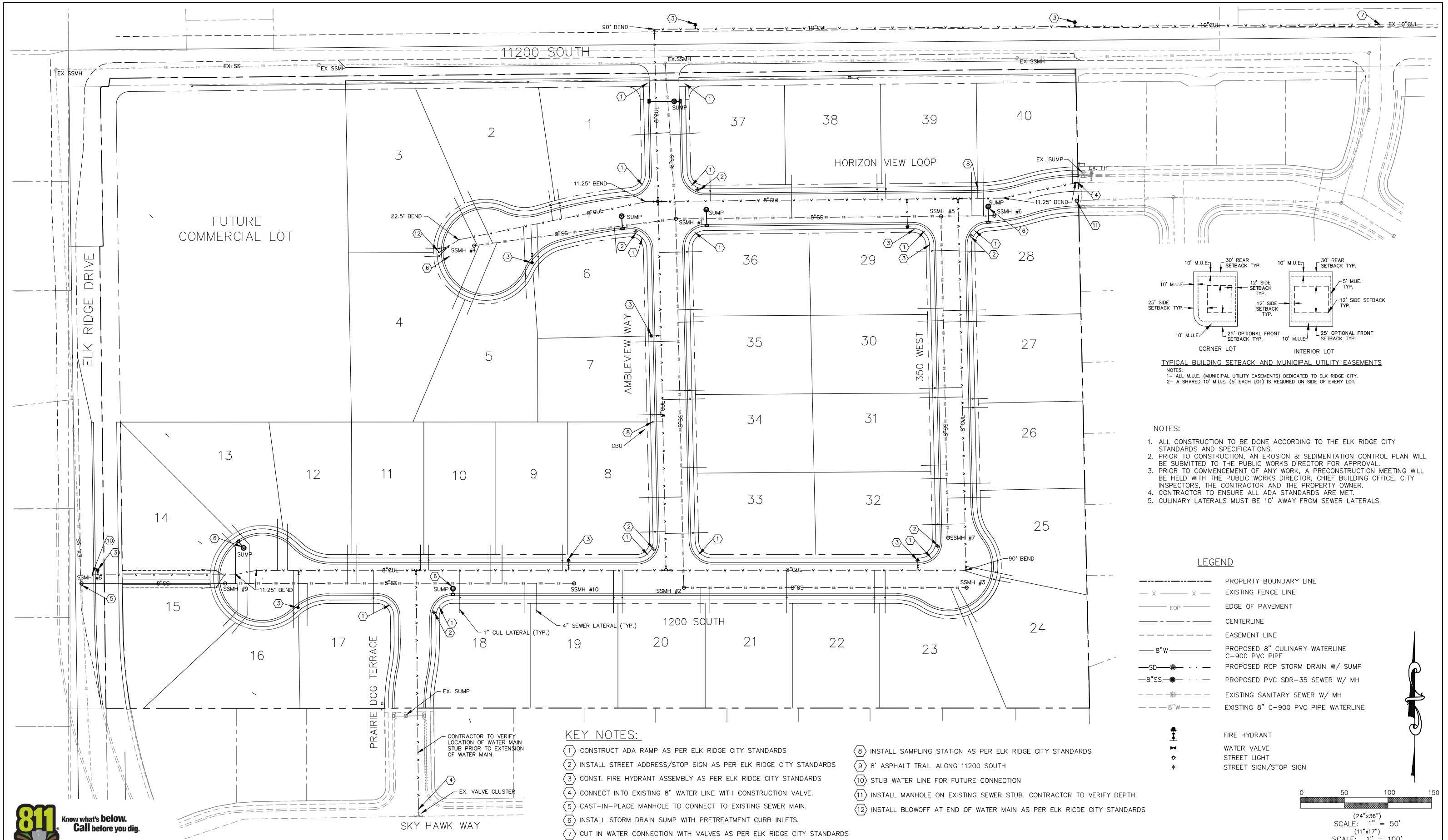
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CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

ELK RIDGE, UTAH

AMBLEVIEW ESTATES
A RESIDENTIAL SUBDIVISION

COVER

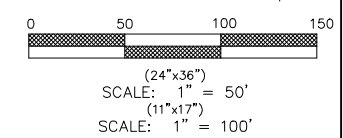
JOB CA-ELK RIDGE
SHEET NO. 1



- NOTES:
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE ELK RIDGE CITY STANDARDS AND SPECIFICATIONS.
 2. PRIOR TO CONSTRUCTION, AN EROSION & SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
 3. PRIOR TO COMMENCEMENT OF ANY WORK, A PRECONSTRUCTION MEETING WILL BE HELD WITH THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICE, CITY INSPECTORS, THE CONTRACTOR AND THE PROPERTY OWNER.
 4. CONTRACTOR TO ENSURE ALL ADA STANDARDS ARE MET.
 5. CULINARY LATERALS MUST BE 10' AWAY FROM SEWER LATERALS

- LEGEND
- PROPERTY BOUNDARY LINE
 - X - X - EXISTING FENCE LINE
 - EOP --- EDGE OF PAVEMENT
 - CENTERLINE
 - EASEMENT LINE
 - 8"W --- PROPOSED 8" CULINARY WATERLINE C-900 PVC PIPE
 - SD --- PROPOSED RCP STORM DRAIN W/ SUMP
 - 8"SS --- PROPOSED PVC SDR-35 SEWER W/ MH
 - EXISTING SANITARY SEWER W/ MH
 - 8"W --- EXISTING 8" C-900 PVC PIPE WATERLINE
 - Fire Hydrant Symbol --- FIRE HYDRANT
 - Water Valve Symbol --- WATER VALVE
 - Street Light Symbol --- STREET LIGHT
 - Street Sign/Stop Sign Symbol --- STREET SIGN/STOP SIGN

- KEY NOTES:
1. CONSTRUCT ADA RAMP AS PER ELK RIDGE CITY STANDARDS
 2. INSTALL STREET ADDRESS/STOP SIGN AS PER ELK RIDGE CITY STANDARDS
 3. CONST. FIRE HYDRANT ASSEMBLY AS PER ELK RIDGE CITY STANDARDS
 4. CONNECT INTO EXISTING 8" WATER LINE WITH CONSTRUCTION VALVE.
 5. CAST-IN-PLACE MANHOLE TO CONNECT TO EXISTING SEWER MAIN.
 6. INSTALL STORM DRAIN SUMP WITH PRETREATMENT CURB INLETS.
 7. CUT IN WATER CONNECTION WITH VALVES AS PER ELK RIDGE CITY STANDARDS
 8. INSTALL SAMPLING STATION AS PER ELK RIDGE CITY STANDARDS
 9. 8' ASPHALT TRAIL ALONG 11200 SOUTH
 10. STUB WATER LINE FOR FUTURE CONNECTION
 11. INSTALL MANHOLE ON EXISTING SEWER STUB, CONTRACTOR TO VERIFY DEPTH
 12. INSTALL BLOWOFF AT END OF WATER MAIN AS PER ELK RIDGE CITY STANDARDS



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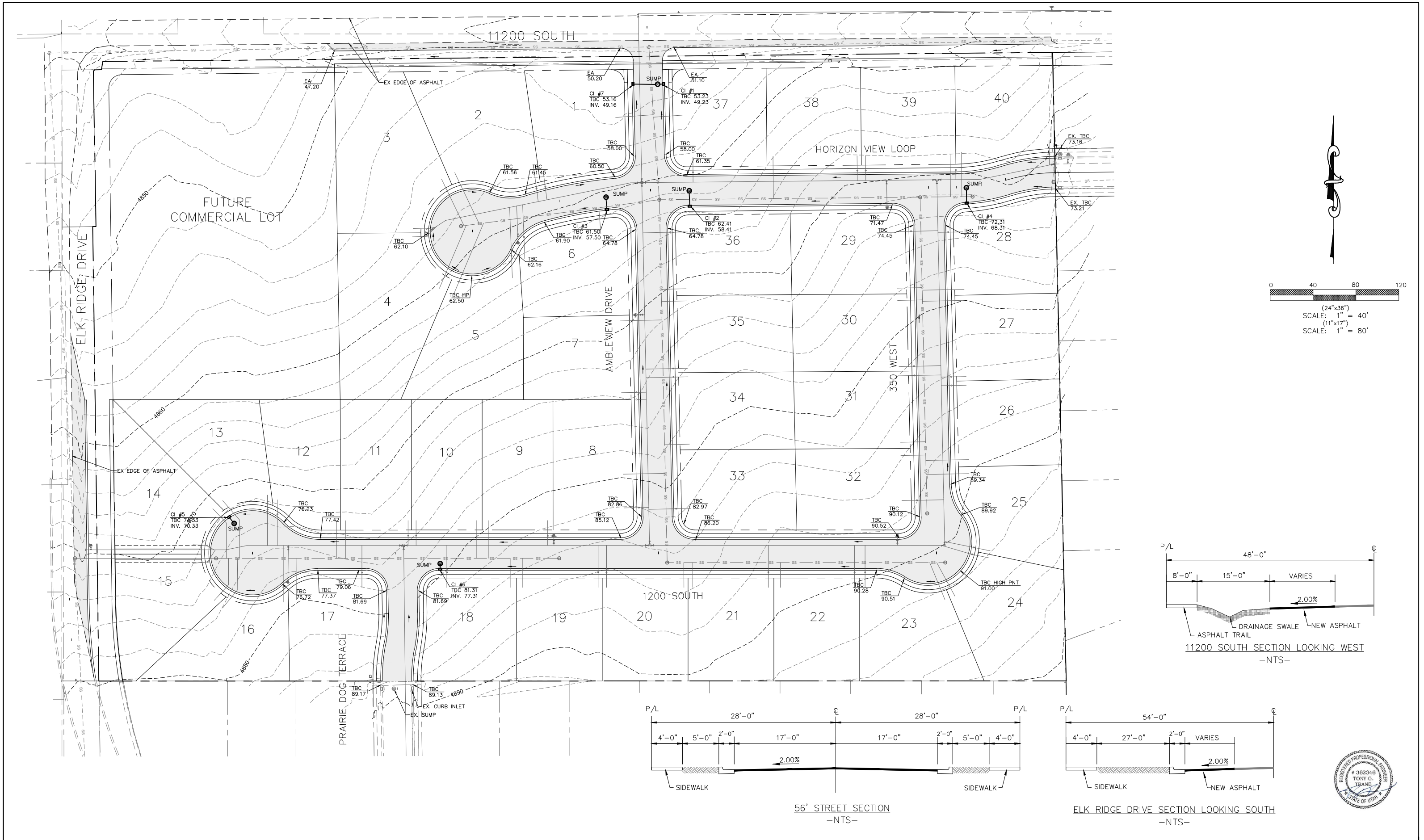
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ELK RIDGE, UTAH

AMBLEVIEW ESTATES
A RESIDENTIAL SUBDIVISION

UTILITY

JOB
GS SALEM
SHEET NO.
2



REVISIONS			
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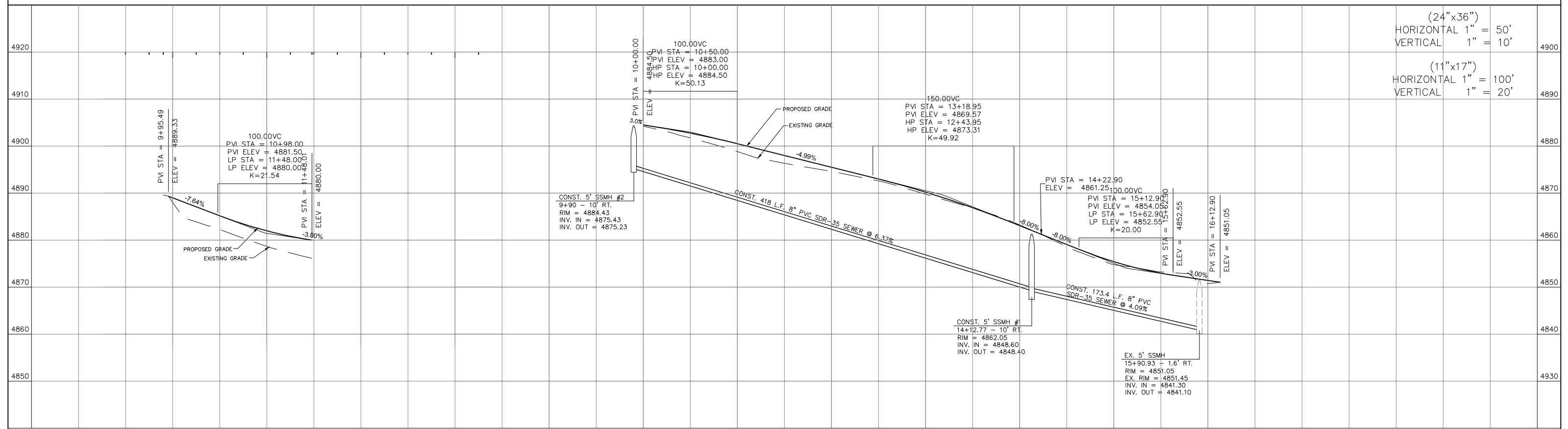
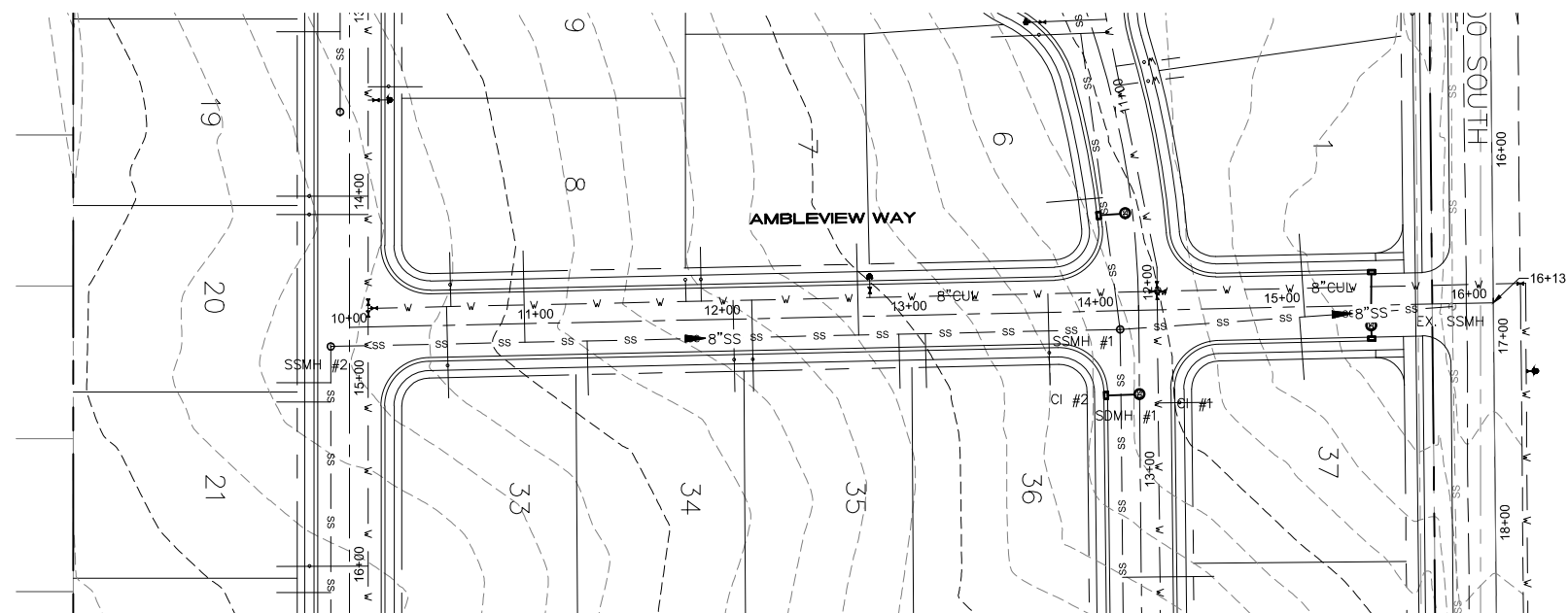
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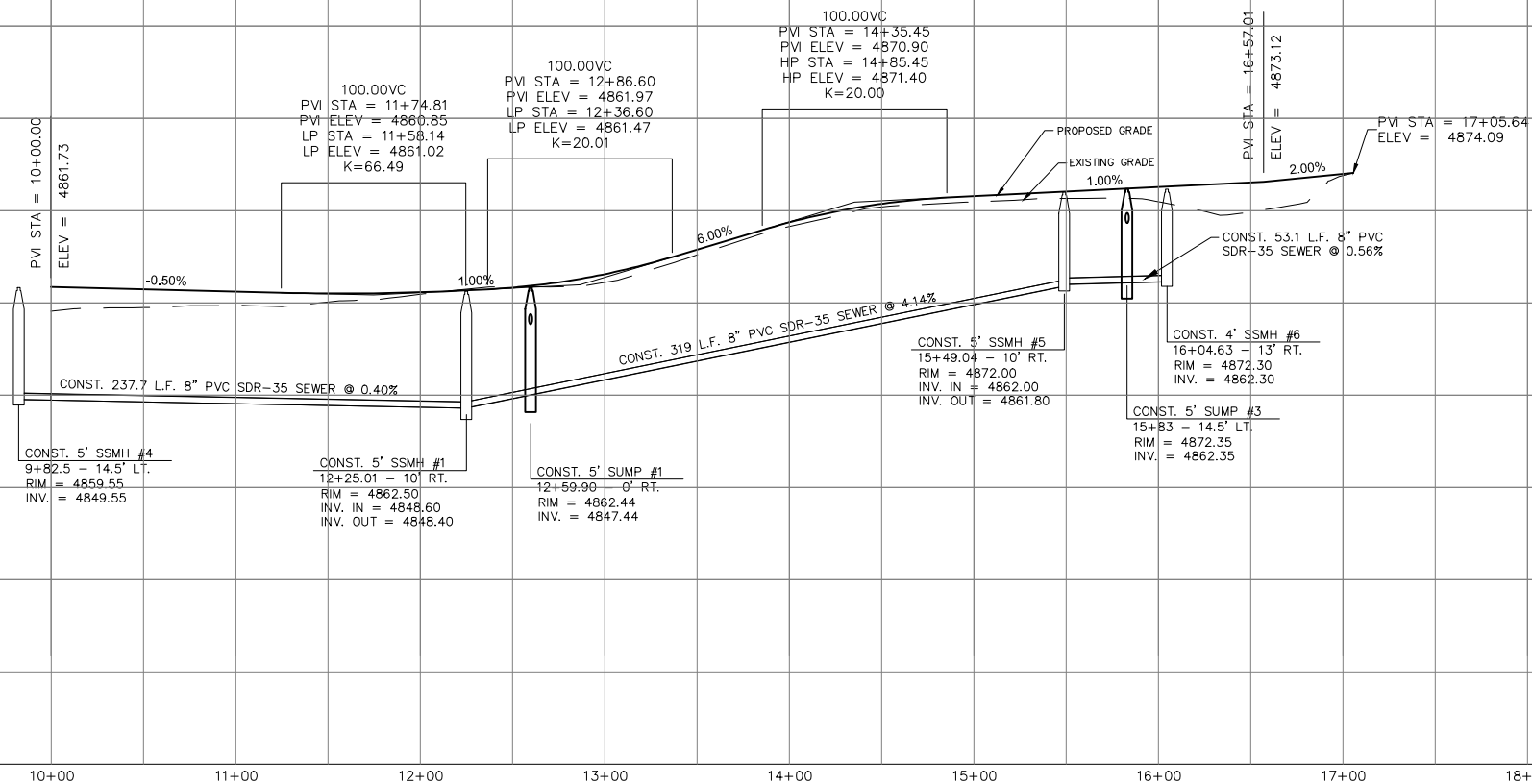
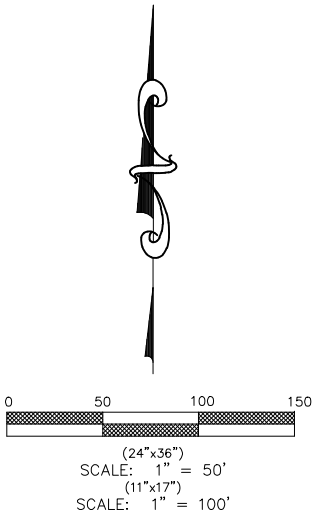
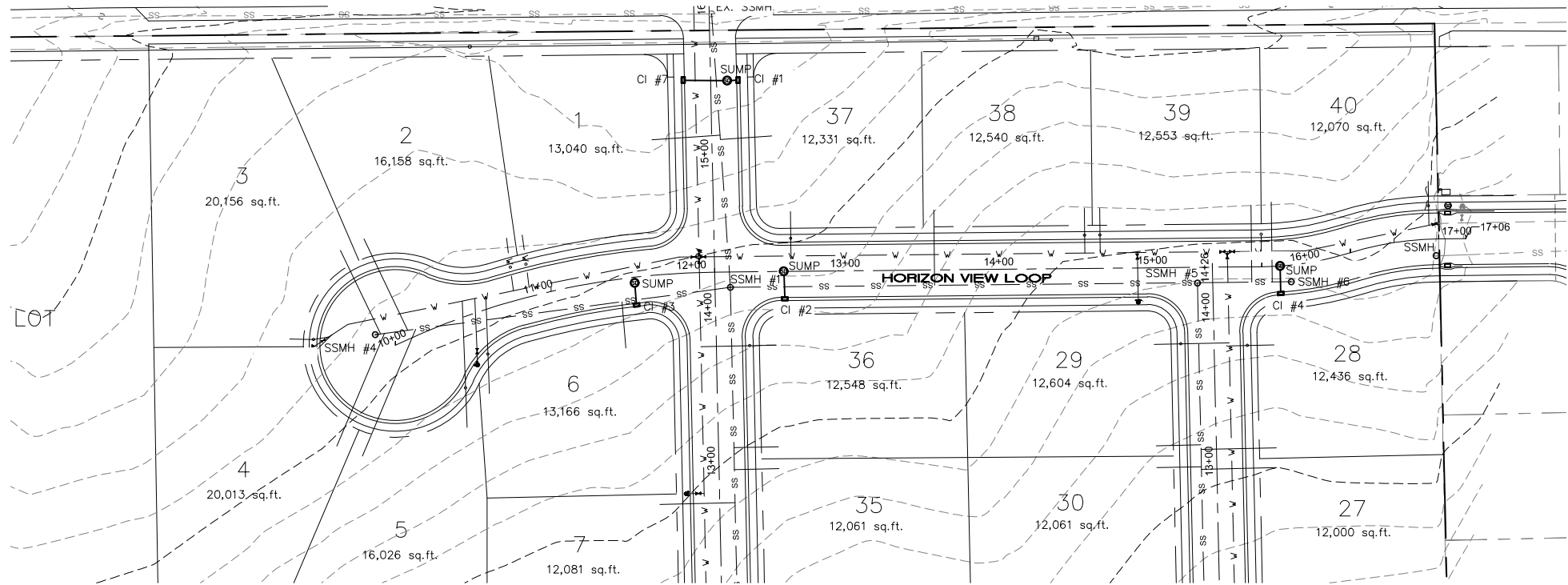
ELK RIDGE, UTAH

AMBLEVIEW ESTATES
A RESIDENTIAL SUBDIVISION

GRADING AND DRAINAGE

JOB
CB-SALEM
SHEET NO.
3





(24"x36")
HORIZONTAL 1" = 50'
VERTICAL 1" = 10'

(11"x17")
HORIZONTAL 1" = 100'
VERTICAL 1" = 20'

REVISIONS			
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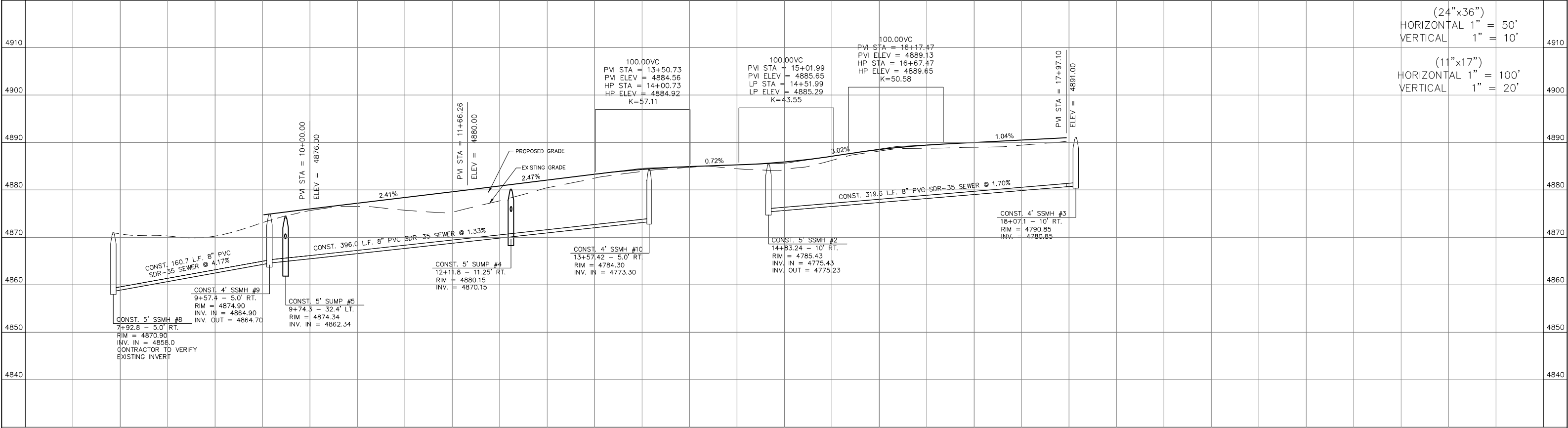
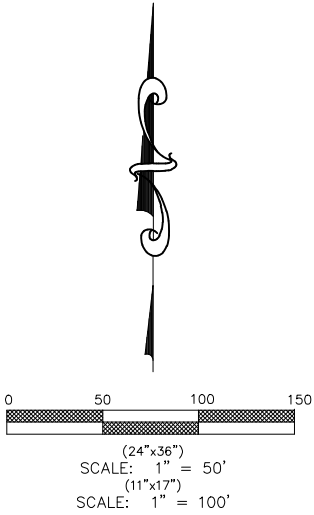
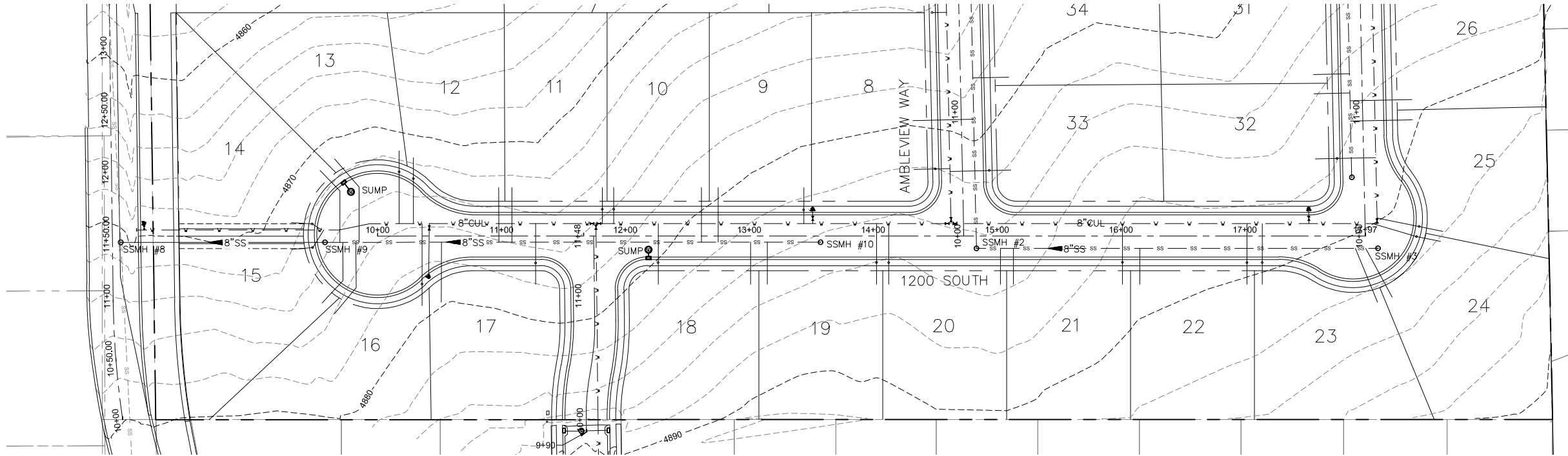
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A RESIDENTIAL SUBDIVISION

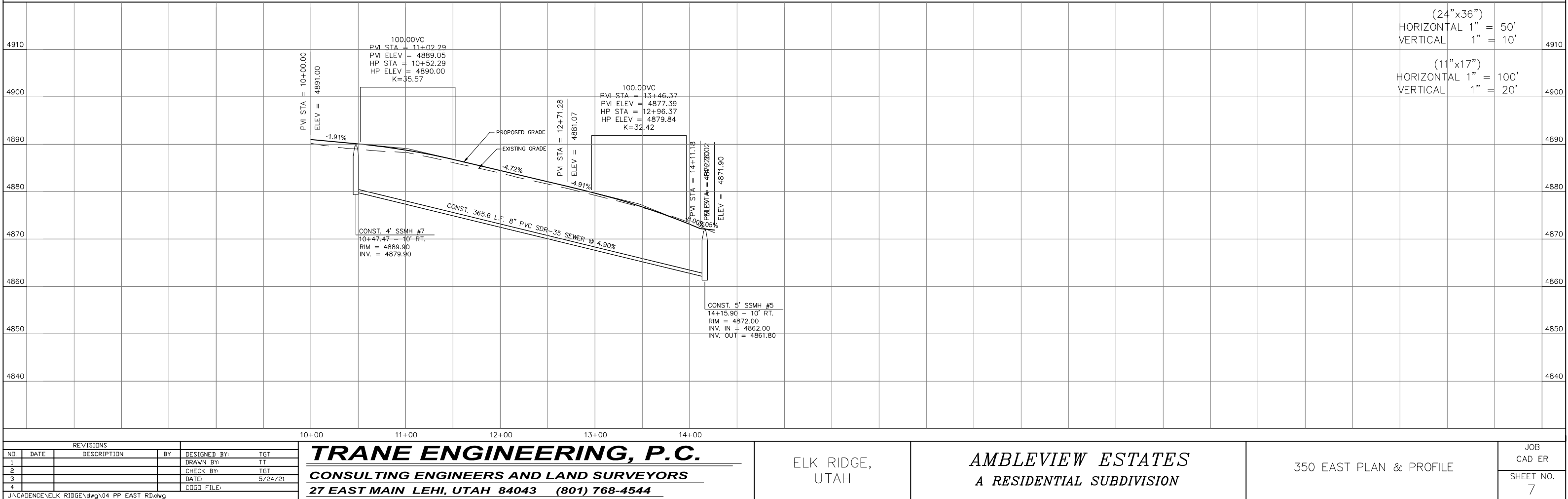
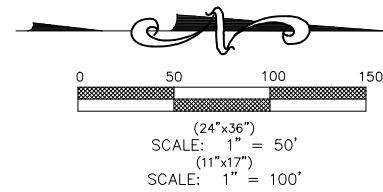
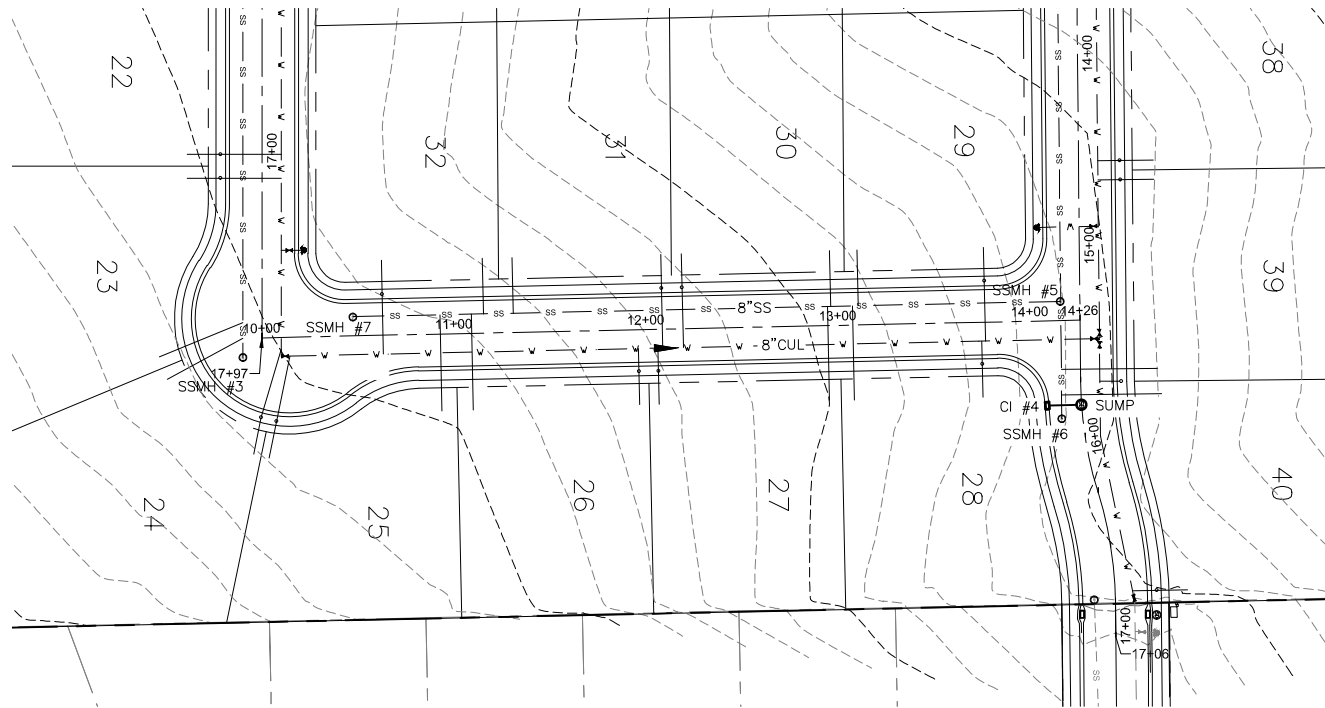
HORIZON VIEW LOOP PLAN & PROFILE

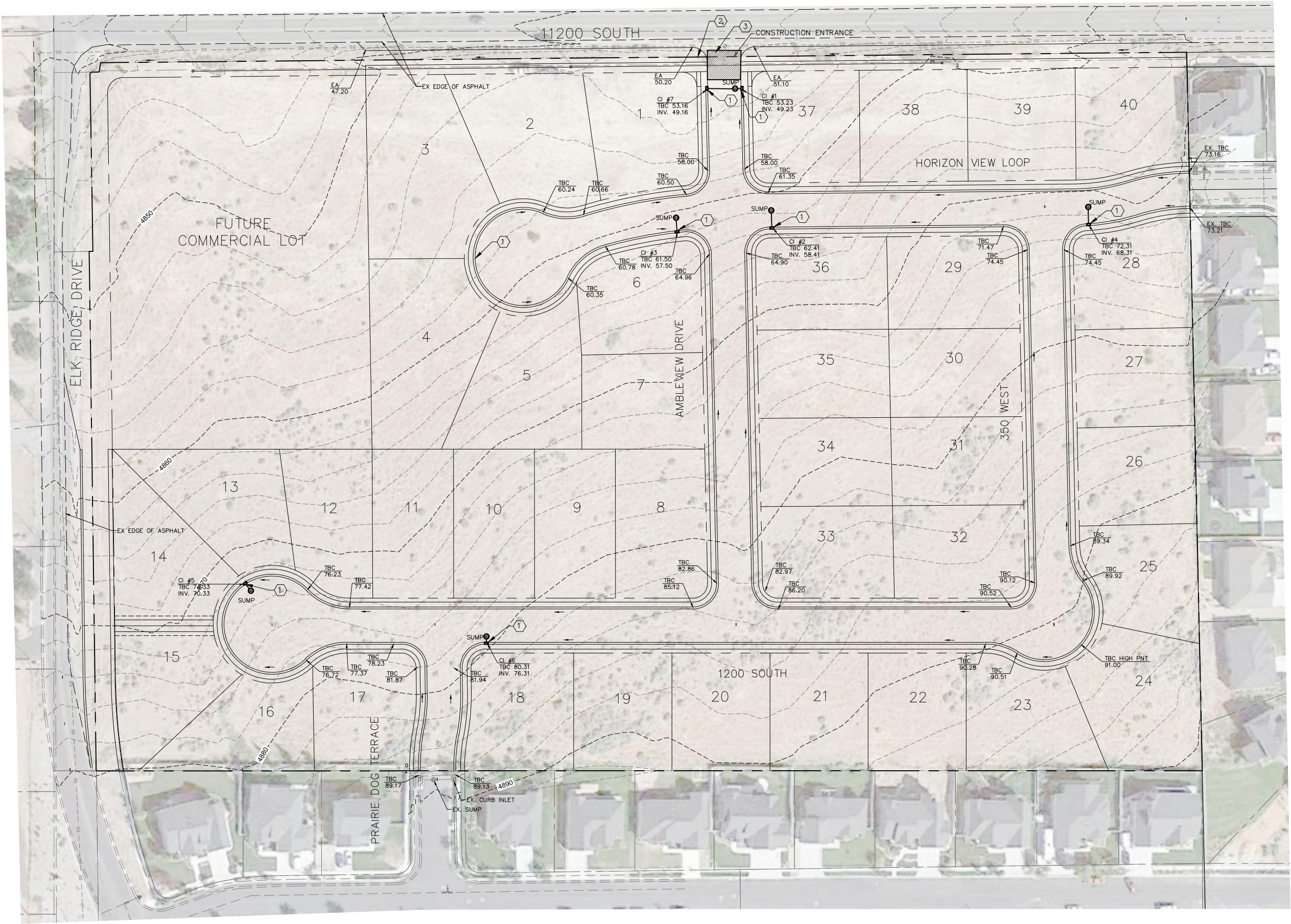
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SHEET NO.
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TRANE ENGINEERING, P.C.				ELK RIDGE, UTAH				AMBLEVIEW ESTATES				SOUTH ROAD PLAN & PROFILE				JOB CAD ER			
CONSULTING ENGINEERS AND LAND SURVEYORS								A RESIDENTIAL SUBDIVISION								SHEET NO.			
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544																6			





STORM WATER MANAGEMENT PLAN

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE ELK RIDGE CITY STANDARDS AND SPECIFICATIONS
2. THE CONTRACTOR IS TO FOLLOW THE BMP DETAILS AS OUTLINED AND ACCORDING TO SALEM CITY STANDARDS.
3. CONTRACTOR SHALL TAKE REASONABLE EFFORT TO LIMIT MUD AND SEDIMENT CARRIED ONTO CITY STREETS FROM THE CONSTRUCTION SITE AND REMOVE ANY PRIOR TO THE CLOSE OF EACH WORK DAY.
4. CONTRACTOR TO COORDINATE CONSTRUCTION FENCING.

KEYED NOTES

- ① INSTALL PROTECTION ACCORDING TO ELK RIDGE CITY STANDARDS
- ② INSTALL CONTRACTOR ENTRANCE SIGN ACCORDING TO ELK RIDGE CITY STANDARDS
- ③ TRAP ROCK TO BE INSTALLED AS PER CITY STANDARDS TO AID IN THE REMOVAL OF MUD AND SEDIMENT FROM TIRES AT THE ENTRANCE OF THE EXCAVATION AREA

INLET PROTECTION

1. INSTALL SILT FENCE OR STRAW BALE SEDIMENT BARRIER OR EQUIVILANT MEASURE AROUND STORM DRAIN INLETS.
2. INSPECT INLET PROTECTION AFTER STORM EVENT.
3. UPON COMPLETION OF CURB AND GUTTER, PROTECT INLETS WITH FILTER FABRIC AND COURSE GRAVEL OR EQUIVALENT MEASURE.

CONSTRUCTION ENTRANCE

1. CONSTRUCTION ENTRANCE TO BE INSTALLED WITH CRUSHED STONE AT A LOCATION WHERE TRUCKS LEAVE THE SITE TO A PAVED SURFACE.
2. PROVIDE BERMING AT WASH AREA AS NEEDED TO PREVENT SOIL LADEN WASH WATER FROM ENTERING THE STORM WATER FACILITIES.
3. GRAVEL AREA TO BE OF SUFFICIENT SIZE TO ACCOMMODATE THE TRAFFIC.

STORAGE AREA

1. CONTROL STORAGE OF ONSITE MATERIALS TO A DESIGNATED AREA WITH NO DRAINAGE OR WATERWAYS NEARBY.
2. ENSURE ALL ONSITE PERSONNEL UTILIZE DESIGNATED STORAGE AREA. DO NOT STORE EXCESSIVE AMOUNTS OF MATERIALS THAT WILL NOT BE UTILIZED ON SITE.
3. COVER MATERIALS WHEN OUTSIDE THE STORAGE AREA OR WHEN NOT IN USE AND PROTECT STORM DRAIN SYSTEM WHEN IN USE.



(24"x36")
SCALE: 1" = 40'
(11"x17")
SCALE: 1" = 80'



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ELK RIDGE, UTAH

AMBLEVIEW ESTATES
A RESIDENTIAL SUBDIVISION

SWPPP

JOB
CB-SALEM
SHEET NO.
8

AMBLEVIEW ESTATES PRELIMINARY PLAT "A"

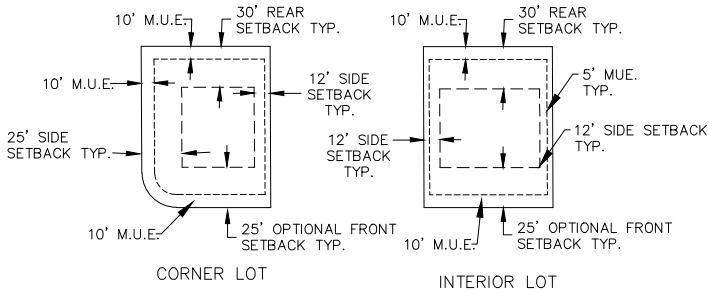
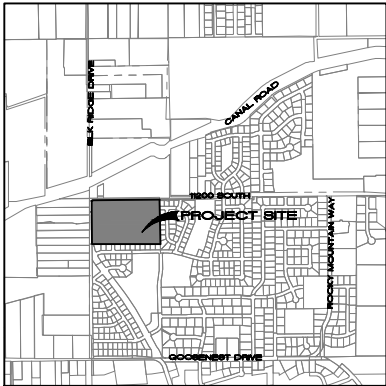
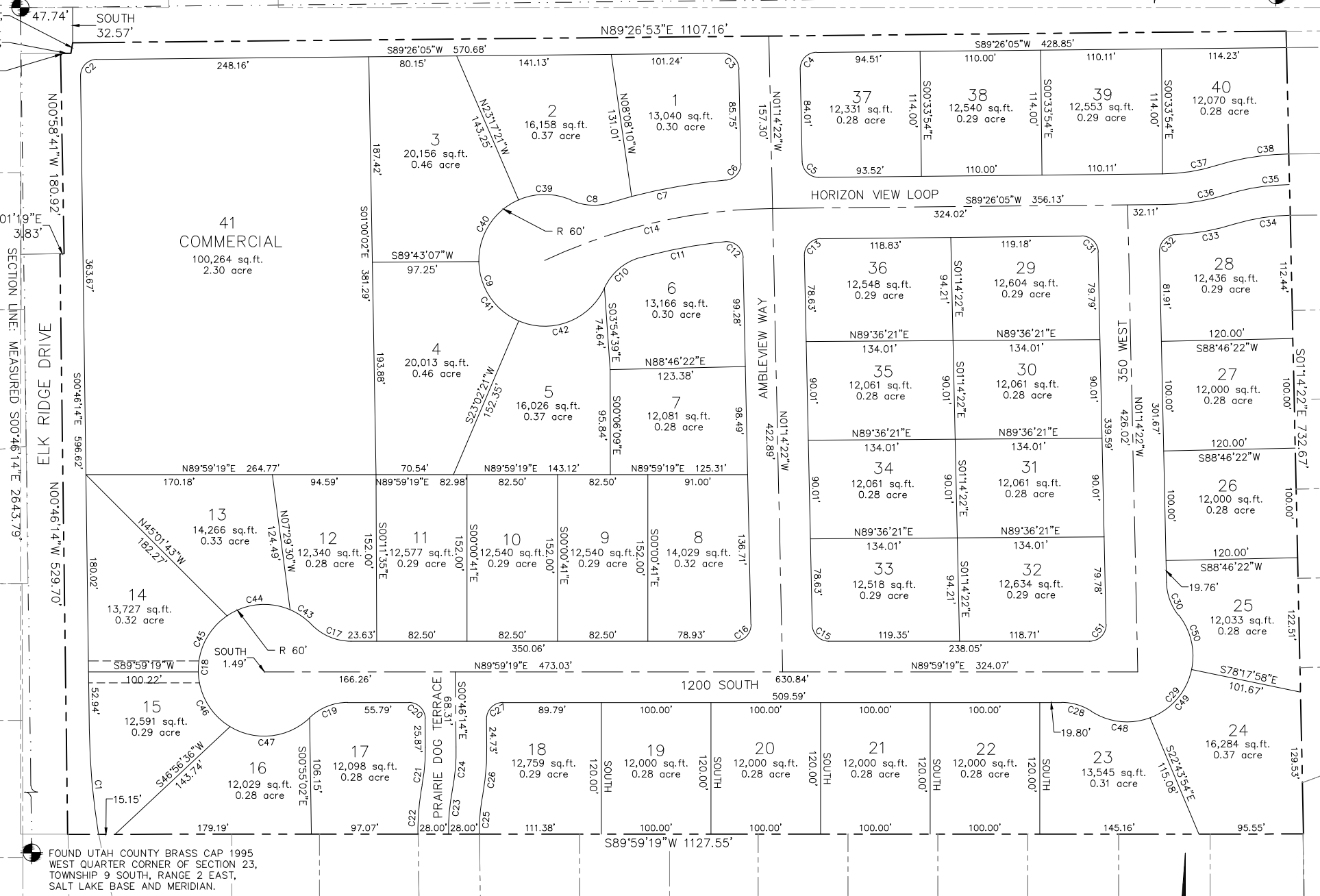
SITUATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, ELK RIDGE, UTAH

FOUND UTAH COUNTY BRASS CAP 2002
NORTHWEST CORNER OF SECTION 23,
TOWNSHIP 9 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN.

FOUND UTAH COUNTY BRASS CAP 1991
NORTH QUARTER CORNER OF SECTION 23,
TOWNSHIP 9 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN.

SECTION LINE: MEASURED N89°26'05"E 2661.63' 11200 SOUTH

Curve Table				
Curve #	Length	Radius	Delta	Chord
C1	95.52	646.00	8°28'19"	95.43
C2	23.62	15.00	90°12'19"	21.25
C3	23.39	15.00	89°19'33"	21.09
C4	23.74	15.00	90°40'27"	21.34
C5	23.39	15.00	89°19'33"	21.09
C6	22.54	15.00	86°04'50"	20.48
C7	108.35	528.00	11°45'27"	108.16
C8	35.65	50.00	40°51'07"	34.90
C9	282.04	60.00	269°19'38"	85.35
C10	43.54	50.00	49°53'15"	42.17
C11	79.13	472.00	9°36'22"	79.04
C12	24.78	15.00	94°39'31"	22.06
C13	23.74	15.00	90°40'27"	21.34
C14	214.89	500.00	24°37'30"	213.24
C15	23.24	15.00	88°46'19"	20.98
C16	23.88	15.00	91°13'41"	21.44
C17	40.08	50.00	45°55'52"	39.02
C18	282.38	60.00	269°39'24"	85.11
C19	38.16	50.00	43°43'32"	37.24
C20	23.36	15.00	89°14'27"	21.07
C21	34.46	172.00	11°28'42"	34.40
C22	45.31	228.00	11°23'06"	45.23
C23	40.07	200.00	11°28'42"	40.00
C24	40.07	200.00	11°28'42"	40.00
C25	34.83	172.00	11°36'07"	34.77
C26	45.68	228.00	11°28'42"	45.60
C27	23.76	15.00	90°45'33"	21.35
C28	28.74	50.00	32°56'01"	28.35
C29	169.02	60.00	161°24'15"	118.42
C30	32.50	50.00	37°14'33"	31.93
C31	23.39	15.00	89°19'33"	21.09
C32	23.03	15.00	87°59'10"	20.84
C33	56.01	228.00	14°04'33"	55.87
C34	50.32	172.00	16°45'50"	50.15
C35	58.52	200.00	16°45'50"	58.31
C36	58.52	200.00	16°45'50"	58.31
C37	50.32	172.00	16°45'50"	50.15
C38	66.71	228.00	16°45'50"	66.47
C39	49.46	60.00	47°14'03"	48.07
C40	70.86	60.00	67°39'58"	66.81
C41	68.88	60.00	65°46'48"	65.16
C42	92.83	60.00	88°38'48"	83.84
C43	23.62	60.00	22°33'36"	23.47
C44	60.22	60.00	57°30'18"	57.72
C45	60.00	60.00	57°17'29"	57.53
C46	60.19	60.00	57°28'37"	57.70
C47	78.35	60.00	74°49'23"	72.90
C48	56.03	60.00	53°30'34"	54.02
C49	60.44	60.00	57°42'44"	57.91
C50	52.55	60.00	50°10'57"	50.89
C51	23.88	15.00	91°13'41"	21.44



TYPICAL BUILDING SETBACK AND MUNICIPAL UTILITY EASEMENTS

- NOTES:
1- ALL M.U.E. (MUNICIPAL UTILITY EASEMENTS) DEDICATED TO ELK RIDGE CITY.
2- A SHARED 10' M.U.E. (5' EACH LOT) IS REQUIRED ON SIDE OF EVERY LOT.

LAND USE:	
PLAT "A" =	18.76 ACRES
ZONING=	R-12
TOTAL LOTS=	41 LOTS
ACREAGE IN LOTS=	12.09 ACRES
ACREAGE IN ROW=	4.37 ACRES
ACREAGE COMMERCIAL=	2.3 ACRES
DENSITY OVERALL =	2.43 LOTS/ACRE



(24"x36")
SCALE: 1" = 50'
(11"x17")
SCALE: 1" = 100'

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SURVEYOR'S CERTIFICATE

I, TRAVIS TRANE, do hereby certify that I am a Professional Land Surveyor, and that I hold Licence No. 5152741, as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described hereon, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as AMBLEVIEW ESTATES PLAT "A" and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

BOUNDARY DESCRIPTION

Beginning at a point which is North 89°26'05" East 47.74 feet along the section line and South 32.57 feet from the Northwest Corner of Section 23, Township 9 South, Range 2 East, Salt Lake Base and Meridian; thence North 89°26'53" East 1107.16 feet; thence South 01°14'22" East 732.67 feet; thence South 54°04'57" East 136.56 feet; thence North 88°06'50" East 101.87 feet; thence South 89°59'19" West 1127.55 feet; thence North 00°46'14" West 529.70 feet; thence North 89°01'19" East 3.83 feet; thence North 00°58'41" West 180.92 feet; thence North 38°35'19" East 2.34 feet; thence North 89°21'24" East 7.90 feet; thence North 09°38'58" East 9.67 feet to the point of beginning.

Parcel contains: 18.76 acres

Basis of Bearing: The line between the Northwest Corner and the North Quarter Corner of Section 23, Township 9 South, Range 2 East, Salt Lake Base and Meridian which bears: North 89°26'05" East.

DATE	SURVEYOR (See Seal Below)
OWNER'S DEDICATION	
WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9A-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO ELK RIDGE CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO ELK RIDGE CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND ELK RIDGE CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.	
OWNER(S):	
PRINTED NAME OF OWNER	AUTHORIZED SIGNATURE(S)

STATE OF UTAH)	ACKNOWLEDGEMENT
COUNTY OF UTAH) S.S.	
On the _____ day of _____, 20____, personally appeared before me the persons signing the foregoing Owners Dedication known to me to be authorized to execute the foregoing Owners Dedication for and on behalf of the owners who duly acknowledge to me that the Owners Dedication was executed by them on behalf of the Owners.	
My Commission Expires _____	NOTARY PUBLIC SIGNATURE _____
COMMISSION NUMBER _____	PRINTED NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY	
The City Council of Eagle Mountain City, County of Utah, Approves this subdivision and hereby accepts the dedication of all streets, easements, and other parcels of land intended for public purposes for the perpetual use of the public this _____ day of _____, 20____.	
APPROVED BY MAYOR _____	APPROVED BY CITY ATTORNEY _____
APPROVED BY CITY ENGINEER (See Seal Below)	ATTEST BY CITY RECORDER (See Seal Below)

PRELIMINARY PLAT "A"			
AMBLEVIEW ESTATES			
A RESIDENTIAL SUBDIVISION			
ELK RIDGE UTAH COUNTY, UTAH			
SURVEYOR SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDED SEAL