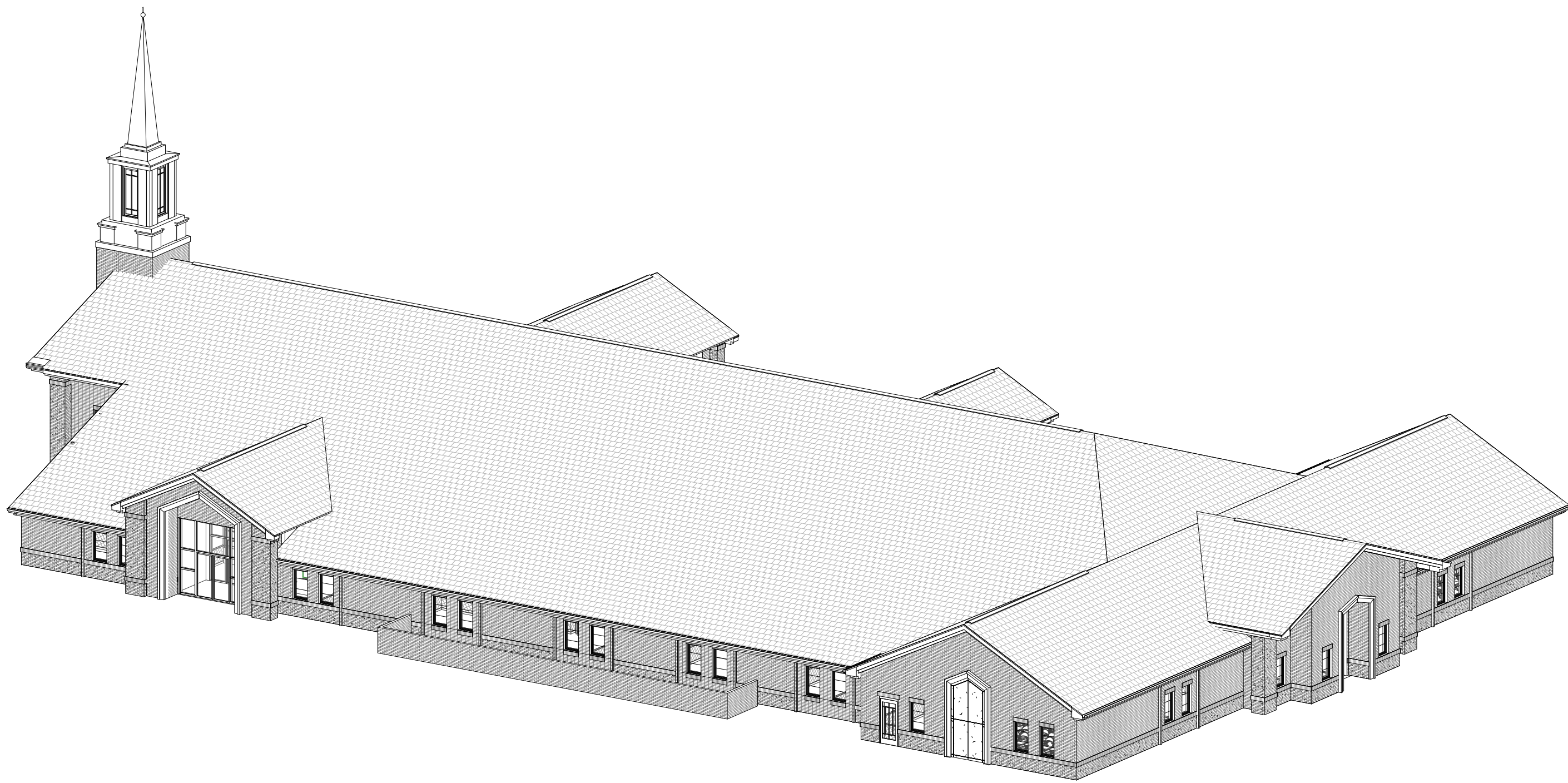
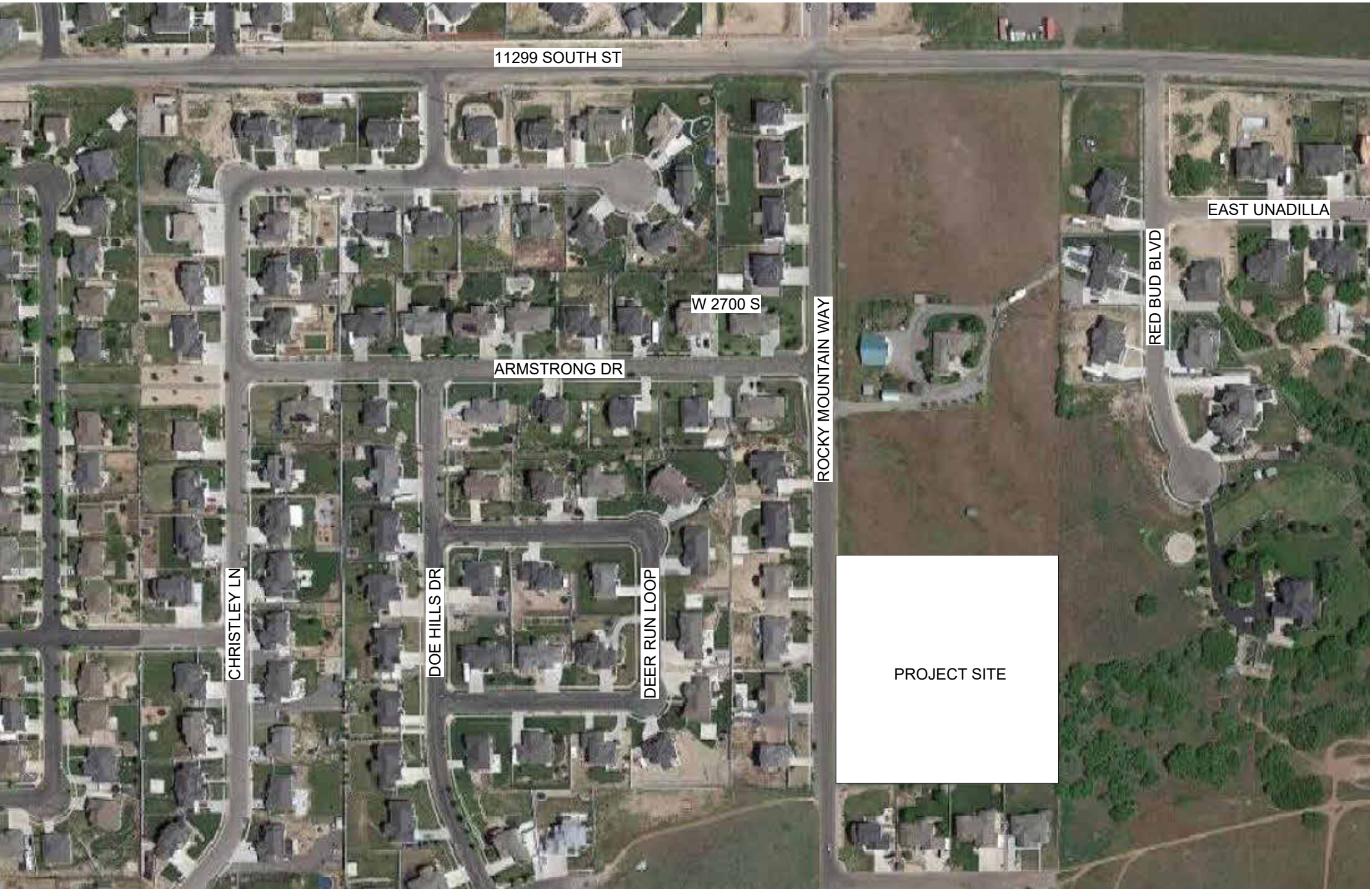


ELK RIDGE UT HERITAGE 23-2

CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS
PROJECT NUMBER: #501-2698



VICINITY MAP



SHEET INDEX

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		A110.1	ANNOTATED PLAN - LEVEL 01
CIVIL		A201	EXTERIOR ELEVATION
C0.00	CIVIL COVER	A202	EXTERIOR ELEVATION
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L502	LANDSCAPE IRRIGATION DETAILS		
L503	LANDSCAPE IRRIGATION DETAILS		
L504	LANDSCAPE IRRIGATION DETAILS		
PAVILION			
C811	PLAN VIEWS		
C812	PLAN VIEWS		

SITE INFORMATION

PROJECT NAME: ELK RIDGE UT HERITAGE 23-2
ADDRESS: 1120 ROCKY MOUNTAIN WAY ELK RIDGE, UT 84651
PARCEL #: 30-074-0281
ENTRY#: 114226-2017
SIZE: 4.13 ACRES (179902.8 SQ FT)
OWNER: CORP OF PRES BISHOP CHURCH OF JESUS CHRIST OF LDS
ZONE: PUBLIC FACILITY

OWNER

CHURCH OF JESUS CHRIST OF
LETTER DAY SAINTS
50 E North Temple St Salt Lake City
UT 84150

JAMES DZINEKU
(801) 240-5174
JDzhineku@churchofjesuschrist.org

ARCHITECTURE

UNCOMMON ARCHITECTS
684 W Center St Midvale UT 84047

DARIN MANO
(801) 633-5273
darin@uncommonarch.com

CIVIL

MCNEIL ENGINEERING
8610 Sandy Pkwy Suite 200, Sandy,
UT 84070

DANIEL CANNING
(801) 255-7700
daniel@mcneileng.com

STRUCTURAL

FOCUS ENGINEERING
6949 High Tech Dr Suite 200, Midvale,
UT 84047

ADAM EASTMAN
(801)-352-0075
aeastman@focusutah.com

LANDSCAPE

MCNEIL ENGINEERING
8610 Sandy Pkwy Suite 200, Sandy,
UT 84070

SCOTT "SKIP" SCHOONOVER
(801) 255-7700
scott@mcneileng.com

MECHANICAL

SPECTRUM ENGINEERS
324 S State St Suite 400, Salt Lake
City, UT 84111

CARL GATRELL
(800) 678-7077
Carl.gatrell@speceng.com

ELECTRICAL

SPECTRUM ENGINEERS
324 S State St Suite 400, Salt Lake
City, UT 84111

DAVID HINCKLEY
(800) 678-7077
David.Hinckley@speceng.com



uncommon
architects

684 W Center St
Midvale UT 84047

uncommonarch.com
(801) 417-9951



OWNER /
DEVELOPER:

Church of Jesus Christ of Latter Day
Saints

CONTACT INFO:

James Dzhineku
(801) 240-5174
JDzhineku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT
84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698

OWNER: Church of Jesus Christ of Latter Day
Saints

DATE: 02.09.2024

REV DATE DESCRIPTION

COVER

CV

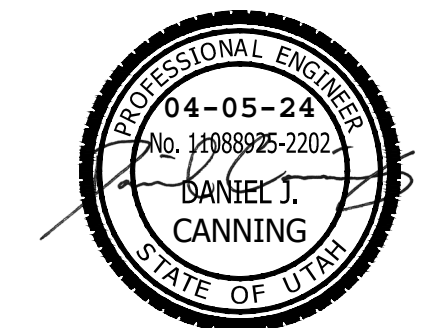
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ELK RIDGE, UTAH LDS STAKE CENTER

1120 ROCKY MOUNTAIN WAY, ELK RIDGE, UTAH COUNTY 84651



684 W Center St
Midvale UT 84047
uncommonarch.com
(801) 417-9951



McNEIL ENGINEERING
Engineers and Sustainable Design Professionals You Know and Trust
8410 South Jordan Parkway, Suite 200, Sandy, Utah 84089, 801.255.7700, mcnengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints

CONTACT INFO:
James Donohu
(801) 245-5114
jcdonohu@churchofjesuschrist.org
526 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 04.05.2024

REV	DATE	DESCRIPTION
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CIVIL COVER

C0.00

NORTH

SCALE: 1" = 30'



VICINITY MAP
N.T.S.

SITE

DRAWING INDEX

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS
C5.04	CIVIL DETAILS
C5.05	CIVIL DETAILS

ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO CITY OF ELK RIDGE
PUBLIC WORKS STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO ELK RIDGE UTILITY
SERVICES STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS MUST
CONFORM TO APWA STANDARDS AND
SPECIFICATIONS

DOE HILL ESTATES
PLAT "A" LOT 54
DOE HILL LLC
37.267.0000
1117 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 55
DOE HILL LLC
37.267.0000
1147 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 56
DOE HILL LLC
37.267.0000
1121 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 57
DOE HILL LLC
37.267.0000
1095 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 58
JEFFREY & JULIANA NELSON
37.267.0000
1067 N ROCKY MOUNTAIN WAY

PREMIER POINT SUBDIVISION
PHASE 2, LOT 13
SHAWN & ANGELOUE RAM
48.627.0011
1174 N RED BLVD

WARRANTY DEED
ENTRY 84296 YEAR 2014
BLANK ENTERPRISES LTD
303701014

ROCKY MOUNTAIN
PLAT "A" LOT 3

ROCKY MOUNTAIN
PLAT "A" LOT 4

OWNER

ARCHITECTURE

UNCOMMON ARCHITECTS
4040 W Daybreak Parkway #110
South Jordan, UT 84009

BRITTANY WHITE JOHNSON
(801) 417-9951
brittany@uncommonarch.com

CIVIL

MCNEIL ENGINEERING
8610 Sandy Pkwy Suite 200, Sandy,
UT 84070

DANIEL CANNING
(801) 255-7700
daniel@mcneileng.com

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FOCUS ENGINEERING
6949 High Tech Dr Suite 200, Midvale,
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(801) 255-7700
scotts@mcneileng.com

MECHANICAL

SPECTRUM ENGINEERS
324 S State St Suite 400, Salt Lake
City, UT 84111

JAMIE MCCULLOCH
(800) 678-7077
xxxxxxxxxxxxxxxxxxxxxxxx

ELECTRICAL

SPECTRUM ENGINEERS
324 S State St Suite 400, Salt Lake
City, UT 84111

DAVID HINCKLEY
(800) 678-7077
David.Hinckley@speceng.com

CONTRACTOR

T.B.D.

GENERAL NOTES

- 1.1 COMPLIANCE
- ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
 - ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

1.2 PERMITTING AND INSPECTIONS

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

1.3 COORDINATION & VERIFICATION

- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
- CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLWYOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

1.4 SAFETY AND PROTECTION

- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNERS SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

1.5 MATERIALS

- SITE CONCRETE SHALL BE A MINIMUM 6 S BAG MIX, 4500 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
- CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED DOWN EDGE TO HELP CONTROL FROST HEAVE.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- ASPHALT TO CONCRETE PAVEMENT SHALL BE A MINIMUM 2" OVER 8" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL D1' SHEET C5.01
- ASPHALT COMPACTION SHALL BE A MINIMUM 95% (MARSHALL DESIGN).
- SURFACE COARSE SHALL BE 1/2" MINUS, MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
- AC PAVEMENT TO BE A 1/2" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
- THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

1.6 GRADING / SOILS

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

1.7 UTILITIES

- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

1.8 SURVEY CONTROL

- CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

1.9 AMERICAN DISABILITIES ACT

- PEDESTRIAN (ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
"ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM CROSS SLOPE.
"ROUTES SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE.
"RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

A

AC	ACRE	DIP	DUCTILE IRON PIPE
ADA	AMERICANS WITH DISABILITIES ACT	DTREE	DECIDUOUS TREE
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	DYL	DOUBLE YELLOW LINE
B&C	BAR & CAP	E	EAST
BC	BUILDING CORNER	EB	ELECTRIC BOX
BFS	BOTTOM FINISH GRADE	ESL	ENERGY GRADE LINE
BLUE	BLUE STAKED ELECTRIC	ELEV	ELEVATION
BLUFO	BLUE STAKED FIBER OPTIC	EM	ELECTRIC METER
BLUG	BLUE STAKED NATURAL GAS	EMH	ELECTRIC MANHOLE
BLUIR	BLUE STAKED IRRIGATION	EOA	EDGE OF ASPHALT
BLUSD	BLUE STAKED STORM DRAIN	EOC	EDGE OF CONCRETE
BLUSS	BLUE STAKED SANITARY SEWER	EOG	EDGE OF GRAVEL
BLUT	BLUE STAKED TELEPHONE	EOL	EDGE OF LAWN
BLUW	BLUE STAKED WATER	EX or EXIST	EXISTING
BM	BENCHMARK	F	FIRE
BOF	BOTTOM OF FOOTING	FC	FOUNDATION CORNER
BOB	BOTTOM OF BOX	FD	FOUND or FOUNDATION DRAIN
BOL	BOLLARD	FDC	FIRE DEPT. CONNECTION
BOT	BOTTOM	FDMN	FOUND MONUMENT
BOV	BLOW-OFF VALVE	FDSC	FOUND SECTION CORNER
BOW	BACK OF WALK	FFE	FINISHED FLOOR ELEVATION
BW	FINISH GRADE AT BOTTOM OF WALL	FG	FINISHED GRADE
C	CENTERLINE	FL	FLOW LINE
C&TV	CABLE TELEVISION	FNC	FENCE
C&R	CONCRETE BARRIER	FNCCL	CHAIN LINK FENCE
CC	CURB CUT	FNCGR	IRON FENCE
COL	COLUMN	FNCVYL	VINYL FENCE
COMM	COMMUNICATIONS	FNCWR	WOOD FENCE
CONC	CONCRETE	FO	FIBER OPTIC
CONST	CONSTRUCTION	FOF	FRONT OF WALK
CMP	CORRUGATED METAL PIPE	FT	FEET
CTREE	CONIFEROUS TREE	G	NATURAL GAS
CUT	CUBIC FOOT	GAR	GARAGE
CUT	CUBIC YARD	GB	GRADE BREAK
DEL	DELINEATOR	GL	GROUND LIGHT
DIA or Ø	DIAMETER		

ABBREVIATIONS

GM	GAS METER	POC	POINT OF COMPOUND CURVE
GMH	GAS MANHOLE	PI	POINT OF INTERSECTION
GUY	GUY WIRE	PM	PARKING METER
GV	GAS VALVE	PP	POWER POLE
HDPE	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE
HG	HEADGATE	PRK	PARKING STRIPE
HGL	HYDRAULIC GRADE LINE	POC	POINT OF CONNECTION
HP	HIGH POINT	PT	POINT OF TANGENCY
HW	HEADWALL or HIGH WATER	PWR	POWER
HWY	HIGHWAY	PVC	POLYVINYL CHLORIDE PIPE
ICO	IRRIGATION CLEANOUT	R	RANGE
ICV	IRRIGATION CONTROL VALVE	RCF	REINFORCED CONCRETE PIPE
IE	INVERT ELEVATION	RD	ROAD
IRR	IRRIGATION	REV	REVISION
LF	LINEAR FEET	ROW	RIGHT-OF-WAY
LP	LIP OF GUTTER	RR	RAILROAD
LP	LOW POINT or LIGHT POLE	S	SOUTH
MAX	MAXIMUM	SAD	SEE ARCHITECTURAL DRAWINGS
MIN	MINIMUM	SD	STORM DRAIN
MON	MONUMENT	SDCB	STORM DRAIN CATCH BASIN
MP	METAL PIPE	SDCO	STORM DRAIN CLEANOUT BOX
N	NORTH	SDMH	STORM DRAIN MANHOLE
NG	NATURAL GROUND	SEC	SECTION
NGRET	NO AT RETAINING WALL	SF	SPECIFICATIONS
NW	NAIL & RIBBON	S&B&M	SALT LAKE BASE & MERIDIAN
NW	NAIL & WASHER	SQ	SQUARE
NTS	NOT TO SCALE	SCF	SCREW FEET
OG	ORIGINAL GROUND	SVQD	SQUARE YARD
OH	OVERHEAD	SS	SANITARY SEWER
OH	OVERHEAD COMMUNICATIONS	SSCO	SANITARY SEWER CLEANOUT
OHP	OVERHEAD POWER	SSMH	SANITARY SEWER MANHOLE
OHT	OVERHEAD TELEPHONE	ST	STEAM
OHTV	OVERHEAD TELEVISION	STA	STATION
P	PROPERTY LINE	STD	STANDARD
PB	POWER BOX	STM	STORM
PC	POINT OF CURVATURE	SYL	SOLID YELLOW LINE
		SWL	SOLID WHITE LINE

3

LEGEND

NEW	EXISTING		NEW	EXISTING
-----	-----	MONUMENT LINE		
-----	-----	CENTER LINE		
-----	-----	SUBJECT PROPERTY LINE		
-----	-----	ADJACENT PROPERTY LINE		
-----	-----	EASEMENT LINE		
-----	-----	DITCH FLOWLINE		
-----X-----	-----X-----	FENCE LINE		
-----ATMS-----	-----atms-----	ATMS CABLE		
-----TV-----	-----tv-----	CABLE TV LINE		
-----C-----	-----c-----	COMMUNICATIONS LINE		
-----CW-----	-----cw-----	CULINARY WATER LINE		
-----FO-----	-----fo-----	FIBER-OPTIC CABLE		
-----F-----	-----f-----	FIRE LINE		
-----IRR-----	-----irr-----	IRRIGATION LINE		
-----G-----	-----g-----	NATURAL GAS LINE		
-----OHC-----	-----ohc-----	OVERHEAD COMMUNICATIONS		
-----OHP-----	-----ohp-----	OVERHEAD POWER LINE		
-----OHT-----	-----oht-----	OVERHEAD TELEPHONE LINE		
-----OHTV-----	-----ohtv-----	OVERHEAD TELEVISION LINE		
-----P-----	-----p-----	POWER LINE		
-----P/C-----	-----p/c-----	POWER/COMMUNICATIONS LINE		
-----P/T-----	-----p/t-----	POWER/TELEPHONE LINE		
-----PTIC-----	-----pt/c-----	POWER/TELECOMM LINE		
-----RD-----	-----rd-----	ROOF DRAIN LINE		
-----SW-----	-----sw-----	SECONDARY WATER LINE		
-----S-----	-----s-----	SANITARY SEWER LINE		
-----ST-----	-----st-----	STEAM LINE		
-----SD-----	-----sd-----	STORM DRAIN LINE		
-----T-----	-----t-----	TELEPHONE LINE		
-----T/C-----	-----t/c-----	TELEPHONE/COMM LINE		
-----UD-----	-----ud-----	UNDERDRAIN		
-----UGC-----	-----ugc-----	UNDERGROUND COMMUNICATIONS		
-----UGP-----	-----ugp-----	UNDERGROUND POWER LINE		
-----UGT-----	-----ugt-----	UNDERGROUND TELEPHONE LINE		
-----UGTV-----	-----ugtv-----	UNDERGROUND TELEVISION		
-----W-----	-----w-----	WATER LINE		
-----[T]-----	-----[ST]-----	CONTOUR LINE		
=====	=====	CURB & GUTTER (STD)		
=====	=====	CURB & GUTTER (OUTFALL)		

4

GENERAL NOTES: CONTINUED

NEW	EXISTING		NEW	EXISTING
		SECTION CORNER (FOUND)		
		SECTION CORNER (NOT FOUND)		
		STREET MONUMENT		
		BRASS CAP MONUMENT		
		POWER POLE		
		UTILITY POLE		
		GUY ANCHOR		
		POWER TRANSFORMER		
		TRAFFIC SIGNAL CABINET		
		LIGHT POLE		
		TELEPHONE RISER		
		TELEPHONE MANHOLE		
		TRAFFIC SIGNAL BOX		
		WATER MANHOLE		
		WATER VALVE		
		WATER METER		
		FIRE HYDRANT		
		SANITARY SEWER MANHOLE		
		SANITARY SEWER CLEANOUT		
		STORM DRAIN MANHOLE		
		STORM DRAIN CURB INLET		
		STORM DRAIN CATCH BASIN		
		STORM DRAIN CLEANOUT		
		STORM DRAIN COMBO BOX		
		MAILBOX		
		SIGN		
		FLOW DIRECTION		
		SPOT ELEVATION		
		CONIFEROUS TREE		
		DECIDUOUS TREE		

C

B



uncommon
architects

684 W Center St
Midvale UT 84047

uncommonarch.com
(801) 417-9961



PROFESSIONAL ENGINEER
04-05-24
No. 1498925-2202
DANIEL J. CANNING
STATE OF UTAH



McNEIL ENGINEERING
Civil Engineering • Consulting & Engineering Architecture
Structural Engineering • Land Surveying & HDS

OWNER / DEVELOPER:

Church of Jesus Christ of Latter Day Saints

CONTACT INFO:

James danielu
(801) 240-5174
jcdanielu@churchofjesuschrist.org
501 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698

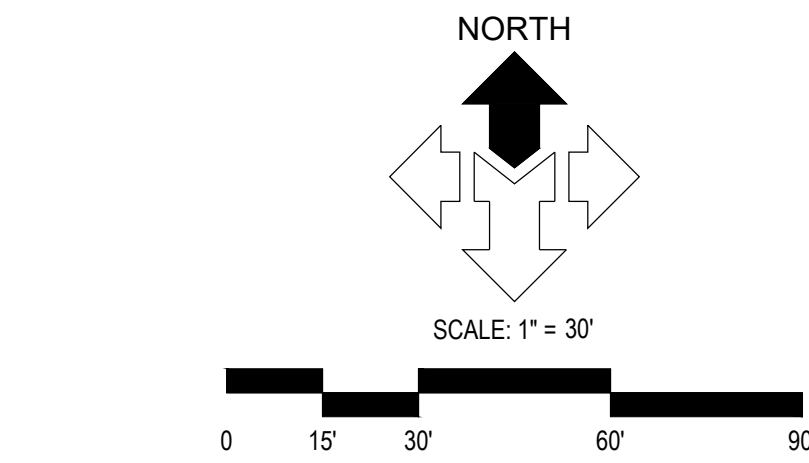
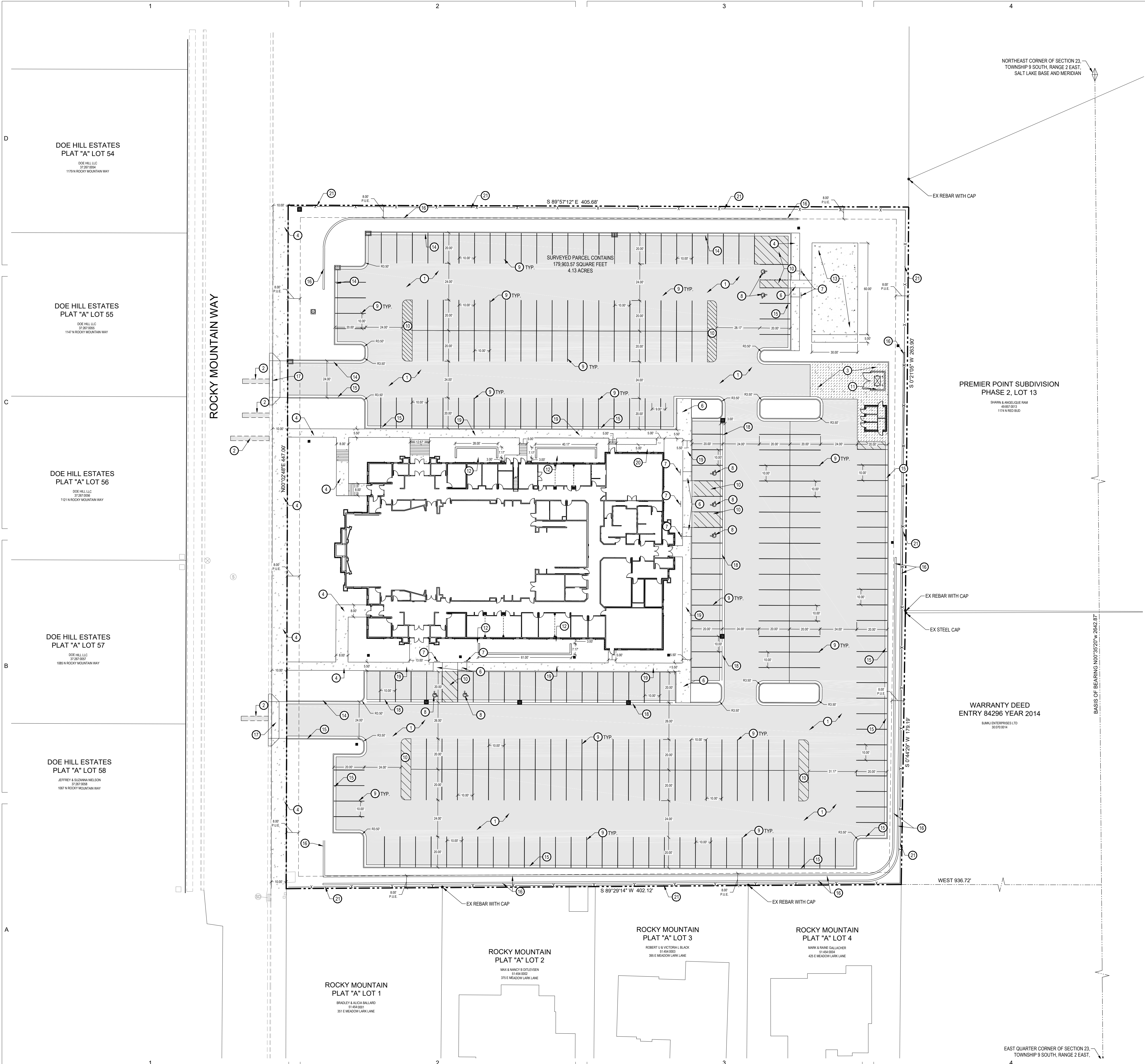
OWNER: Church of Jesus Christ of Latter Day Saints

DATE: 04.05.2024

REV	DATE	DESCRIPTION
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GENERAL
NOTES, LEGEND
AND
ABBREVIATIONS

C0.01



DESCRIPTION	AREA	%
HARDSCAPE	104,350 SQFT	58%
LANDSCAPE	51,478 SQFT	29%
BUILDINGS	24,075 SQFT	13%
TOTAL	179,903 SQFT	100%

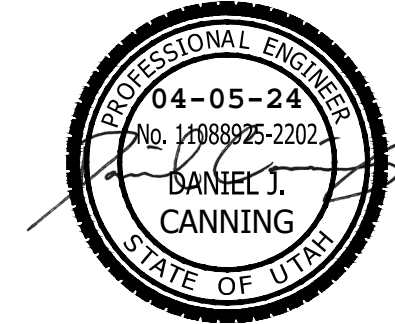
GENERAL NOTES:
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED
SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

- KEYED NOTES:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C5.01.
 - 2 ASPHALT T-PATCH, PER APWA PLAN NO. 255.
 - 3 CONCRETE PAVEMENT WITH GRANULAR BASE PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C5.01.
 - 4 CONCRETE SIDEWALK, PER STANDARD CHURCH DETAIL, SEE DETAILS 'C' AND 'D', SHEET C5.01.
 - 5 ADA RAMP ACCESSIBLE WALK, PER STANDARD CHURCH DETAILS, SEE DETAIL 'D' AND SPECIFIC TYPE IN DETAIL, SHEET C5.02.
 - 6 ADA ACCESSIBLE RAMP, PER APWA STANDARD PLAN 236.1 EXAMPLE 1.
 - 7 ADA ACCESSIBLE PARKING STALL SIGN, PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C5.02.
 - 8 PAINTED ADA ACCESSIBLE PARKING SYMBOL, PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C5.02.
 - 9 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
 - 10 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
 - 11 DUMPSTER ENCLOSURE, PER STANDARD CHURCH DETAIL, SEE DETAILS 'B, C, D, AND E', SHEET C5.03. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 - 12 MECHANICAL ENCLOSURE, PER STANDARD CHURCH DETAIL, SEE DETAILS 'F, G, H, AND J', SHEET C5.03. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 - 13 RECREATIONAL PAVILLION, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 14 24" CONCRETE CURB AND GUTTER - IN FLOW STYLE PER STANDARD CHURCH DETAIL, SEE DETAIL 'E', SHEET C5.01.
 - 15 24" CONCRETE CURB AND GUTTER - OUT FLOW STYLE PER STANDARD CHURCH DETAIL, SEE DETAIL 'F', SHEET C5.01.
 - 16 NEW BLOCK RETAINING WALL, WALL TO BE VERTI-BLOCK WALL. WALL DESIGN, DETAILS, AND REINFORCEMENT BY GSH. SEE 'REPORT VERTI-BLOCK WALL DESIGN AND SLOPE STABILITY ANALYSIS PROPOSED ELKRIDGE MEETINGHOUSE RETAINING WALLS' PROVIDED BY GSH. WALL TO HAVE 4" PERFORATED PVC DRAINAGE PIPE INSTALLED AT BASE OF WALL PER DETAIL 'A', SHEET C5.03. SEE GRADING PLAN SHEET C2.01 FOR ELEVATIONS.
 - 17 NEW DRIVE APPROACH PER APWA STANDARD PLAN 222.
 - 18 36" WIDE CONCRETE WATERWAY, PER STANDARD CHURCH DETAIL, SEE DETAIL 'Y', SHEET C5.01.
 - 19 INTEGRAL CONCRETE SIDEWALK AND CURB, PER STANDARD CHURCH DETAIL, SEE DETAILS 'G', SHEET C5.01.
 - 20 ADA ACCESSIBLE RAMP.
 - 21 NEW BLACK CHAIN LINK.

PARKING STALL COUNT:
272 STALLS PROVIDED
7 OF 272 STALLS ARE ADA STALLS



NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints
CONTACT INFO: James Donaku (801) 245-5174 jcdonaku@churchofjesuschrist.org 505 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

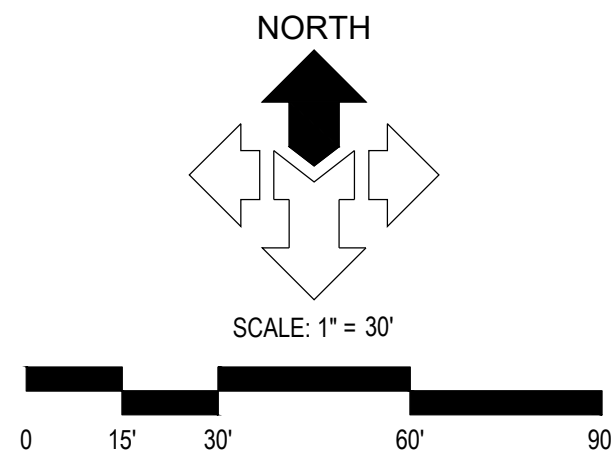
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 04.05.2024

REV	DATE	DESCRIPTION
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CIVIL SITE PLAN

C1.01



GENERAL NOTES:

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- STORM DRAIN CURB INLET WITH HEAVY DUTY BICYCLE SAFE GRATE. PER STANDARD CHURCH DETAIL, SEE DETAIL 'M', SHEET C5.03.
- 12" SQUARE SECURABLE NYLOPLAST YARD DRAIN. PER STANDARD CHURCH DETAIL, SEE DETAILS 'N', SHEET C5.03.
- STORM DRAIN PIPE PER, SEE PLAN FOR LENGTH, SIZE, TYPE AND SLOPE.
- STORMTECH MC-7200 CHAMBERS OR EQUIVALENT SYSTEM APPROVED PRIOR TO BIDDING. RETENTION SYSTEM AS SHOWN ON PLANS ALL PROVIDED BY THE CONTRACTOR. STORMTECH CHAMBER HAS RETENTION CAPACITY OF 33.539 C.F. TOTAL REQUIRED STORAGE = 32,805 C.F. SEE DETAIL SHEET C5.02. SHOP DRAWINGS PROVIDED BY MANUFACTURER PRIOR TO BIDDING AND CONSTRUCTION.
- LANDING AREAS TO HAVE 2% MAXIMUM SLOPE AWAY FROM BUILDING
- 6" HDPE PIPE FROM DOWNSPOUT BASIN. SLOPE AT 0.50% MINIMUM FROM DOWNSPOUT BASIN, PER STANDARD DETAIL 'M & N', ON SHEET C5.01.
- 3' x 3' STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE. PER STANDARD CHURCH DETAIL, SEE DETAIL 'H', SHEET C5.01.
- 3' x 3' STORM DRAIN CATCH BASIN WITH SUMP.
- NEW BLOCK RETAINING WALL. WALL TO BE VERTIBLOCK WALL. WALL DESIGN, DETAILS, AND REINFORCEMENT BY GSH. SEE 'REPORT VERTIBLOCK WALL DESIGN AND SLOPE STABILITY ANALYSIS PROPOSED ELK RIDGE MEETINGHOUSE RETAINING WALLS' PROVIDED BY GSH. WALL TO HAVE 4" PERFORATED PVC DRAINAGE PIPE INSTALLED AT BASE OF WALL PER DETAIL 'A', SHEET C5.03.

PREMIER POINT SUBDIVISION PHASE 2, LOT 13

SHAWN & ANGELOE RAN
1174 N RED BOB

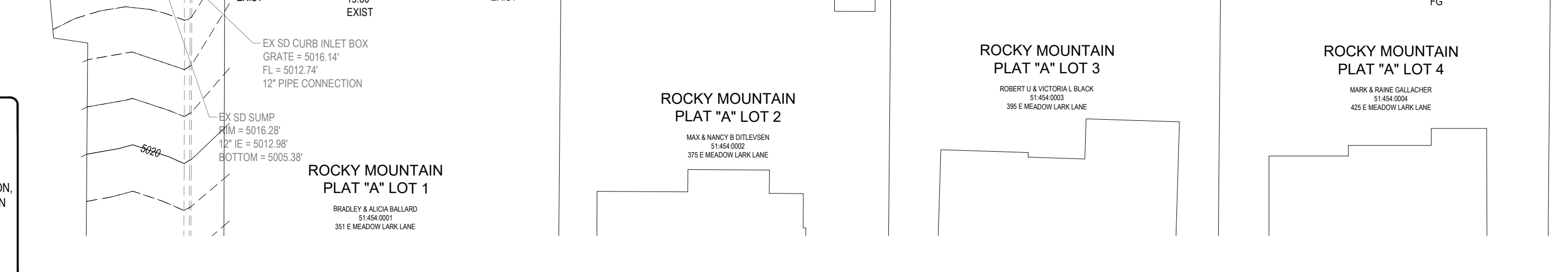
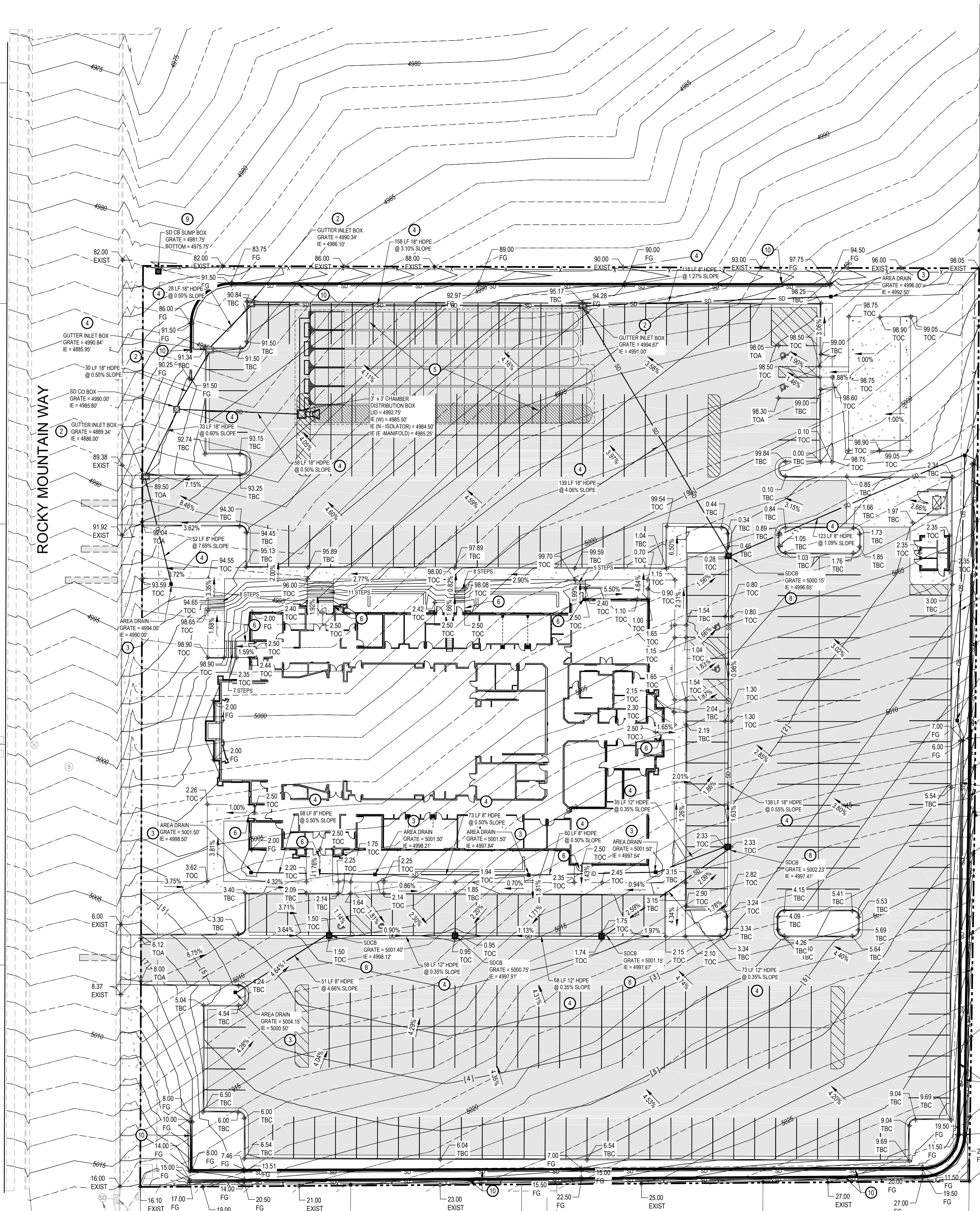
WARRANTY DEED ENTRY 84296 YEAR 2014

SANJAY ENTERPRISES LTD
3070014

COMMON GRADING ABBREVIATIONS:

SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- BFE BASEMENT FLOOR ELEVATION
- BW FINISH GRADE AT BOTTOM OF WALL
- EX or EXIST EXISTING
- EOA EDGE OF ASPHALT
- EOC EDGE OF CONCRETE
- FFE FINISH FLOOR ELEVATION
- FG FINISH GRADE
- FL FLOW LINE
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- NG NATURAL GROUND
- SDCB STORM DRAIN CATCH BASIN
- SDCO STORM DRAIN CLEANOUT BOX
- SDOB STORM DRAIN DRAIN BASIN
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOG TOP OF GRATE
- TOW TOP OF WALL
- TW FINISH GRADE AT TOP OF WALL
- WW WATERWAY



DOE HILL ESTATES PLAT "A" LOT 54

DOE HILL LLC
37.207.004
1171 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES PLAT "A" LOT 55

DOE HILL LLC
37.207.005
1147 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES PLAT "A" LOT 56

DOE HILL LLC
37.207.006
1121 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES PLAT "A" LOT 57

DOE HILL LLC
37.207.007
1088 N ROCKY MOUNTAIN WAY

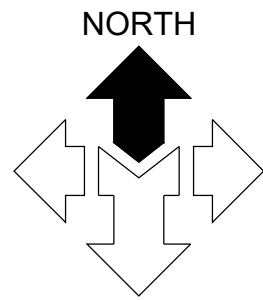
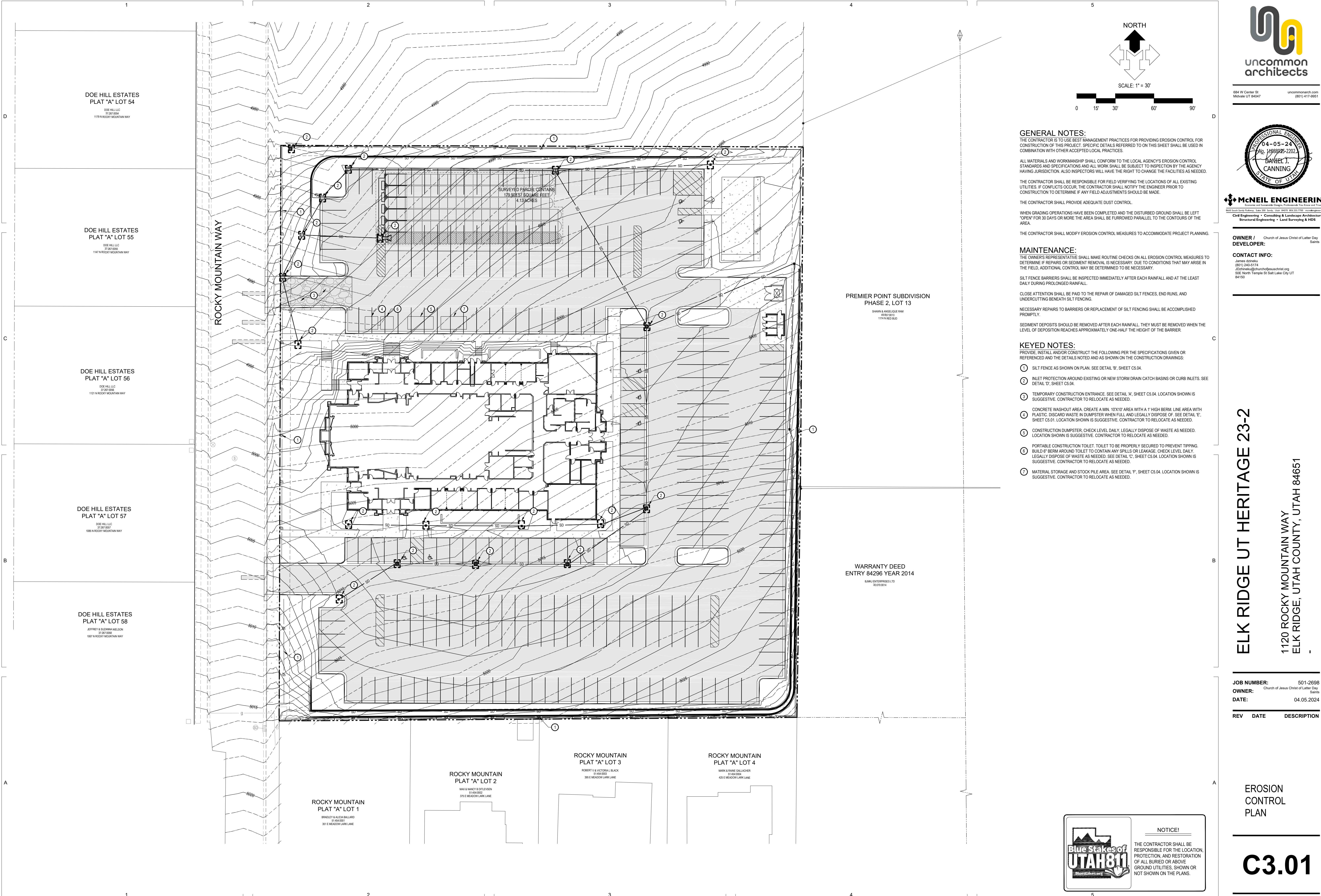
DOE HILL ESTATES PLAT "A" LOT 58

JEFFREY A. BROWN WILSON
37.207.008
1057 N ROCKY MOUNTAIN WAY

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES. SHOWN OR NOT SHOWN ON THE PLANS.

Blue Stakes of UTAH811
BlueStakes.org



GENERAL NOTES:
THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.
THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:
THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.
SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.
CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.
NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

KEYED NOTES:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1 SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'B', SHEET C5.04.
2 INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'D', SHEET C5.04.
3 TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'A', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
4 CONCRETE WASHOUT AREA. CREATE A MIN. 10'X10' AREA WITH A 1' HIGH BERM. LINE AREA WITH PLASTIC. DISCARD WASTE IN DUMPSTER WHEN FULL AND LEGALLY DISPOSE OF. SEE DETAIL 'E', SHEET C5.01. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
5 CONSTRUCTION DUMPSTER. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
6 PORTABLE CONSTRUCTION TOILET. TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING. BUILD 6" BERM AROUND TOILET TO CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL 'C', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
7 MATERIAL STORAGE AND STOCK PILE AREA. SEE DETAIL 'F', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.



NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints
CONTACT INFO: James Gonzalez, (801) 248-5174, jg@churchofjesusarchitect.org, 505 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

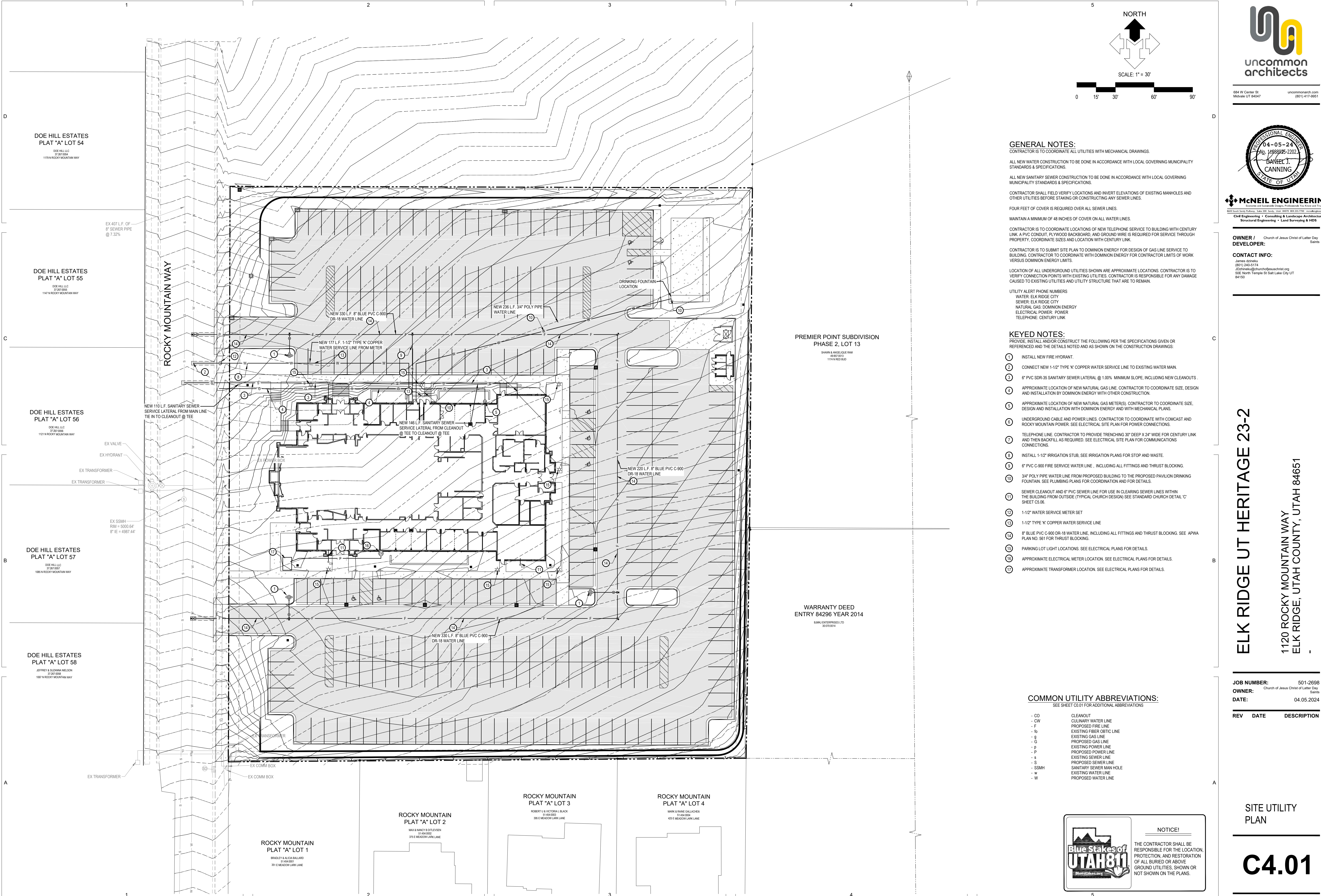
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 04.05.2024

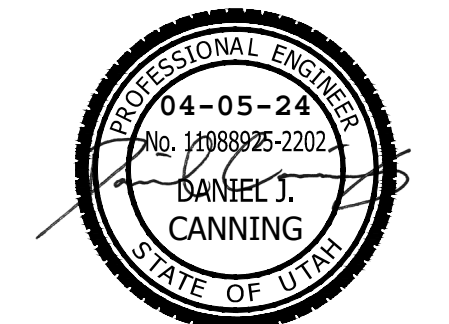
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EROSION CONTROL PLAN

C3.01



684 W Center St
Midvale UT 84047
uncommonarch.com
(801) 417-9951



OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints

CONTACT INFO:
James Donaku
(801) 246-5174
jcd@waku@churchofjesuschrist.org
505 North Temple St Salt Lake City UT 84150

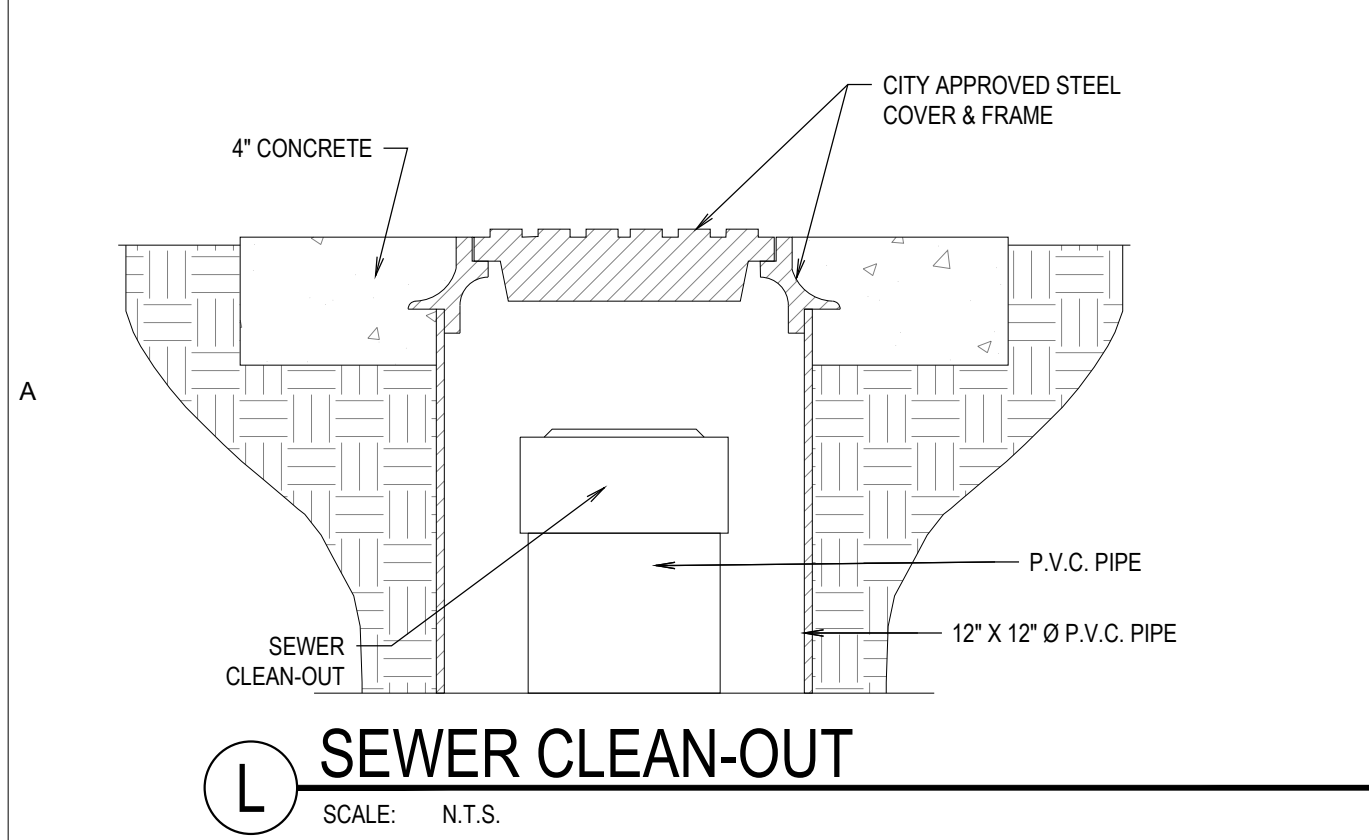
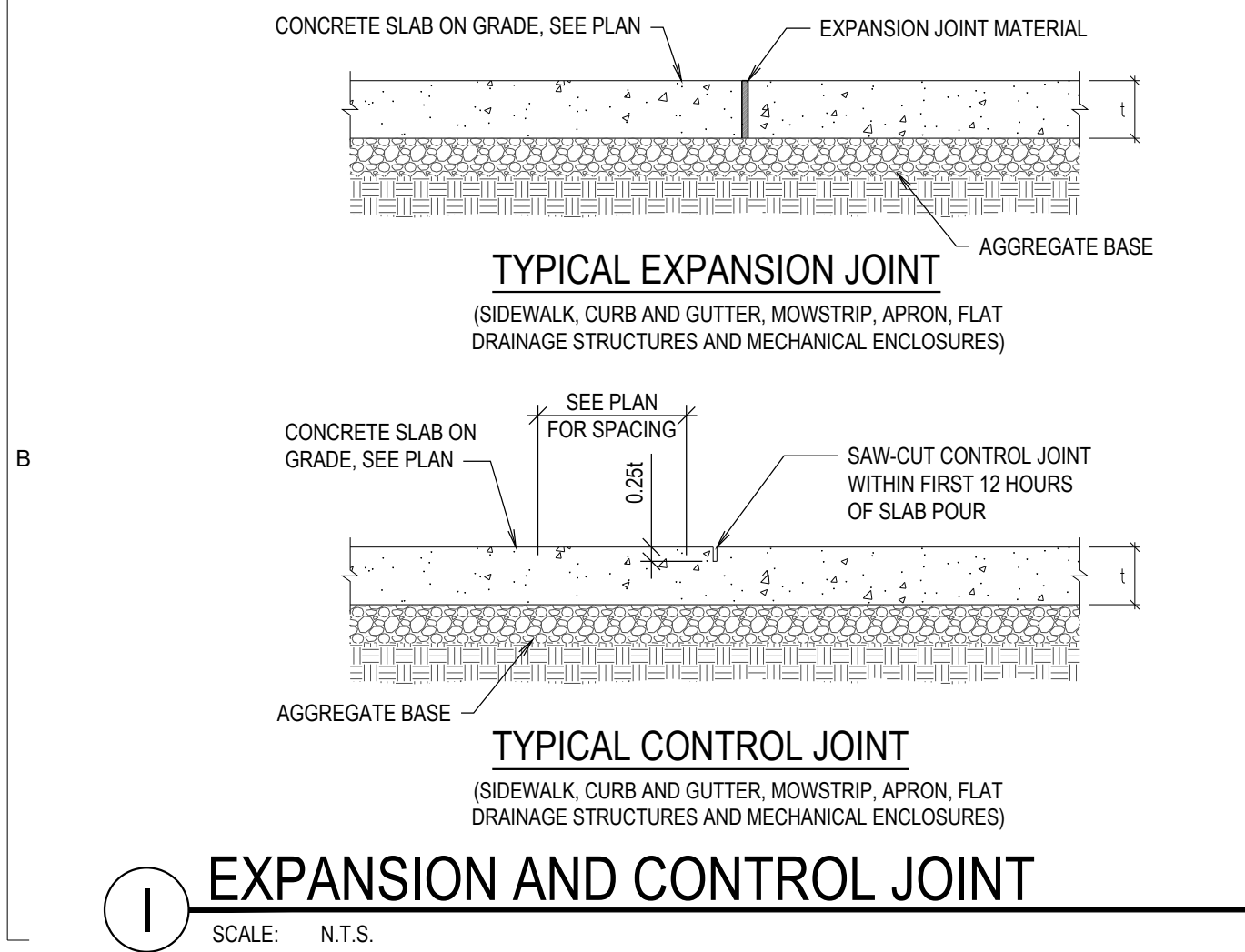
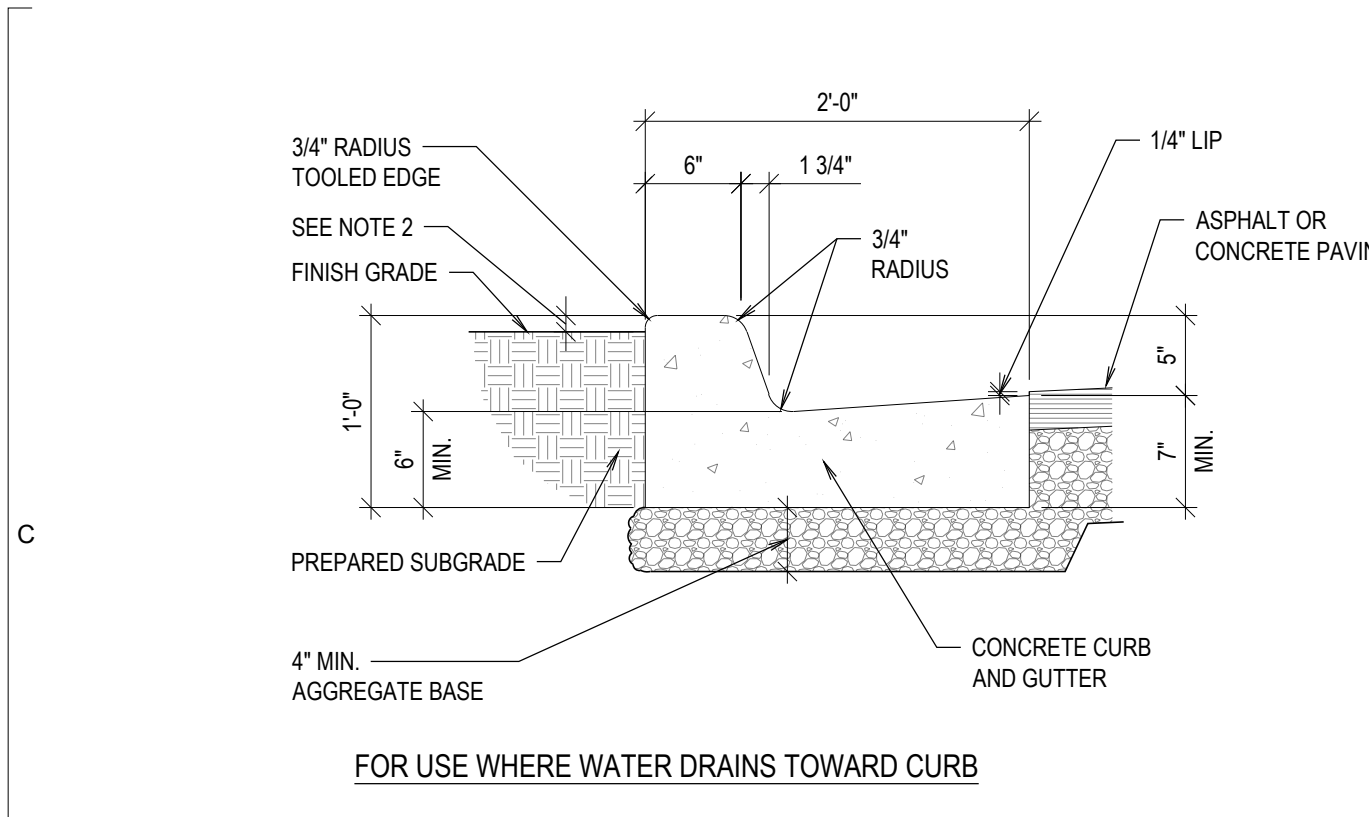
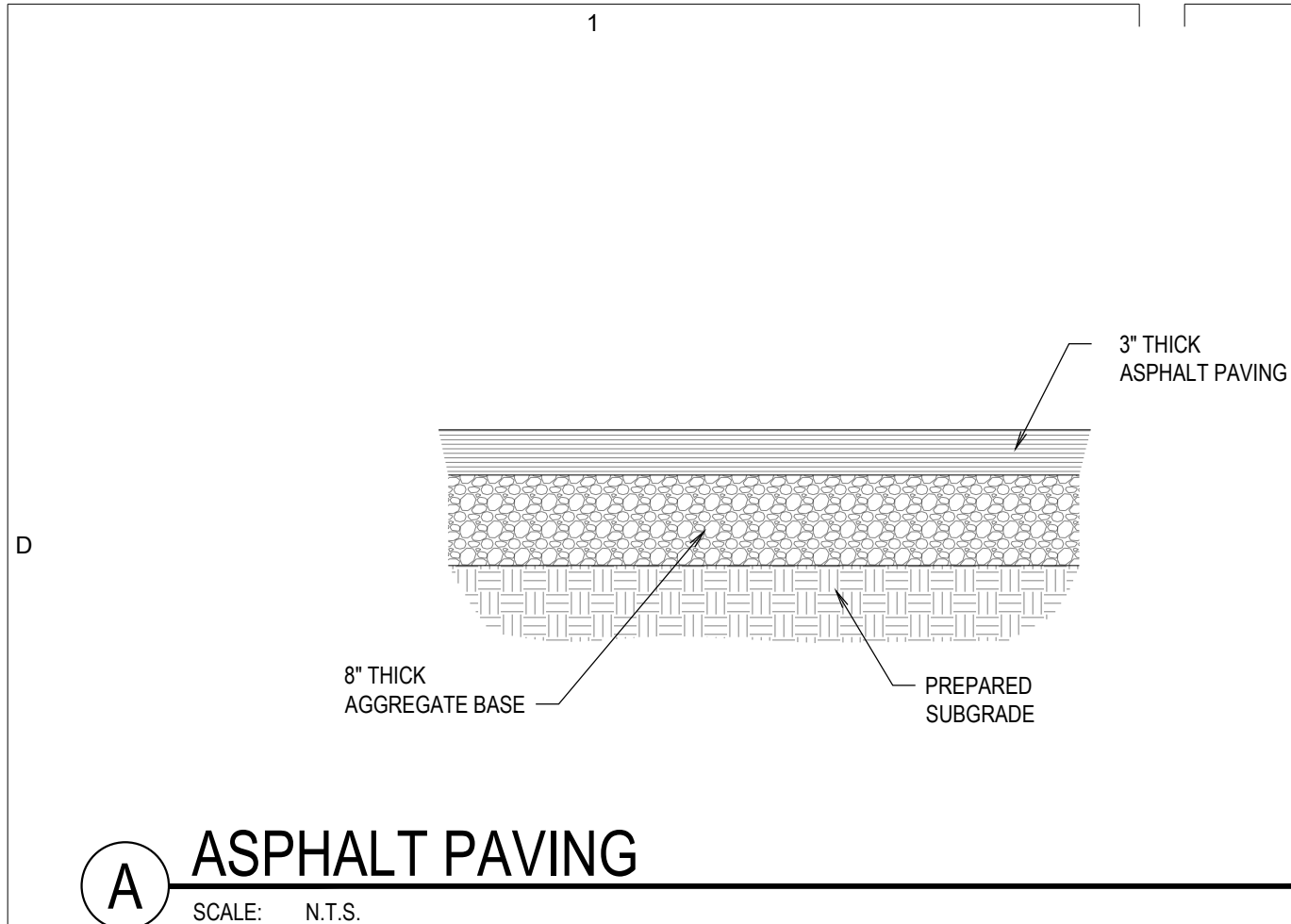
ELK RIDGE UT HERITAGE 23-2
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

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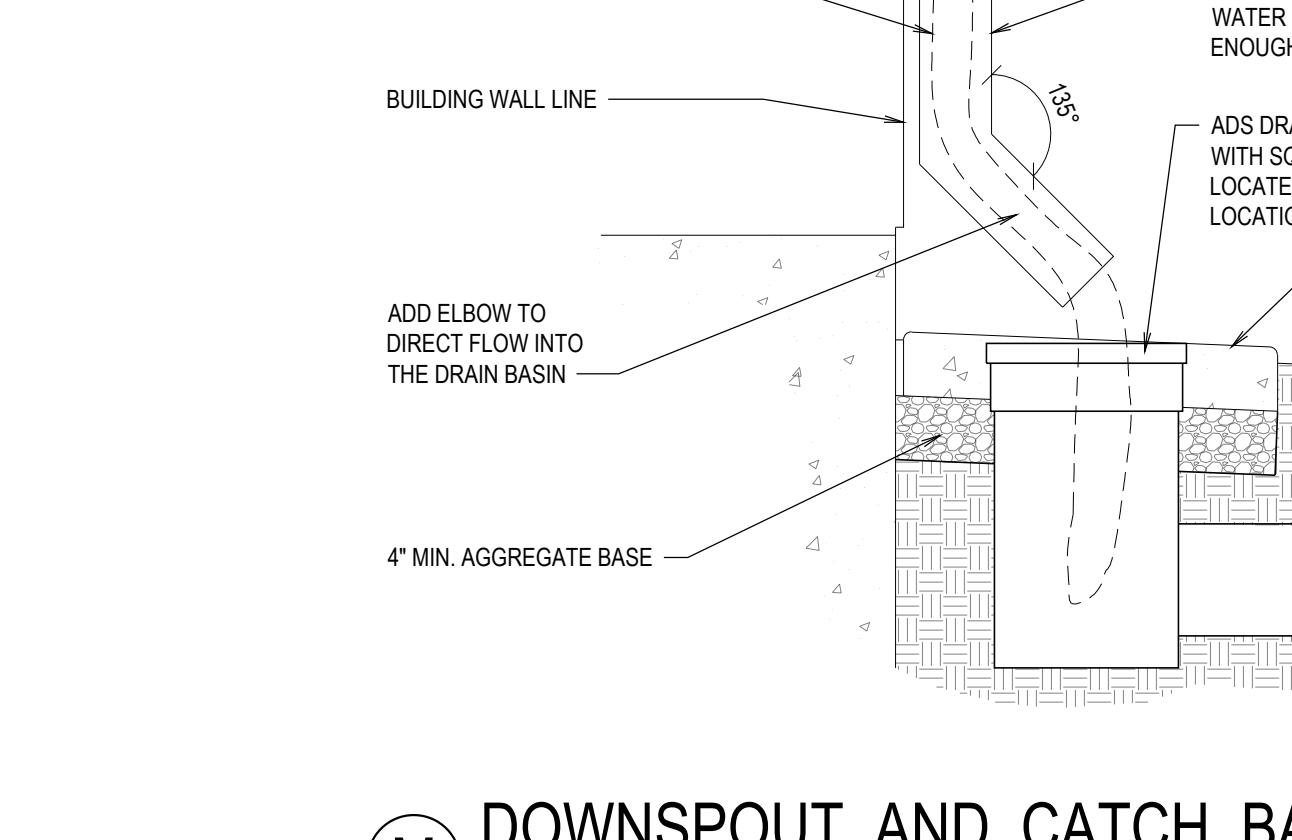
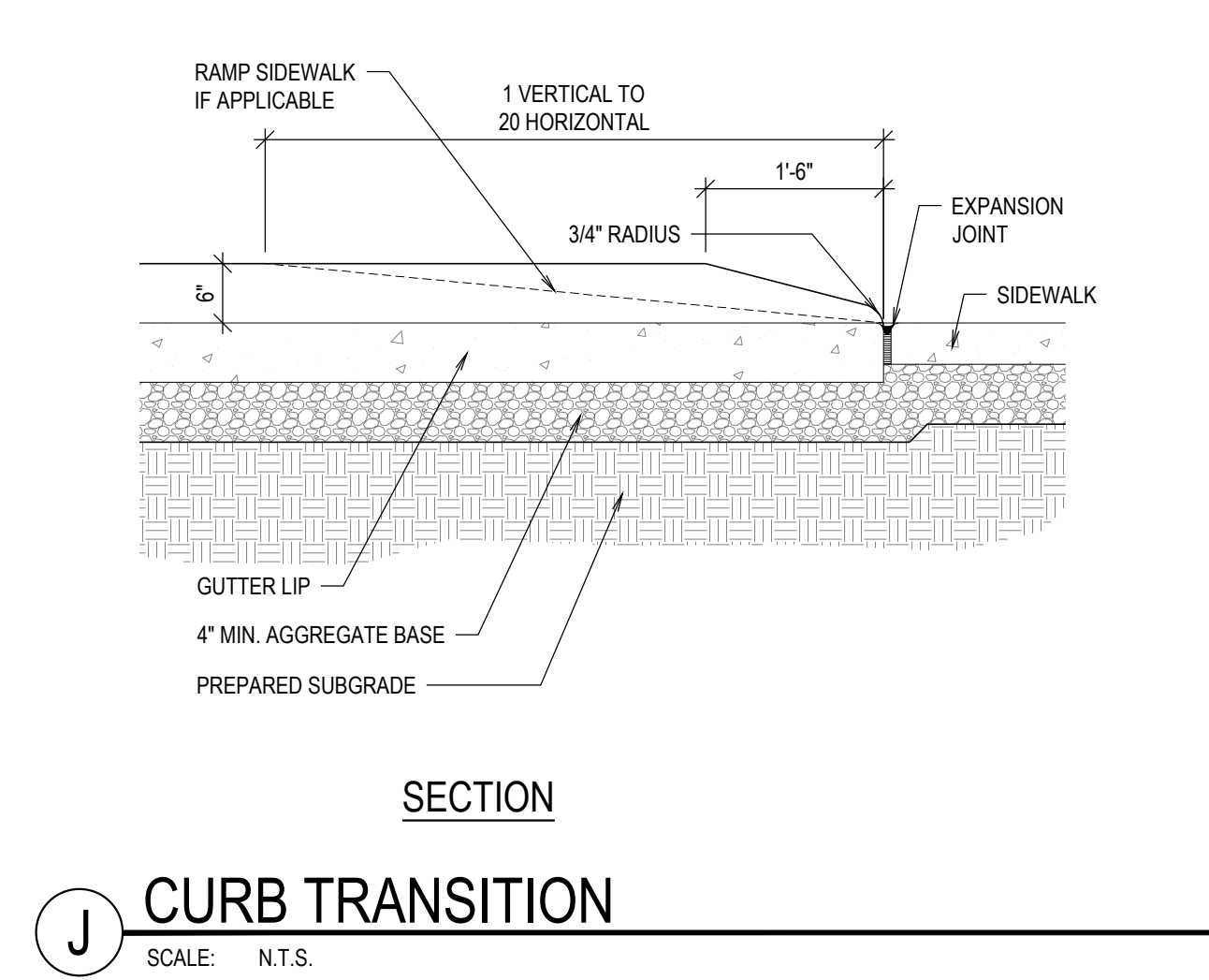
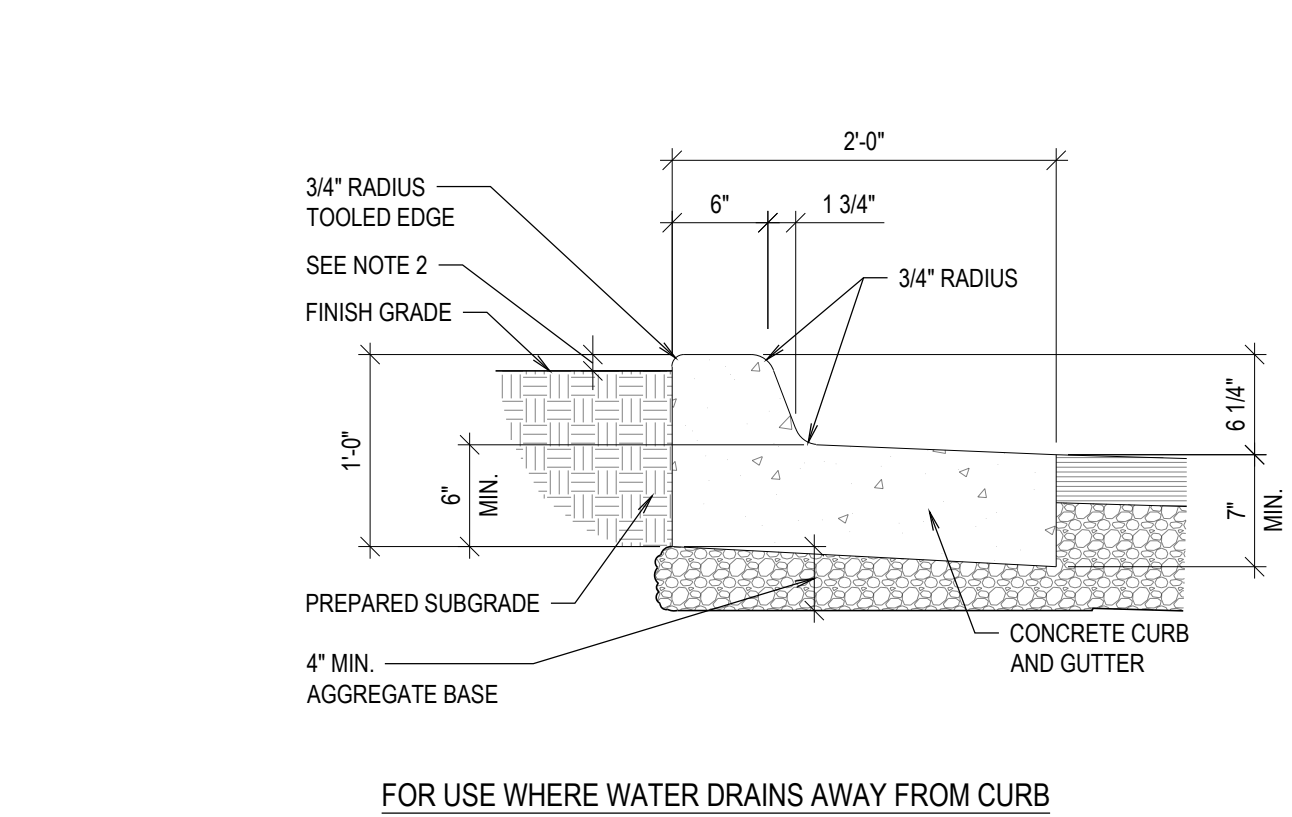
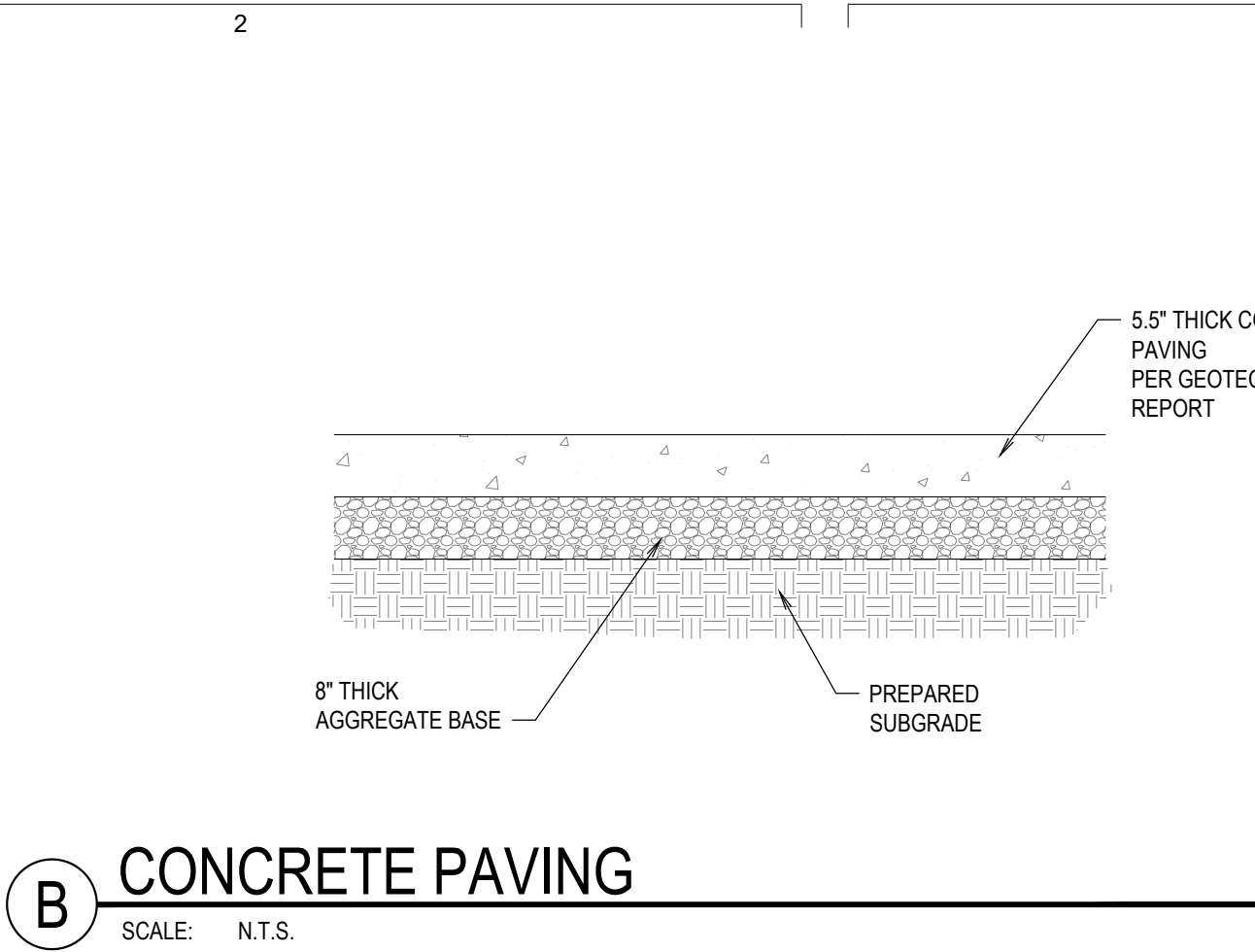
REV DATE DESCRIPTION

SITE UTILITY PLAN

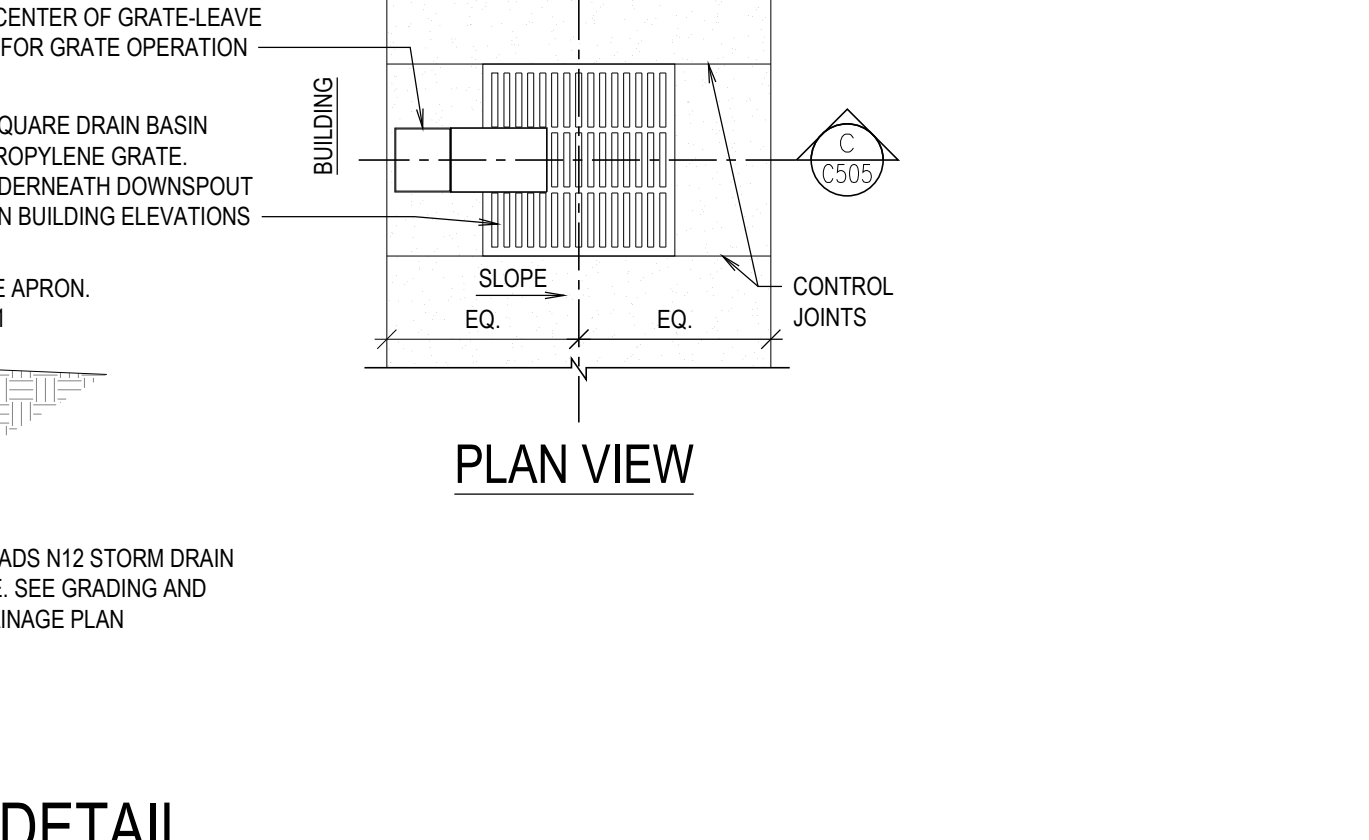
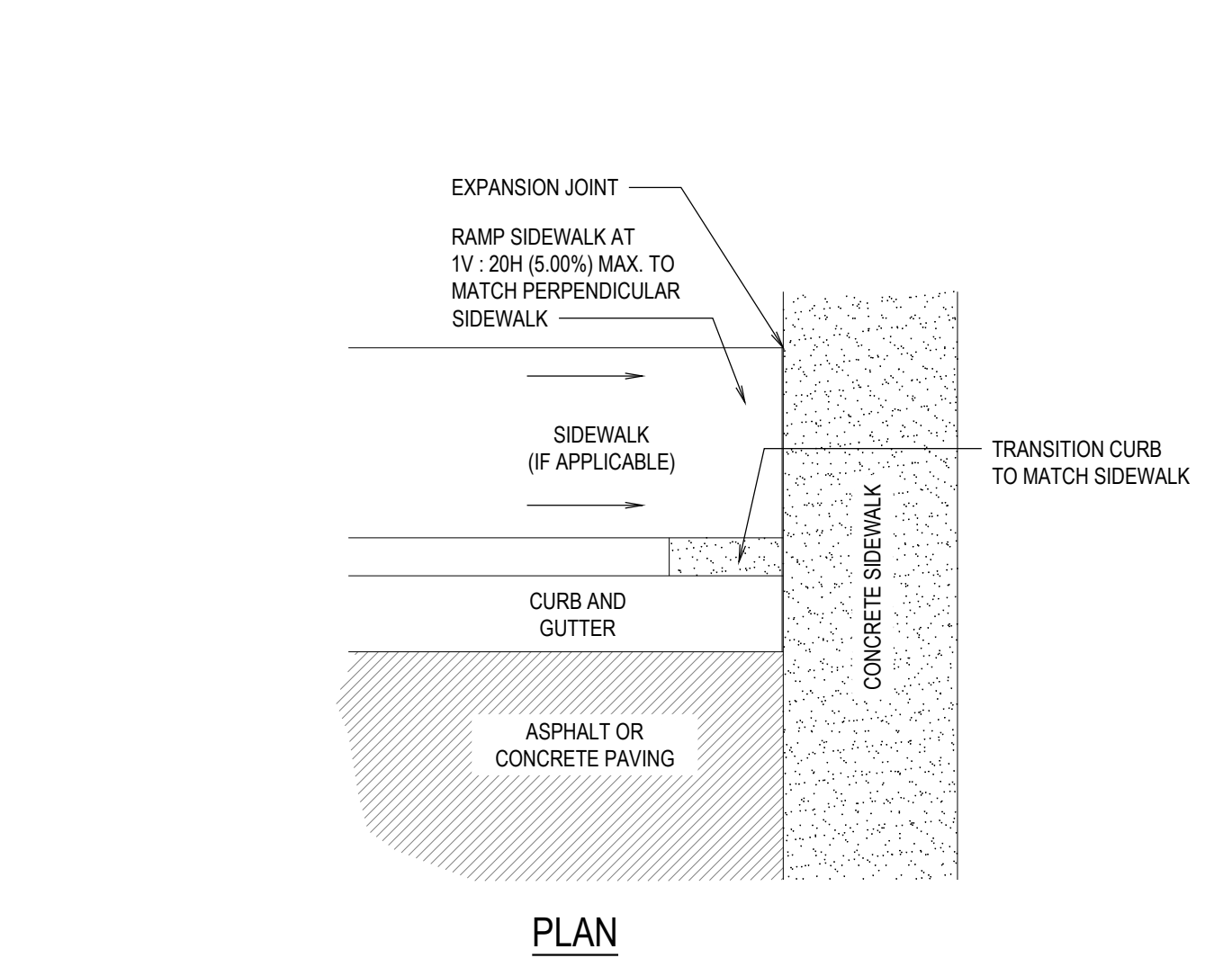
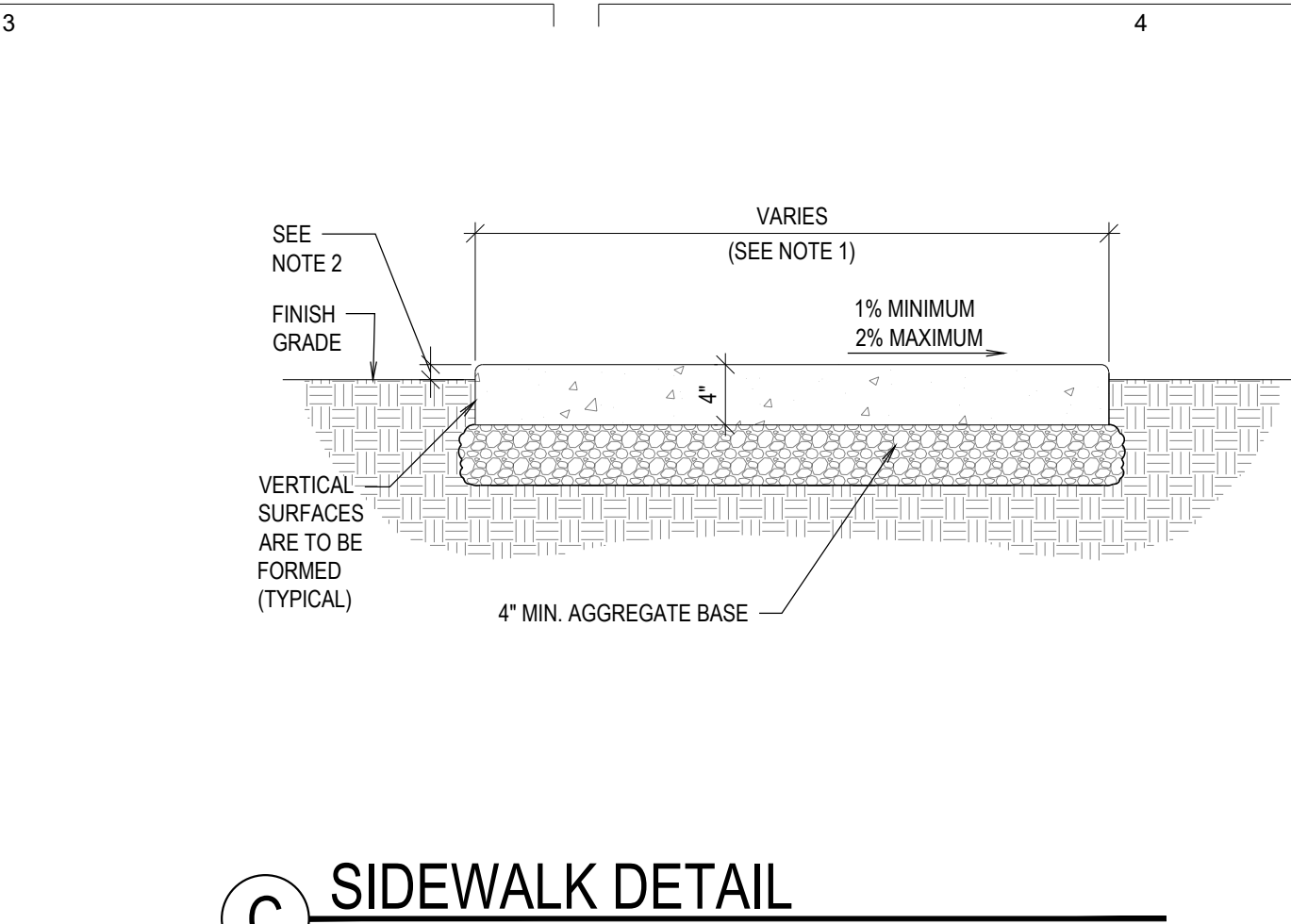
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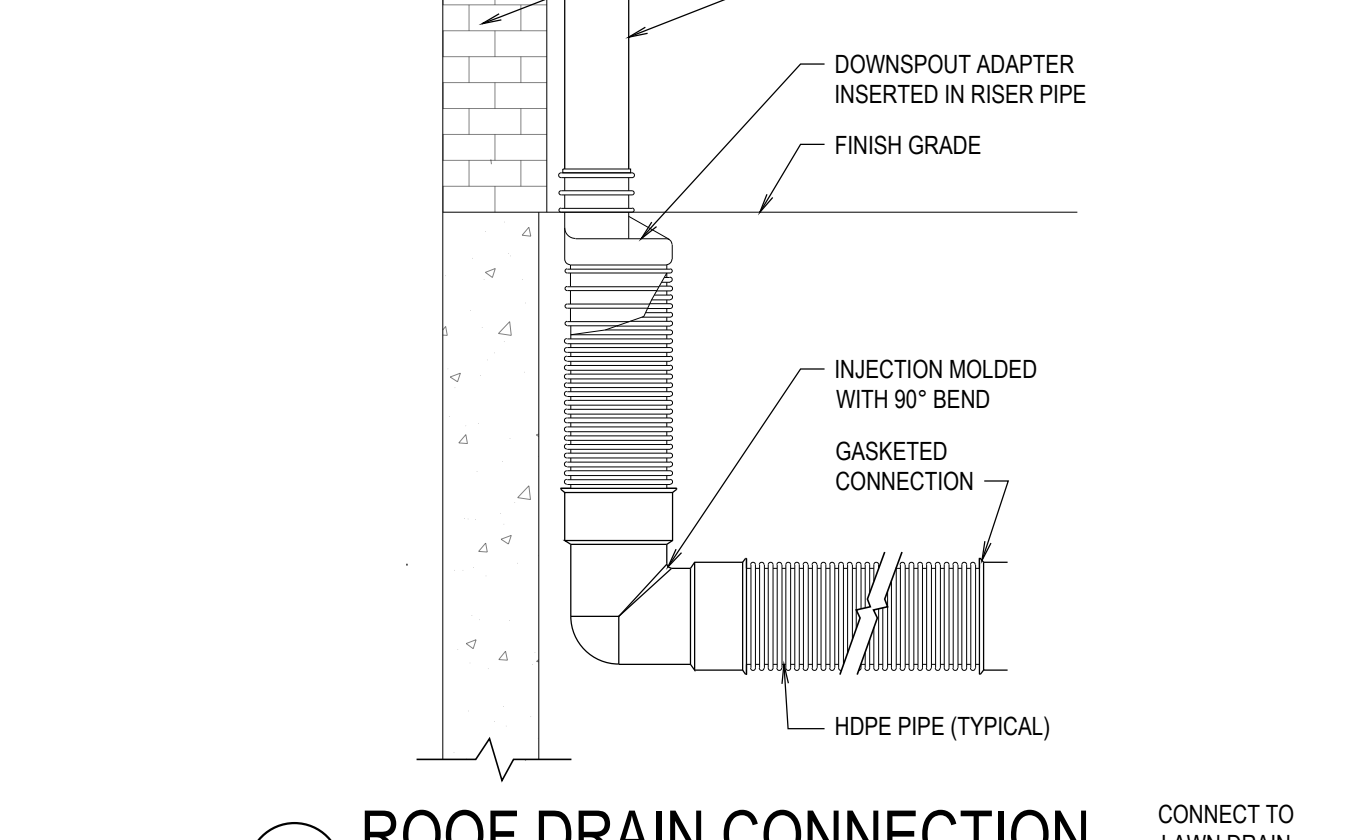
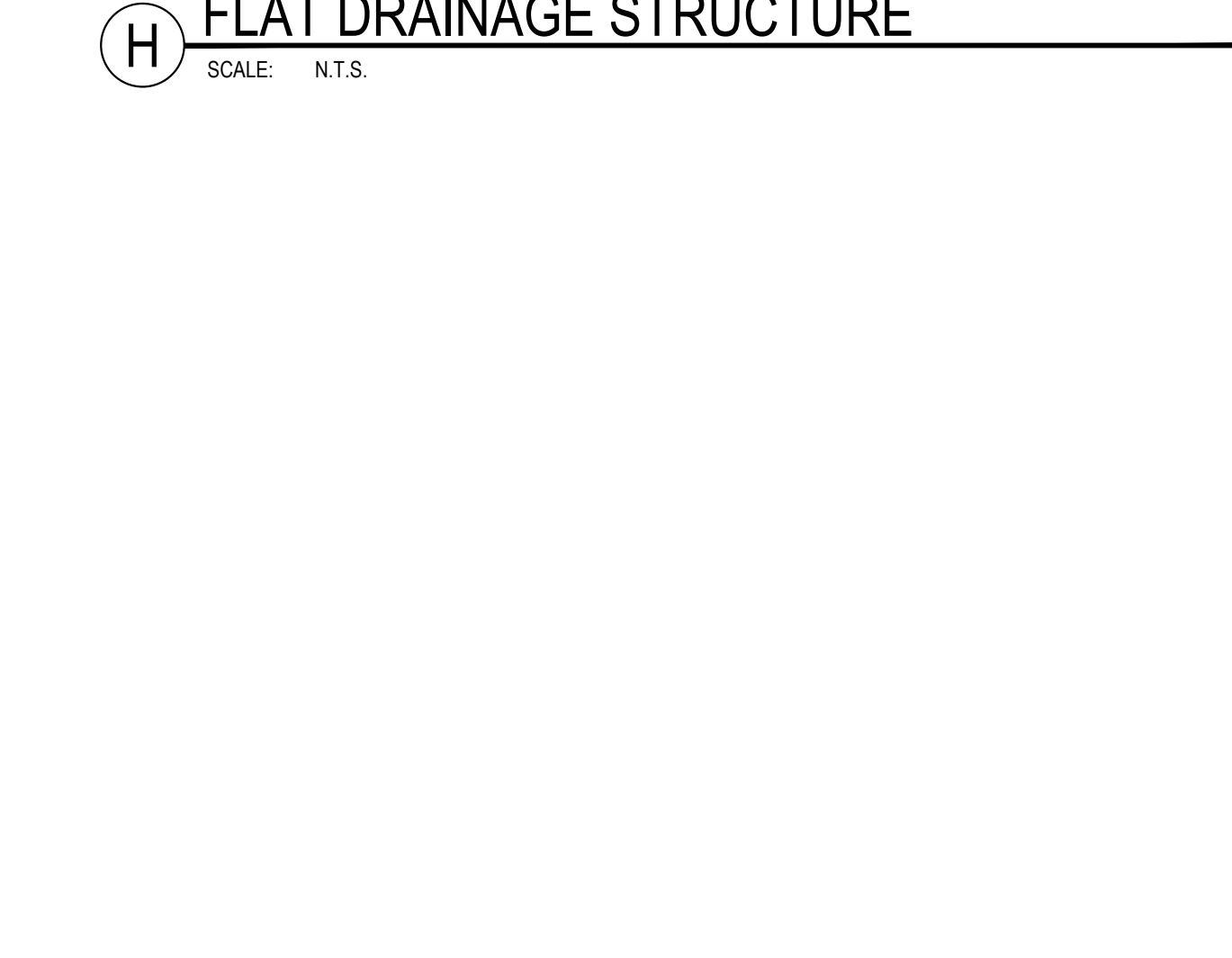
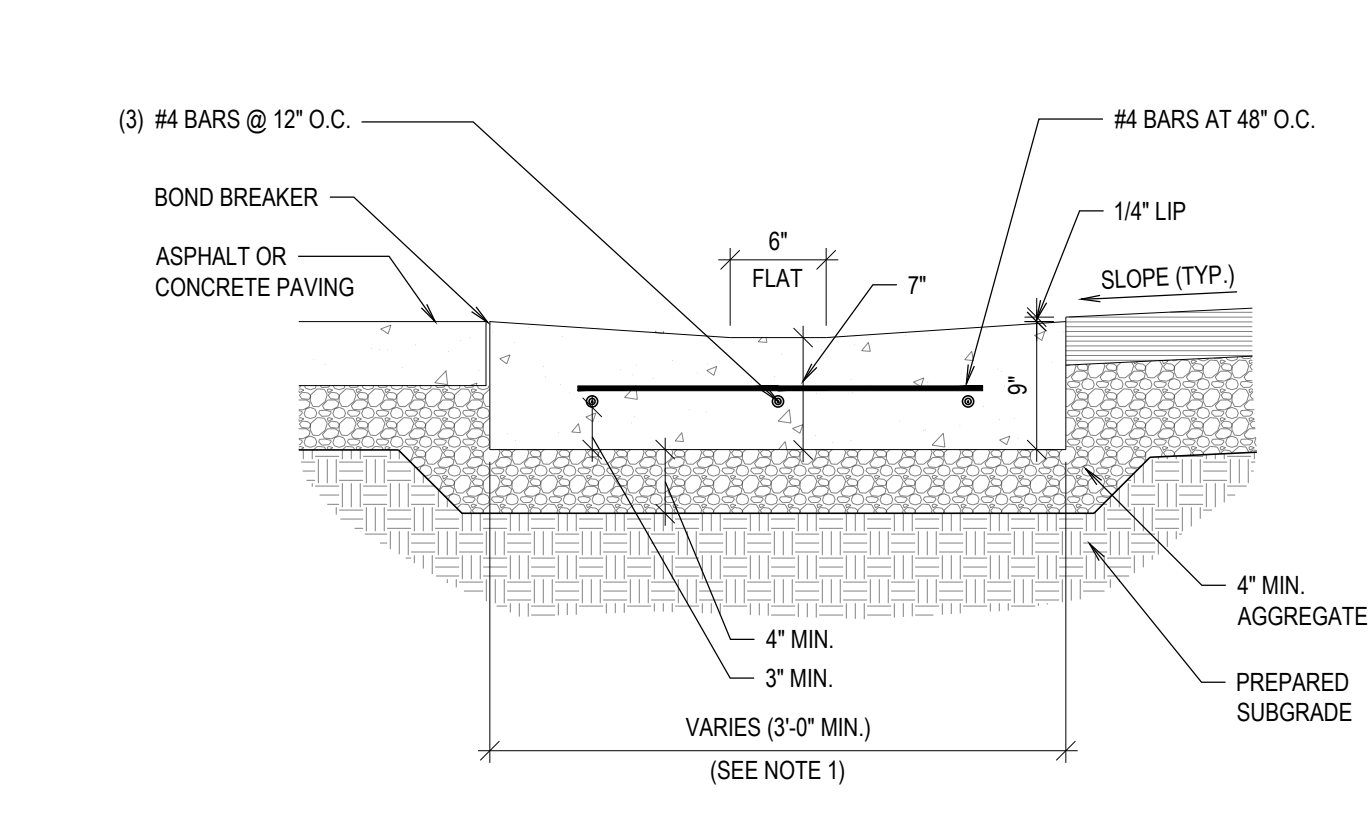
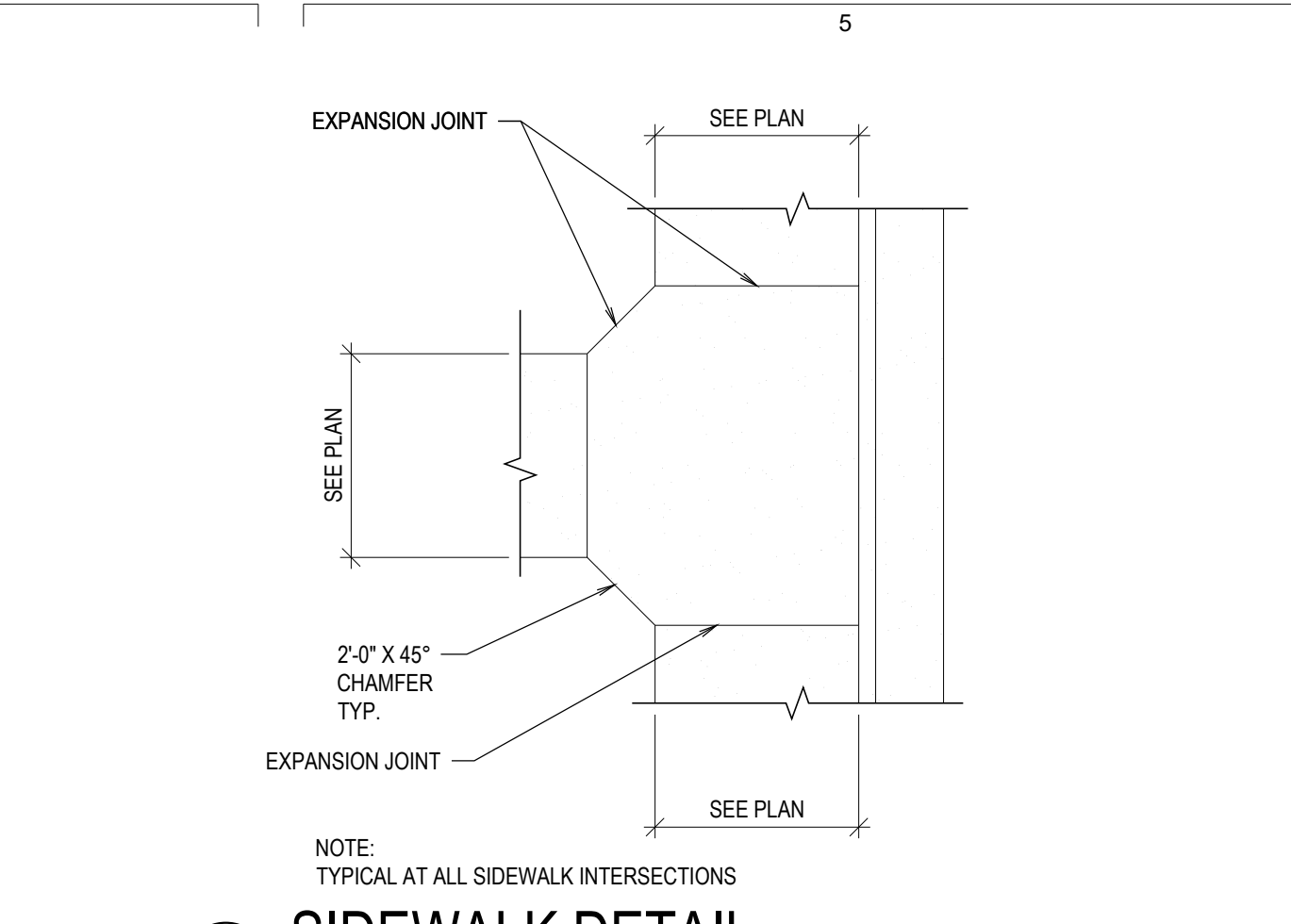
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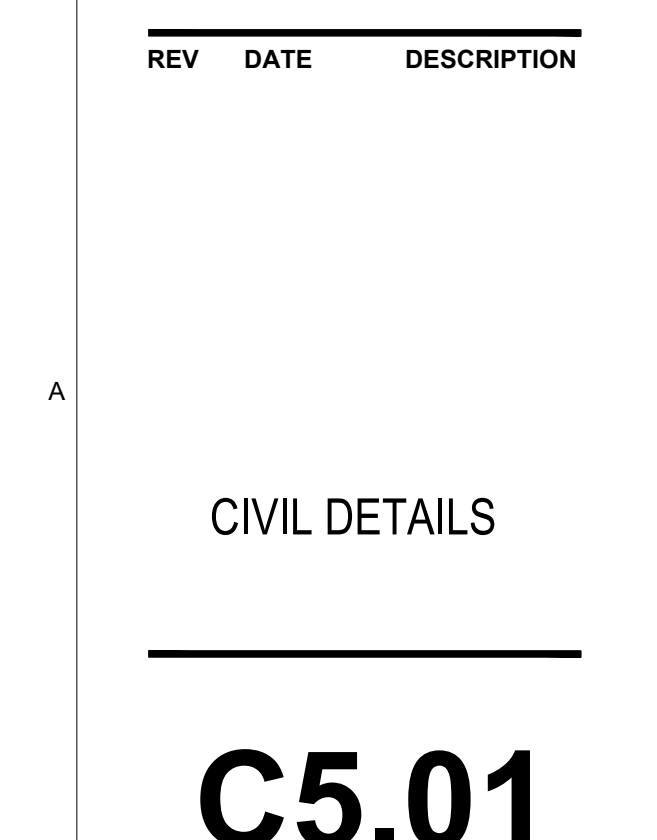
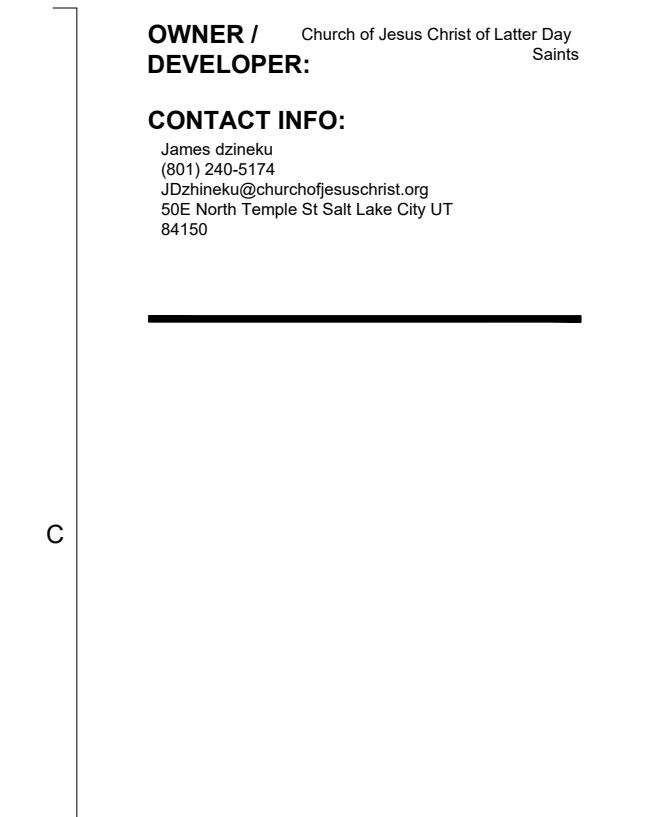
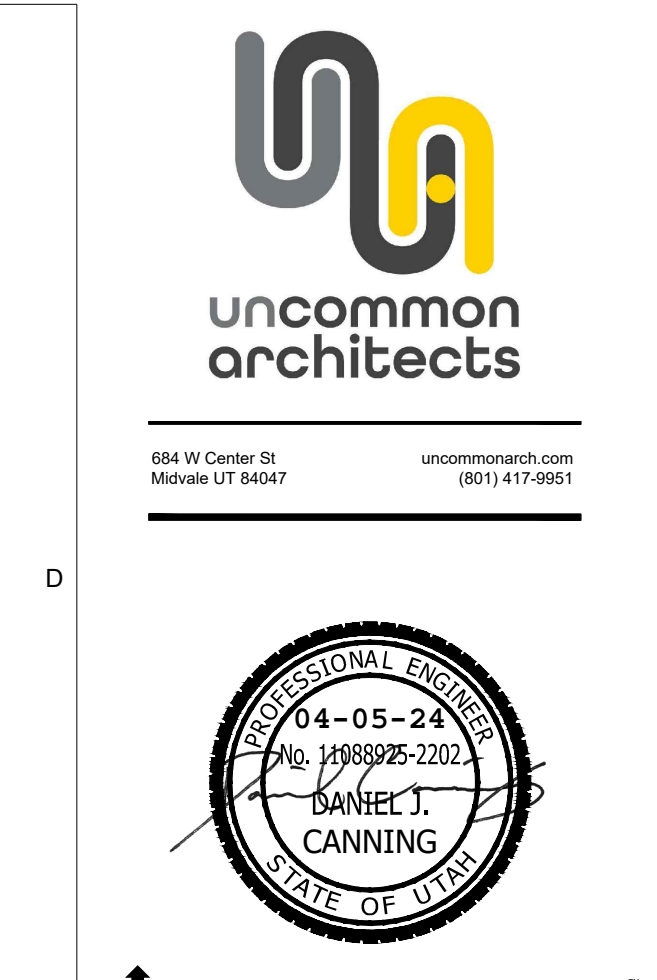
2



3



3



3

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OWNER / DEVELOPER:

Church of Jesus Christ of Latter Day Saints

CONTACT INFO:

James Donahu
(801) 248-5174
JD@hnuu@churchofjesuschrist.org
505 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

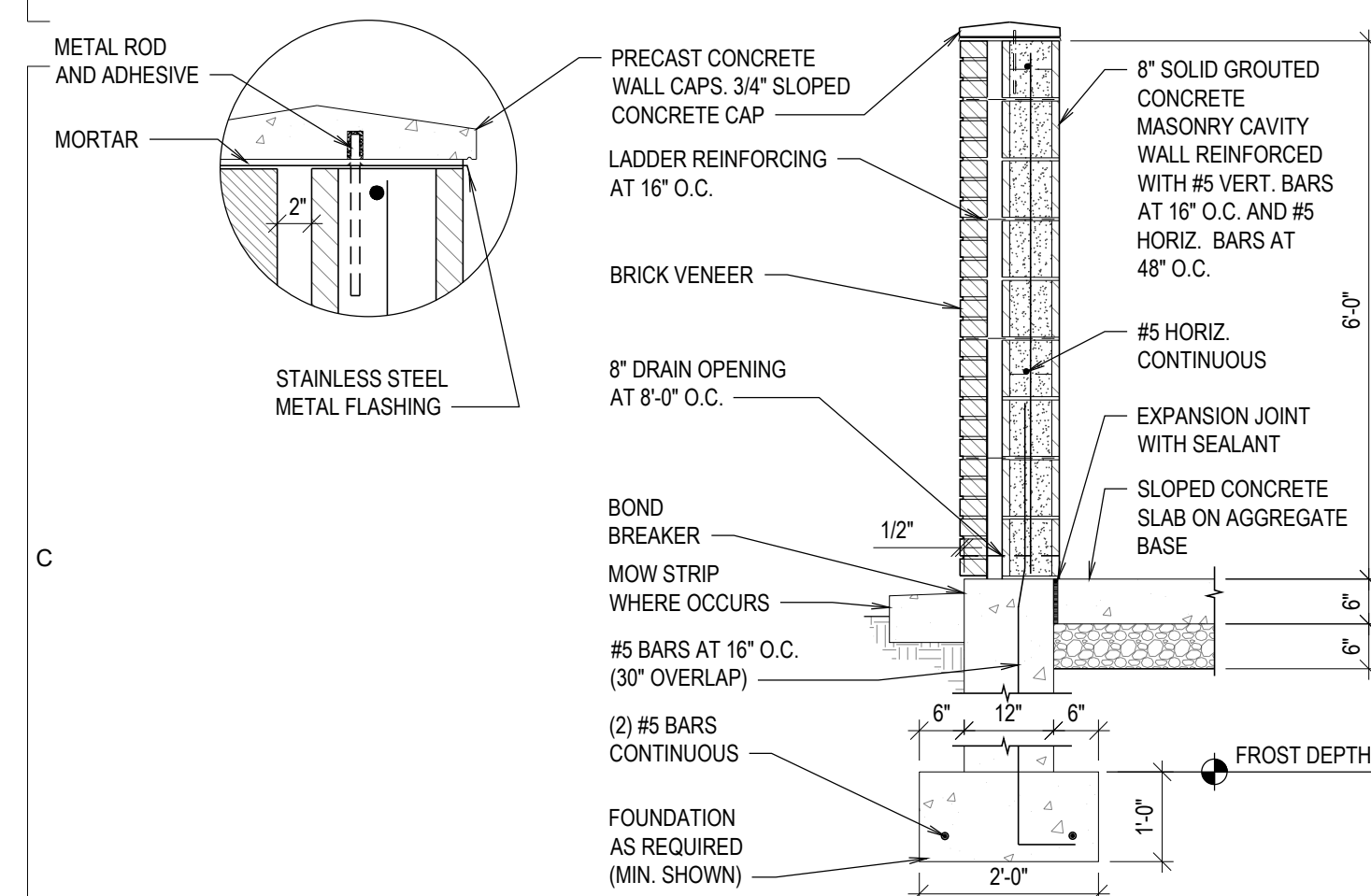
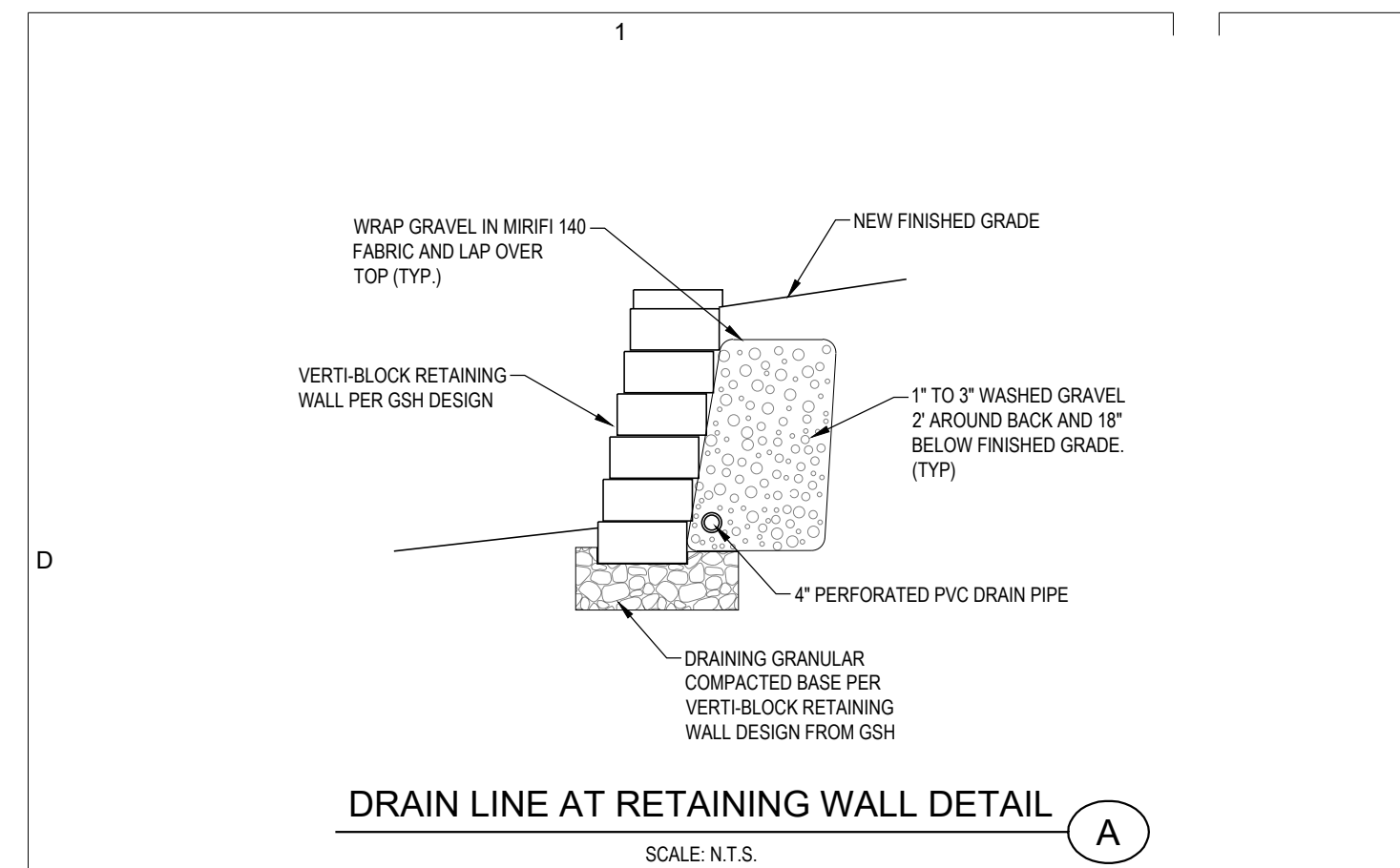
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 04.05.2024

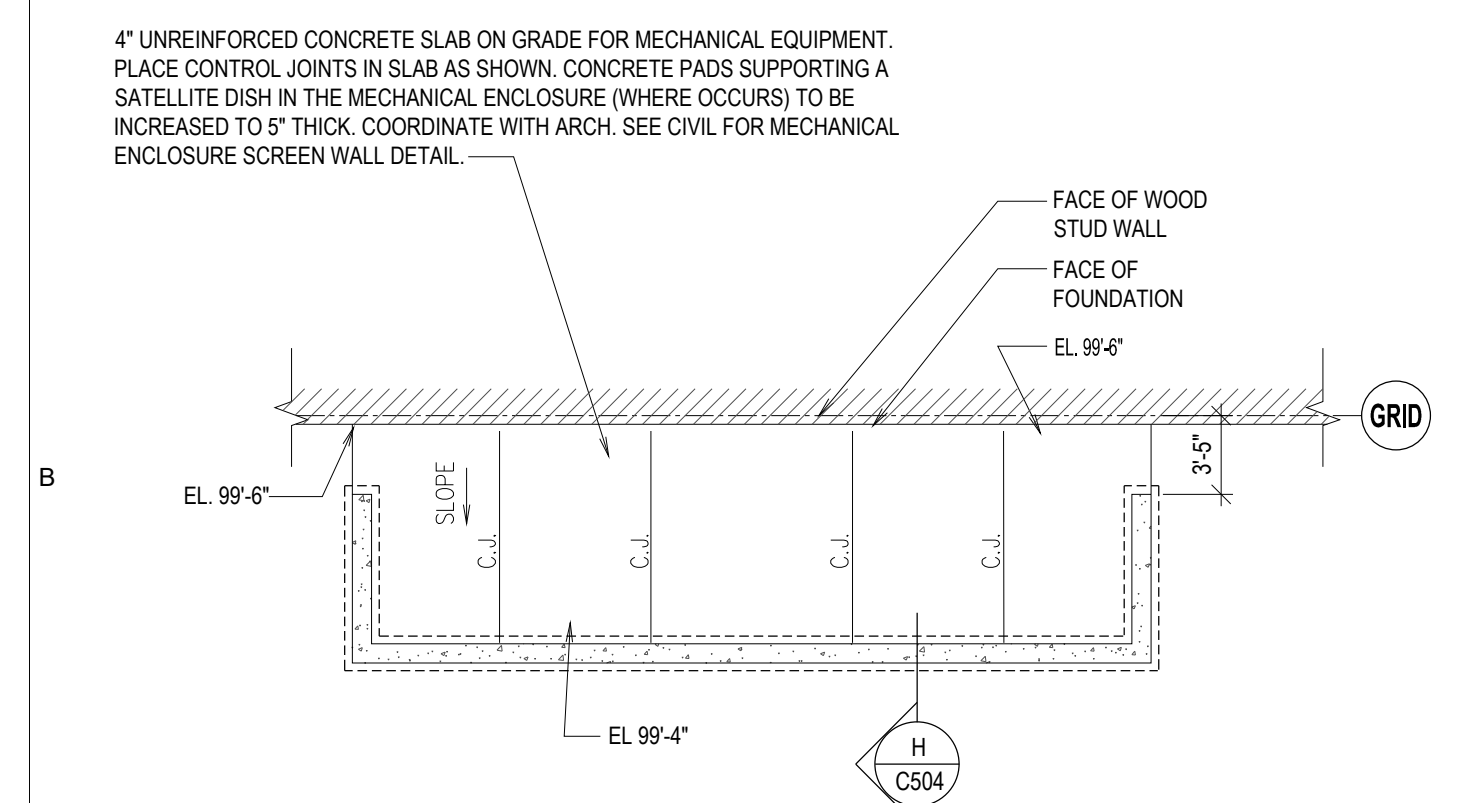
REV	DATE	DESCRIPTION
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CIVIL DETAILS

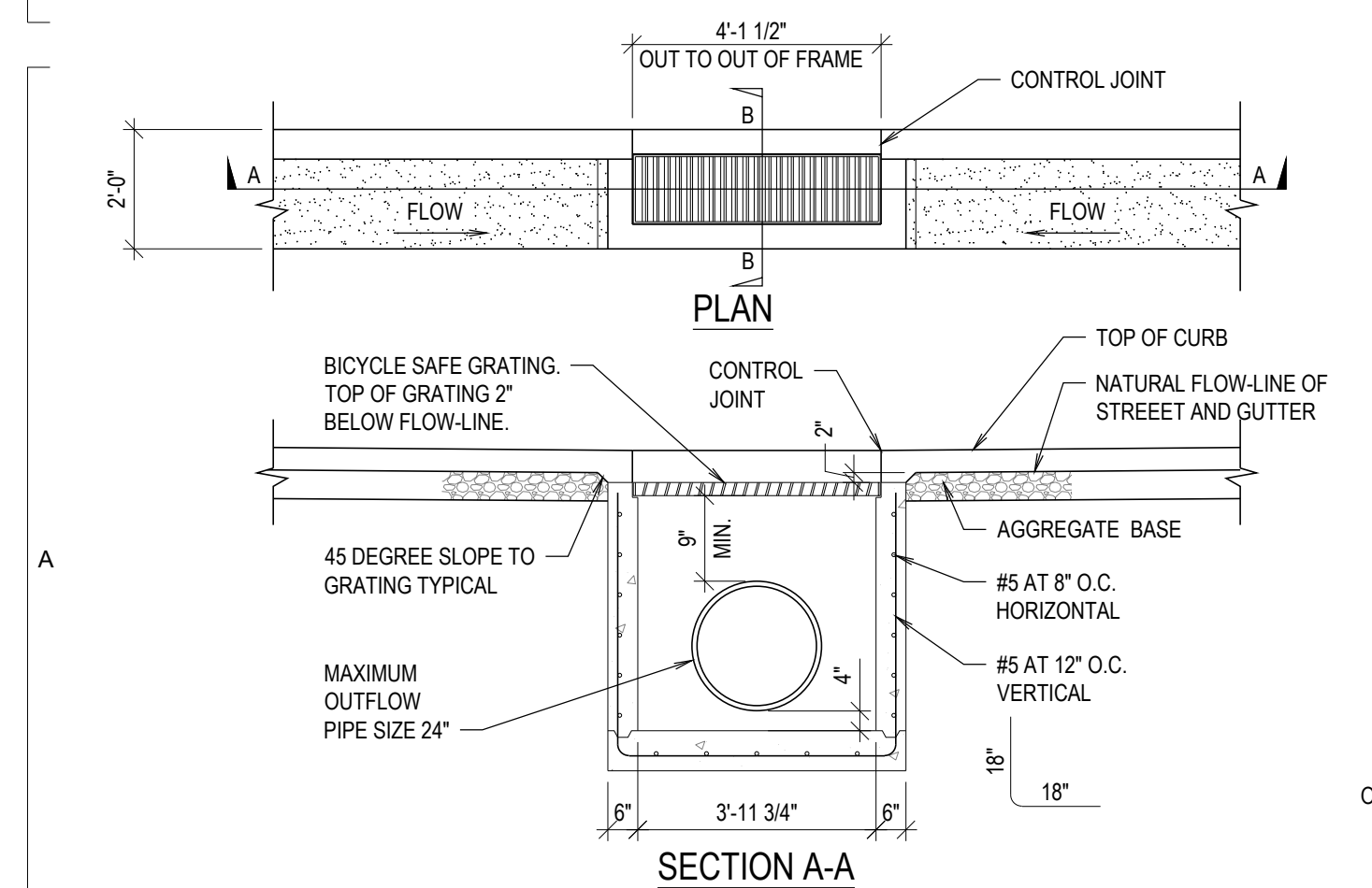
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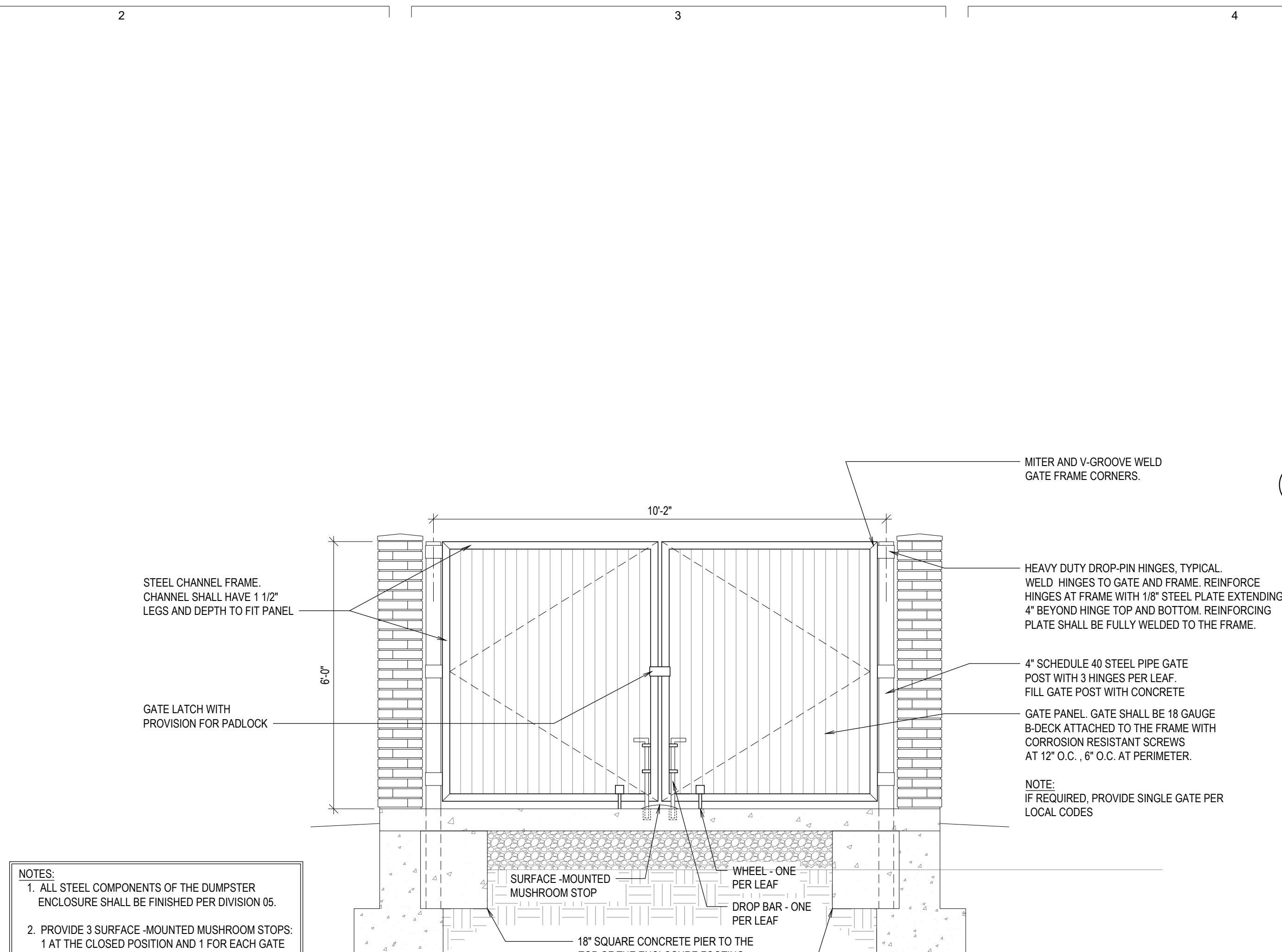
C MASONRY WALL DUMPSTER ENCLOSURE
SCALE: N.T.S.



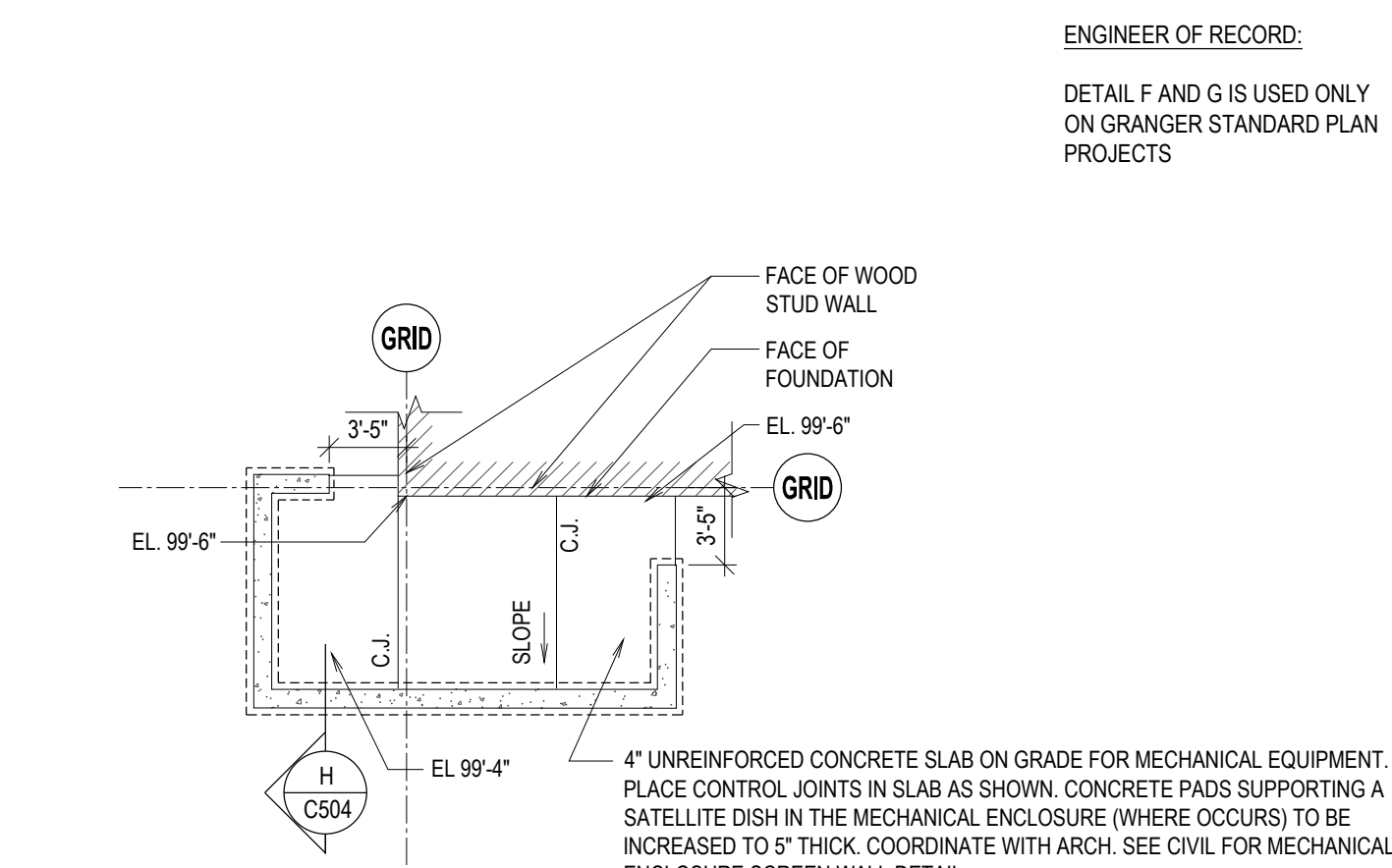
F MECHANICAL ENCLOSURE AT STRAIGHT WALL
SCALE: N.T.S.



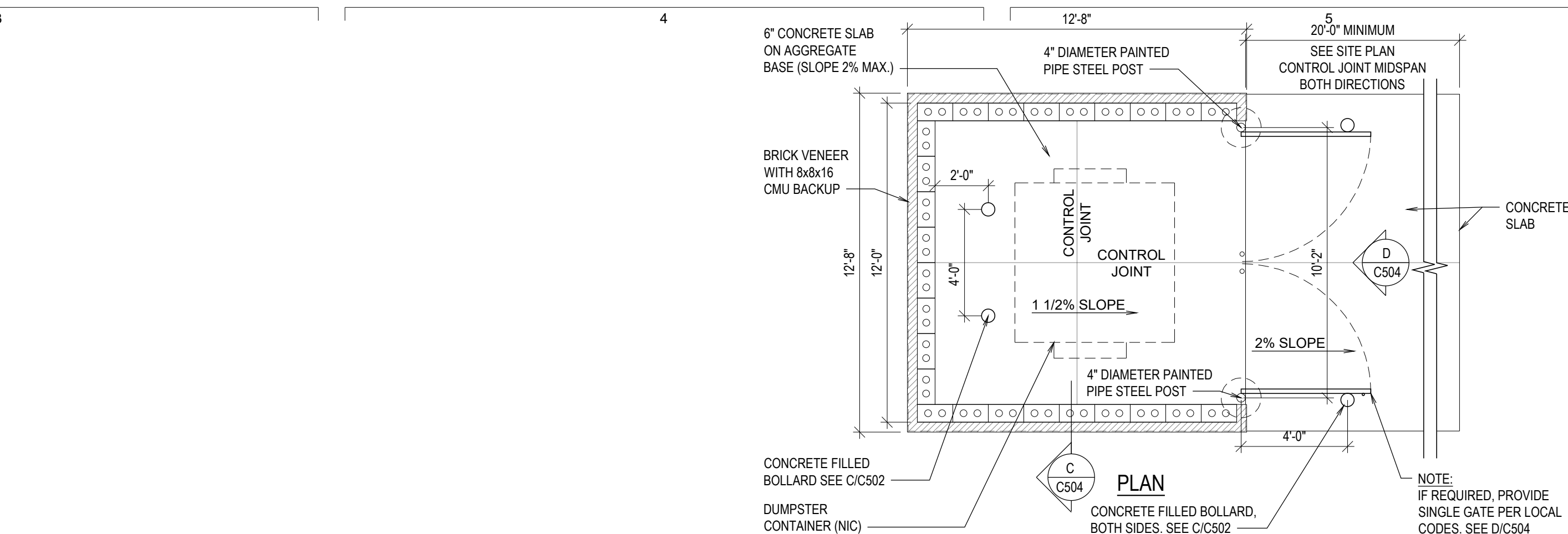
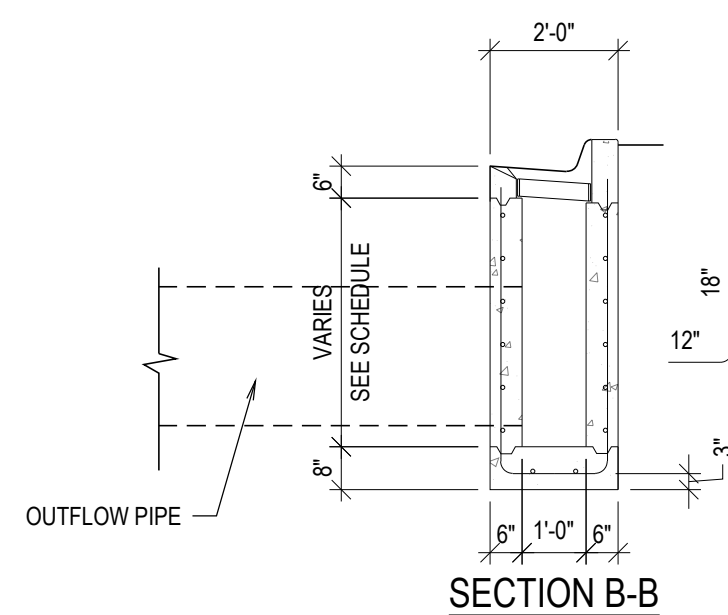
(M) SINGLE GUTTER INLET BOX
SCALE: N.T.S.



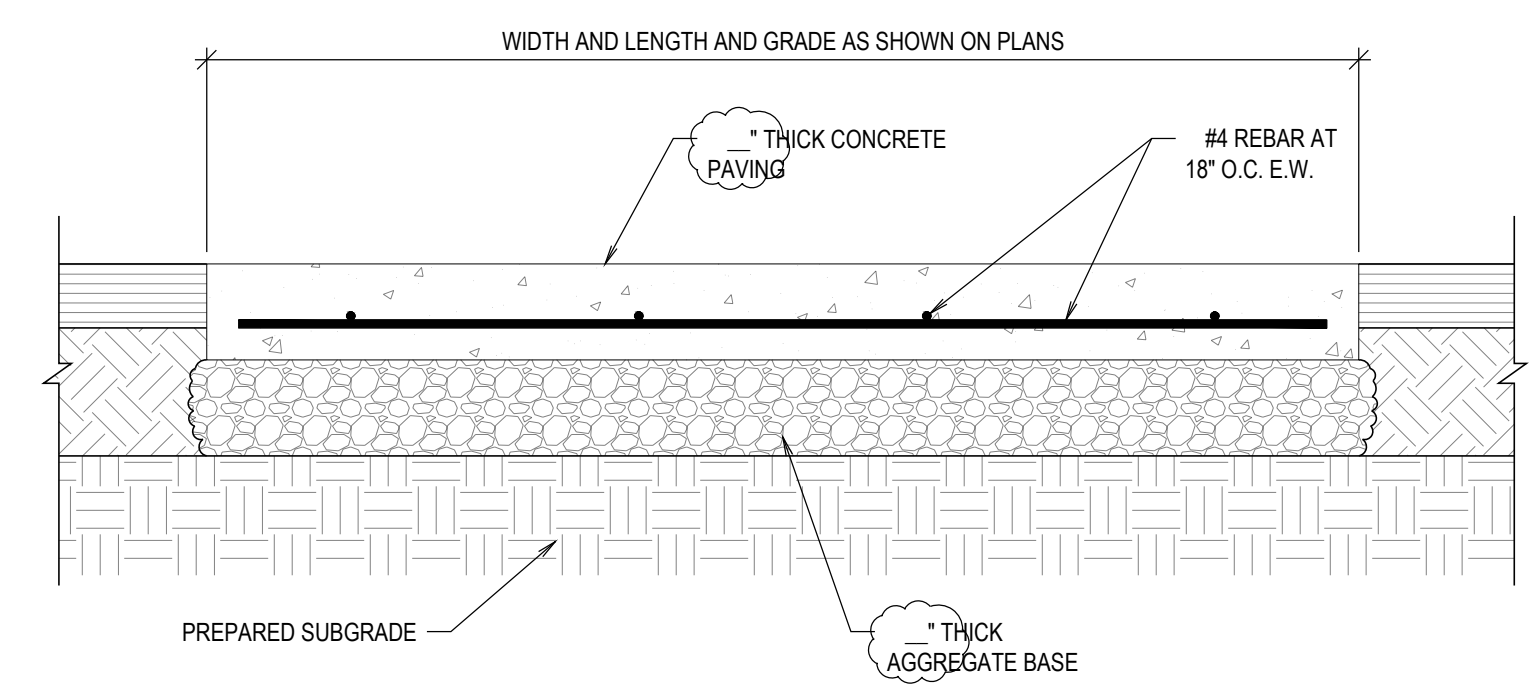
(D) MASONRY WALL DUMPSTER GATE
SCALE: N.T.S.



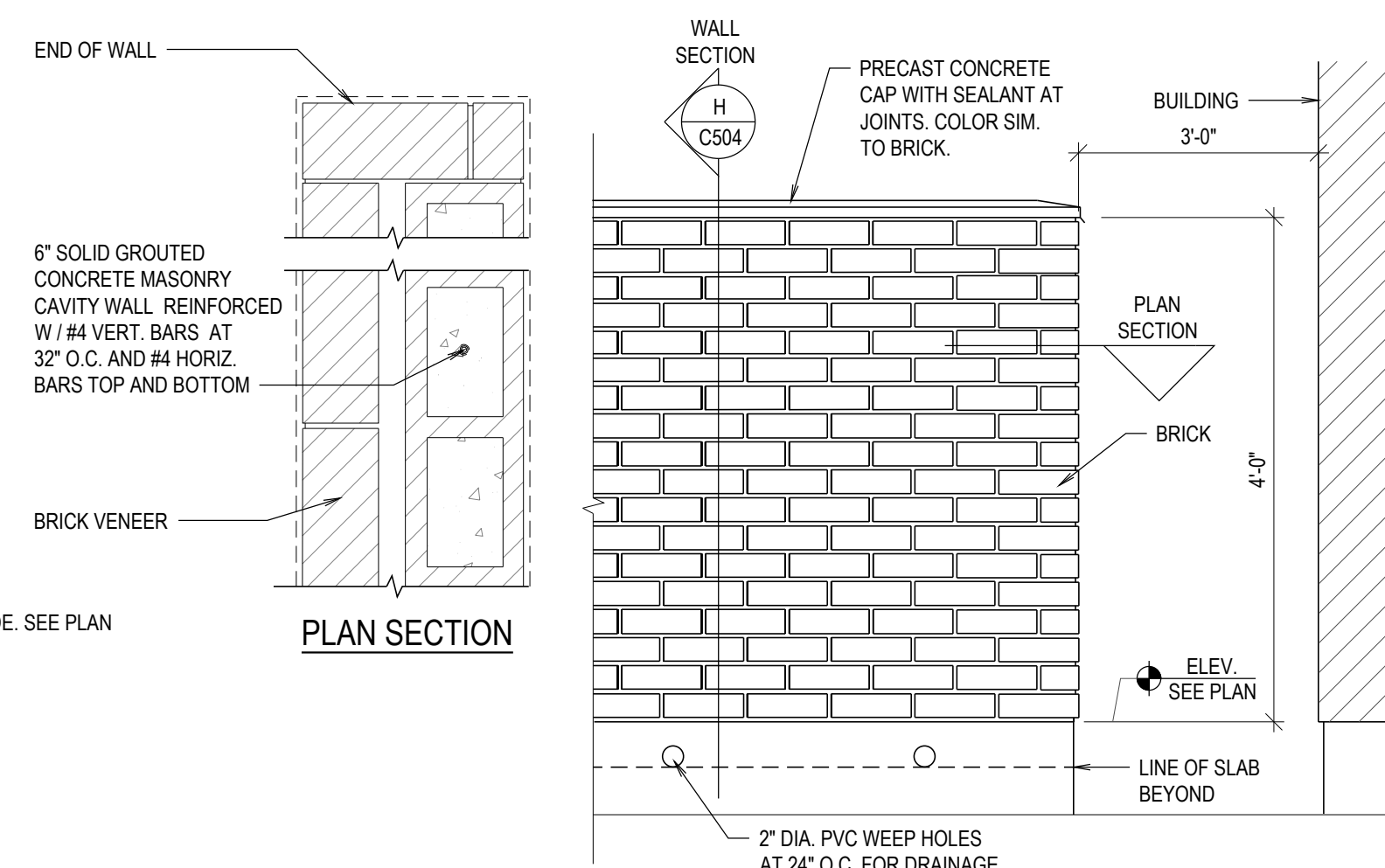
G MECHANICAL ENCLOSURE AT CORNER WALL
SCALE: N.T.S.



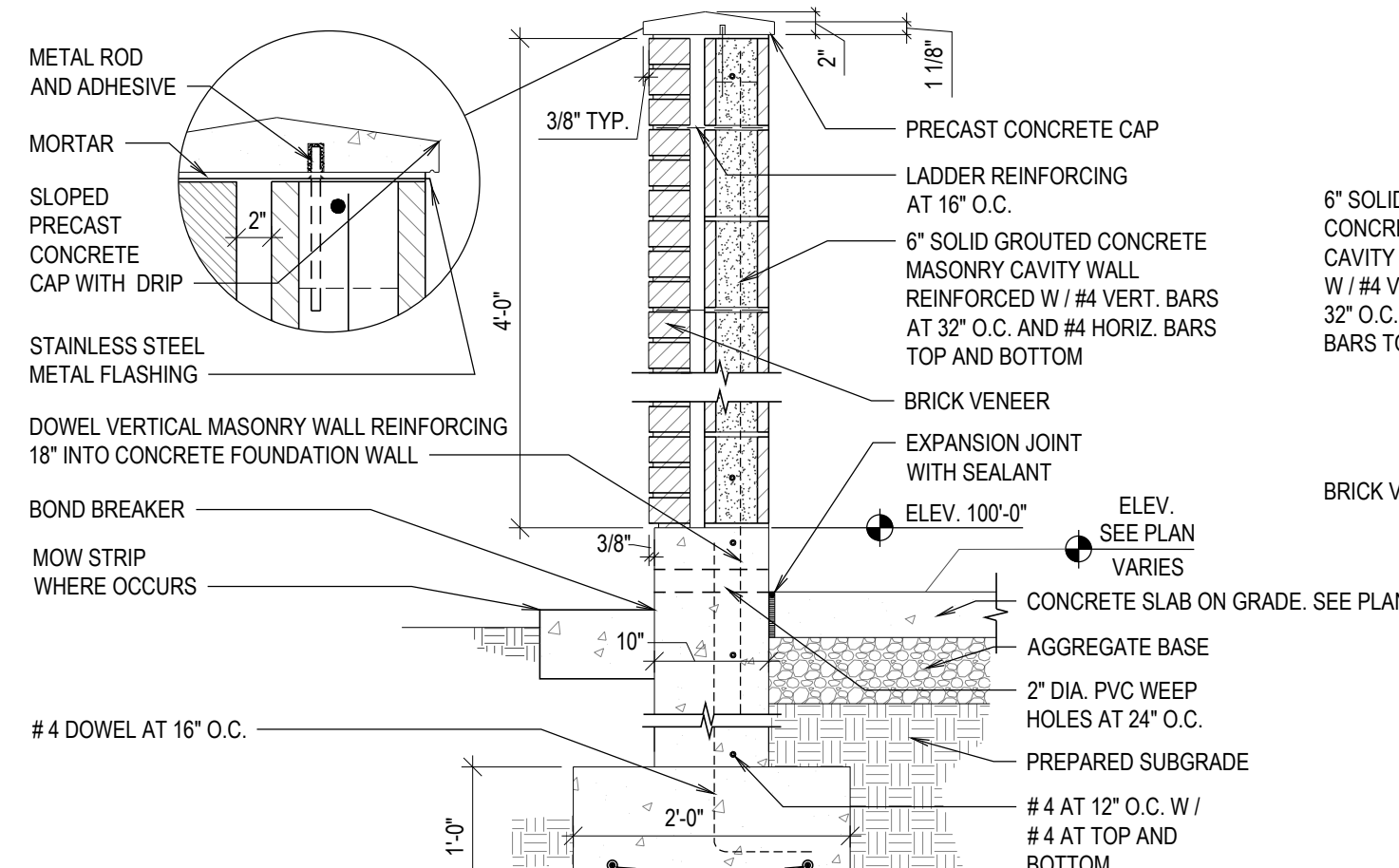
B MASONRY WALL DUMPSTER ENCLOSURE
SCALE: N.T.S.



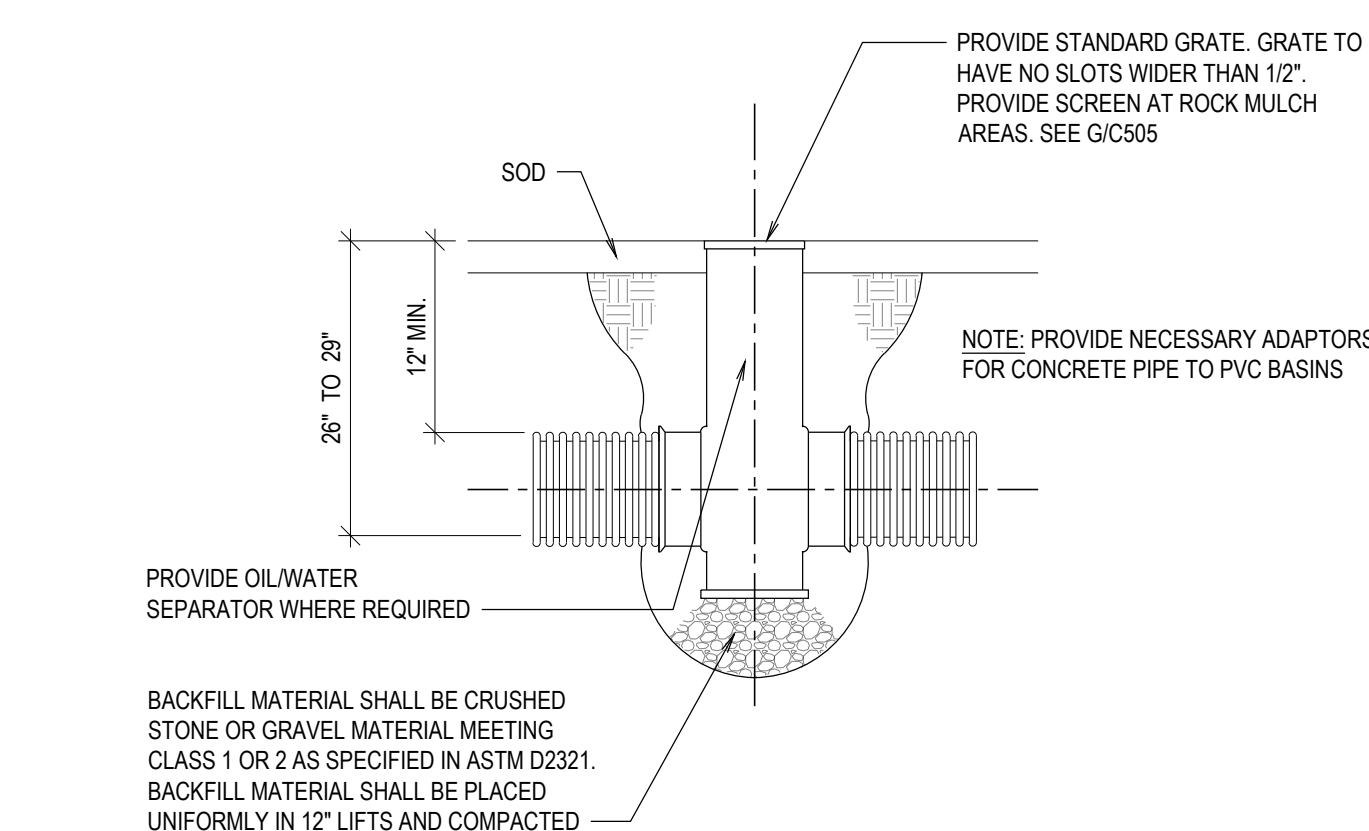
E DUMPSTER PAD SECTION
SCALE: N.T.S.



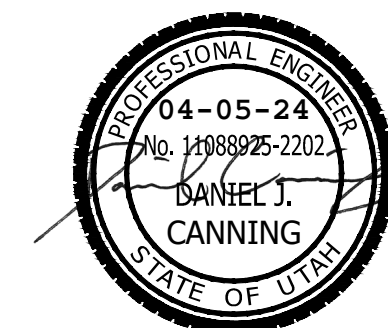
J MASONRY WALL MECH. ENCLOSURE ELEV.
SCALE: N.T.S.



MASONRY WALL MECHANICAL ENCLOSURE
SCALE: N.T.S. (ALTERNATE TO G/C504) - FOR RIBBED SLAB FOUNDATION TYPE



12" AREA NYLOPLAST DRAIN BOX



OWNER / Church of Jesus Christ of Latter Day
DEVELOPER: Saints

CONTACT INFO:

James dzineku
(801) 240-5174
JDzineku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT
84150

ELK RIDGE UT HERITAGE 23-2

11120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698

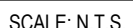
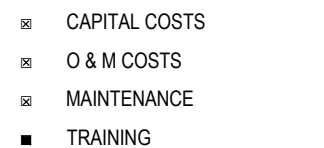
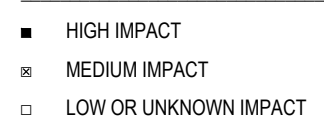
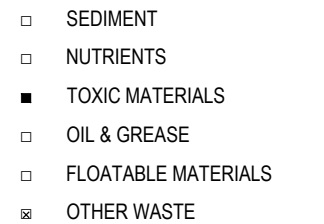
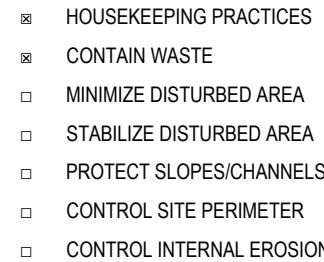
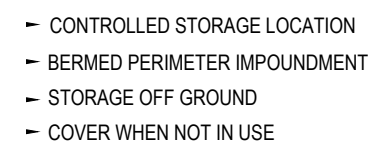
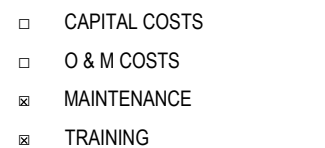
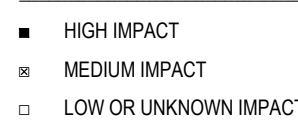
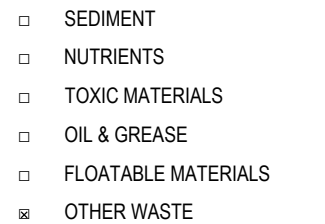
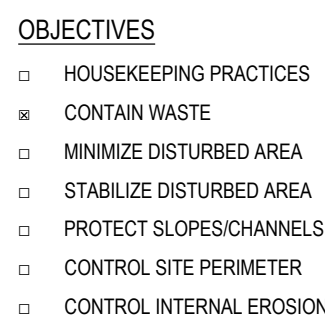
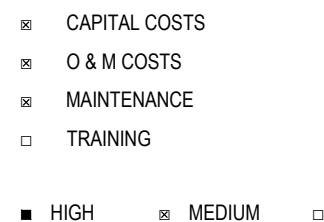
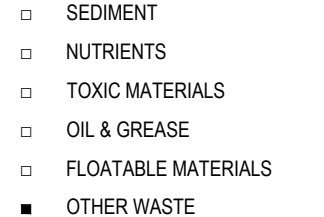
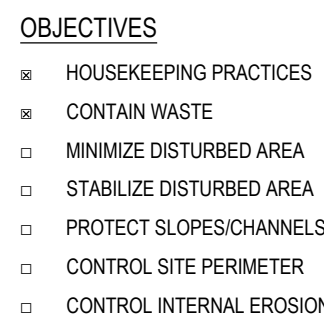
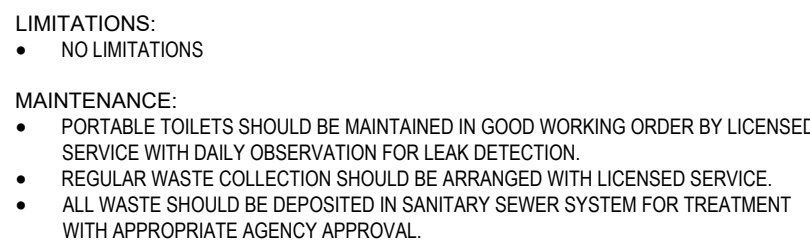
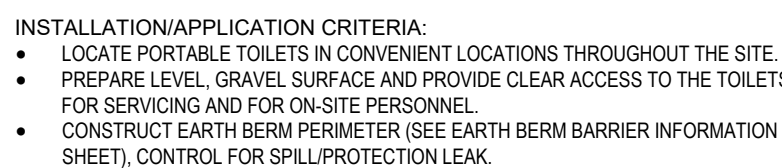
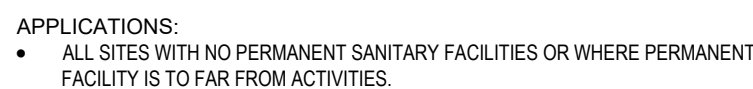
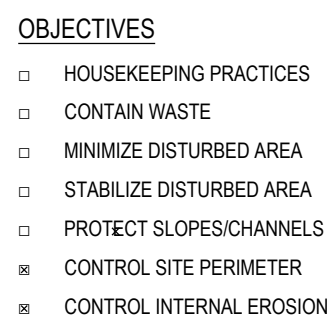
OWNER: Church of Jesus Christ of Latter Day
Saint

DATE: 04.05.2024

REV	DATE	DESCRIPTION
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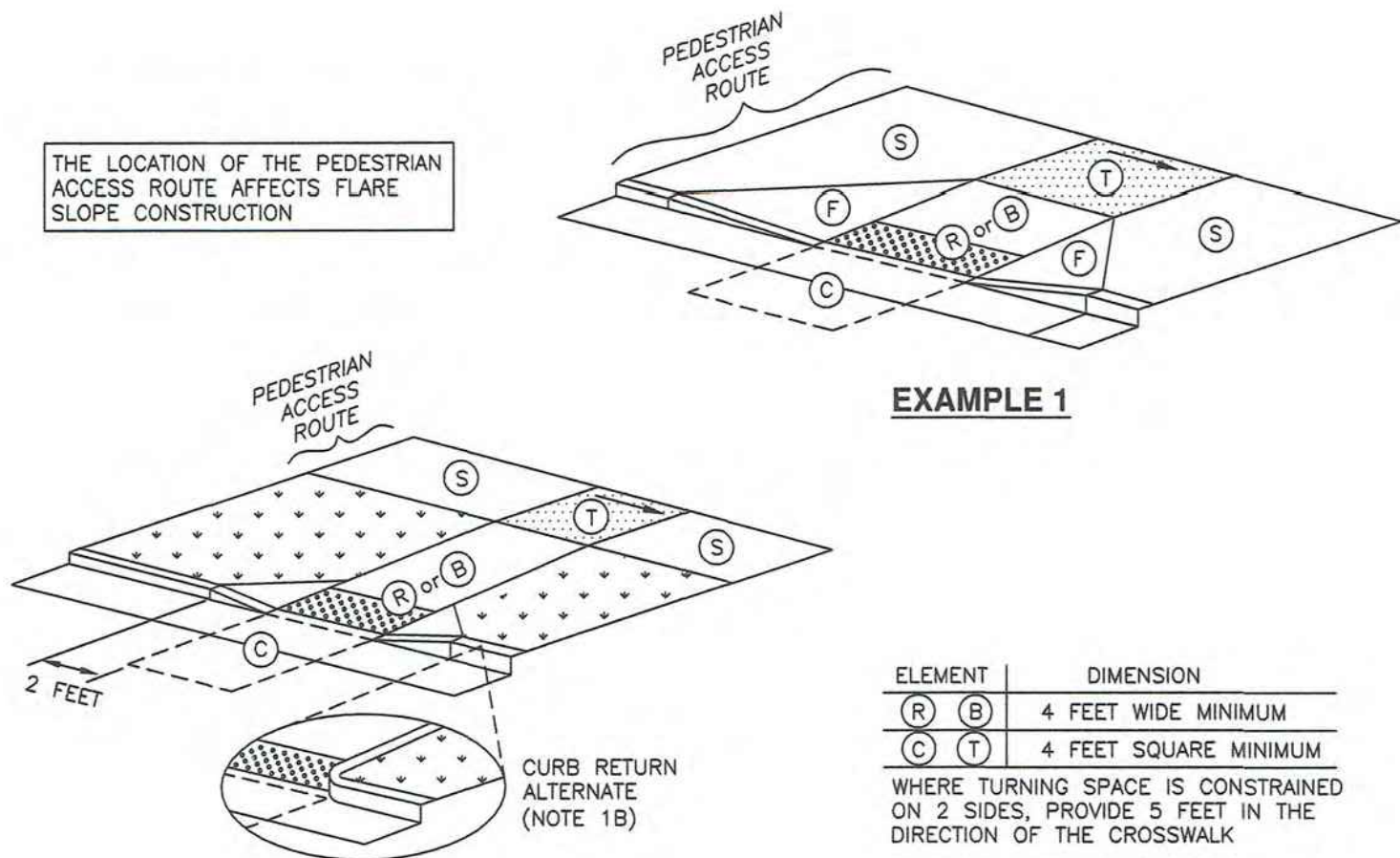
CIVIL DETAILS

C5.03



TURNING SPACE AT SIDEWALK LEVEL

THE LOCATION OF THE PEDESTRIAN ACCESS ROUTE AFFECTS FLARE SLOPE CONSTRUCTION



EXAMPLE 1

ELEMENT	DIMENSION
(R) (B)	4 FEET WIDE MINIMUM
(C) (T)	4 FEET SQUARE MINIMUM

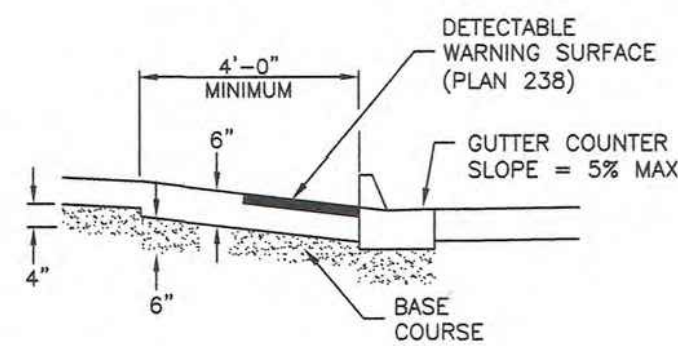
WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS

	RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (%) MAXIMUM
TURNING SPACE (T) STREET GRADE	2	2
CURB RAMP (R) STREET GRADE	8.33	2 (c)
BLENDED TRANSITION (B)	5	2 (c)
CLEAR SPACE (C) STREET GRADE	5	2 (c)
SIDEWALK (S) STREET GRADE	2	2
FLARE (F)	10	---

(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

SLOPE TABLE

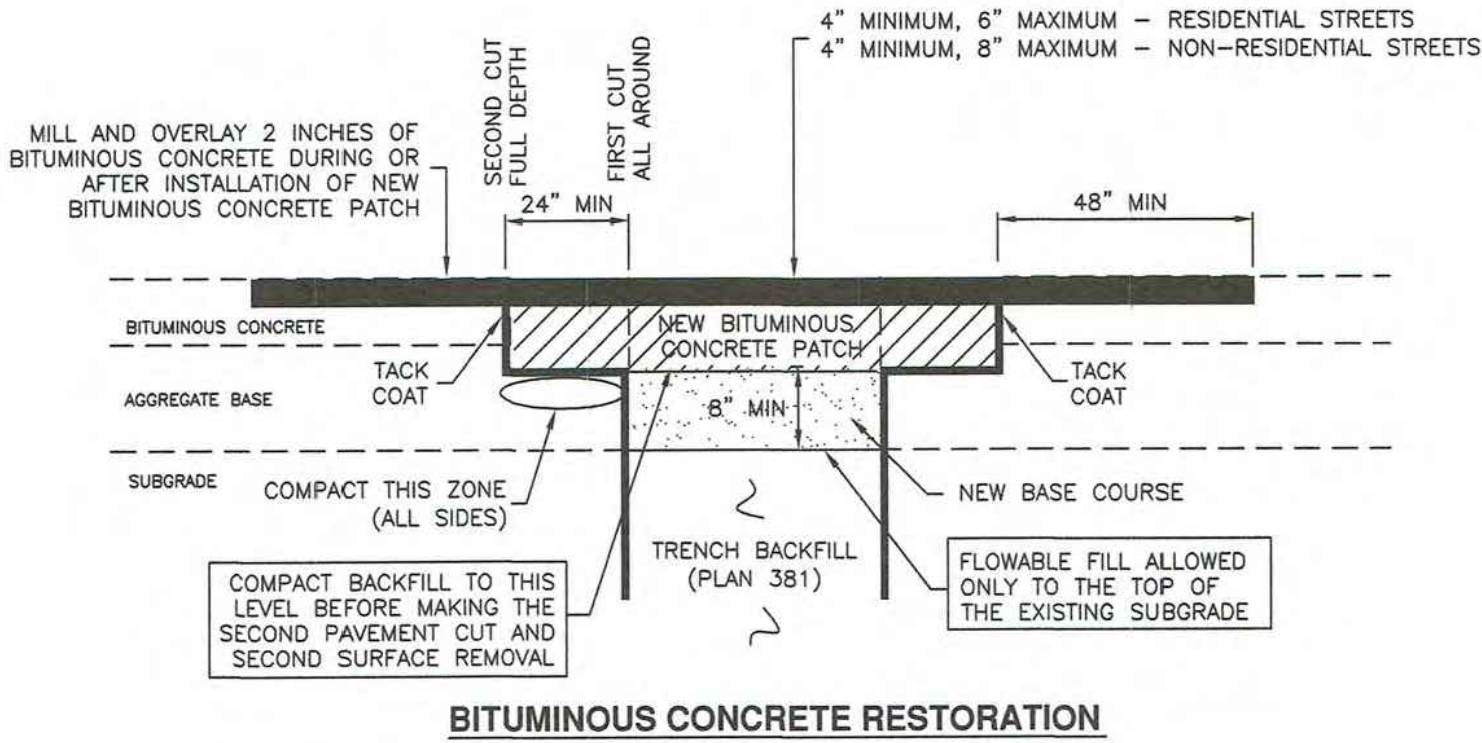


MATERIALS

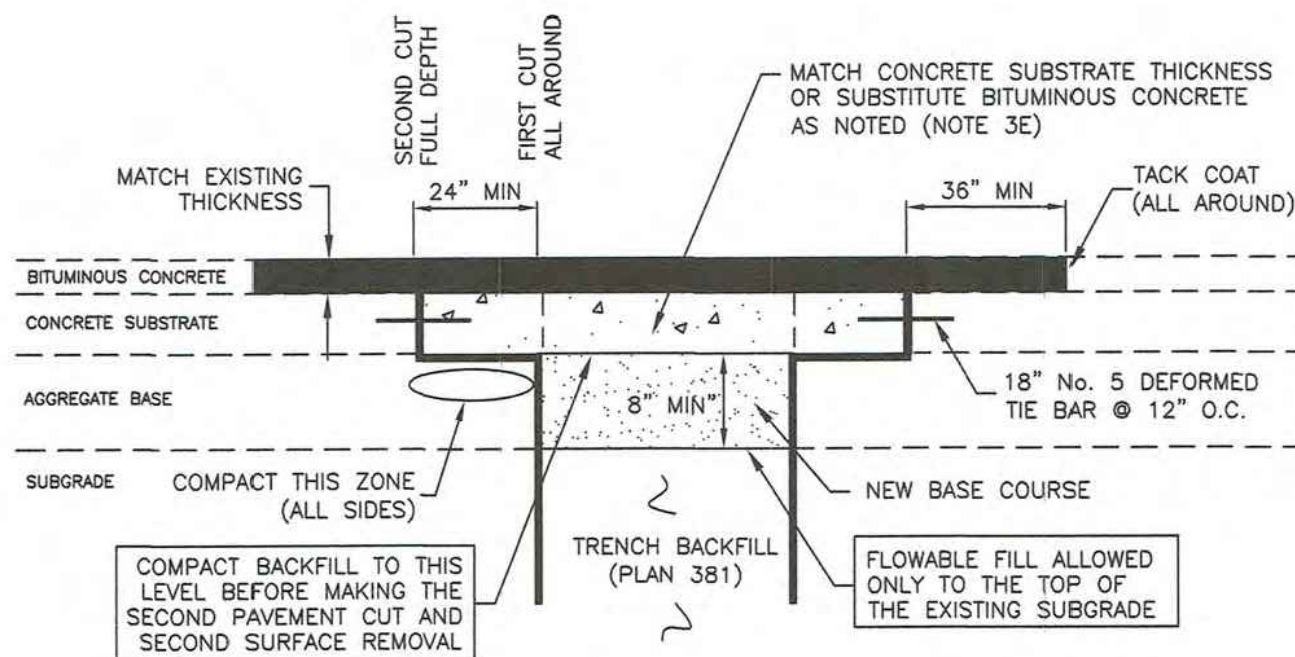


Mid-block curb cut assembly

Plan 236.1
September 2011



BITUMINOUS CONCRETE RESTORATION

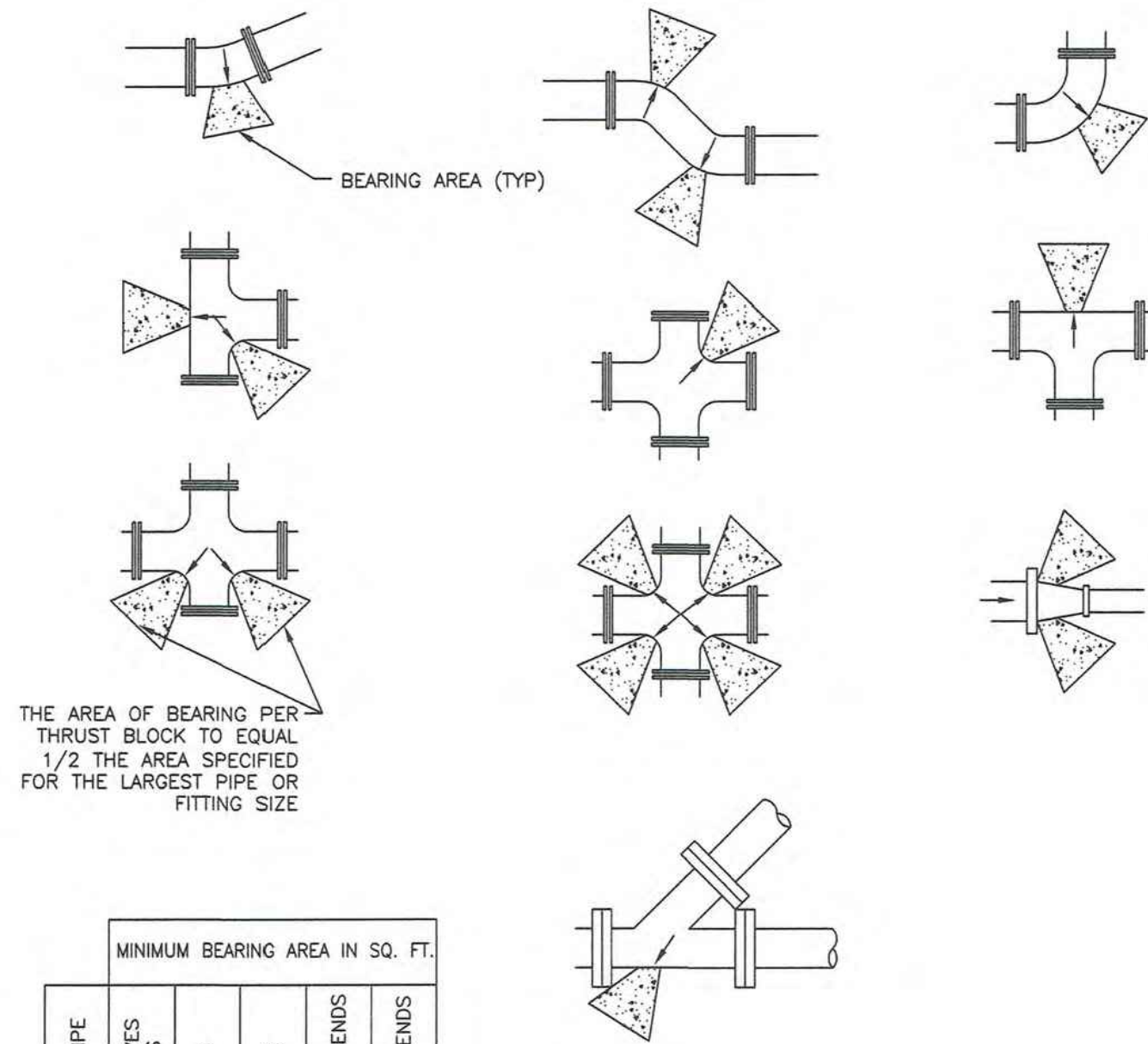


COMPOSITE RESTORATION



Bituminous pavement T-patch

Plan 255
November 2015

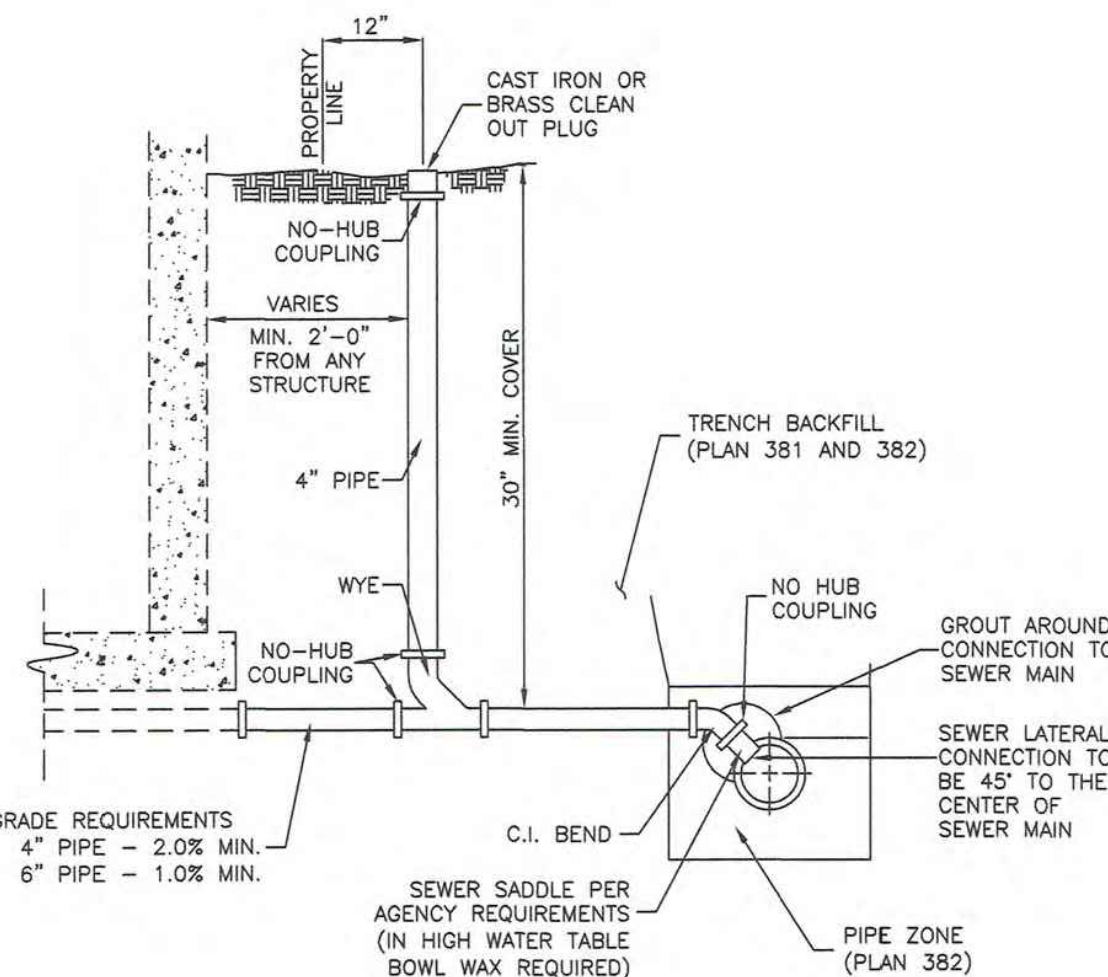


SIZE OF PIPE	TEES, VALVES, DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	2.5	2
8"	6.5	9.5	5	2.75	2.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	9
24"	33	74	41	21	12
30"	81	114	62	32	16



Direct bearing thrust block

Plan 561
August 2010

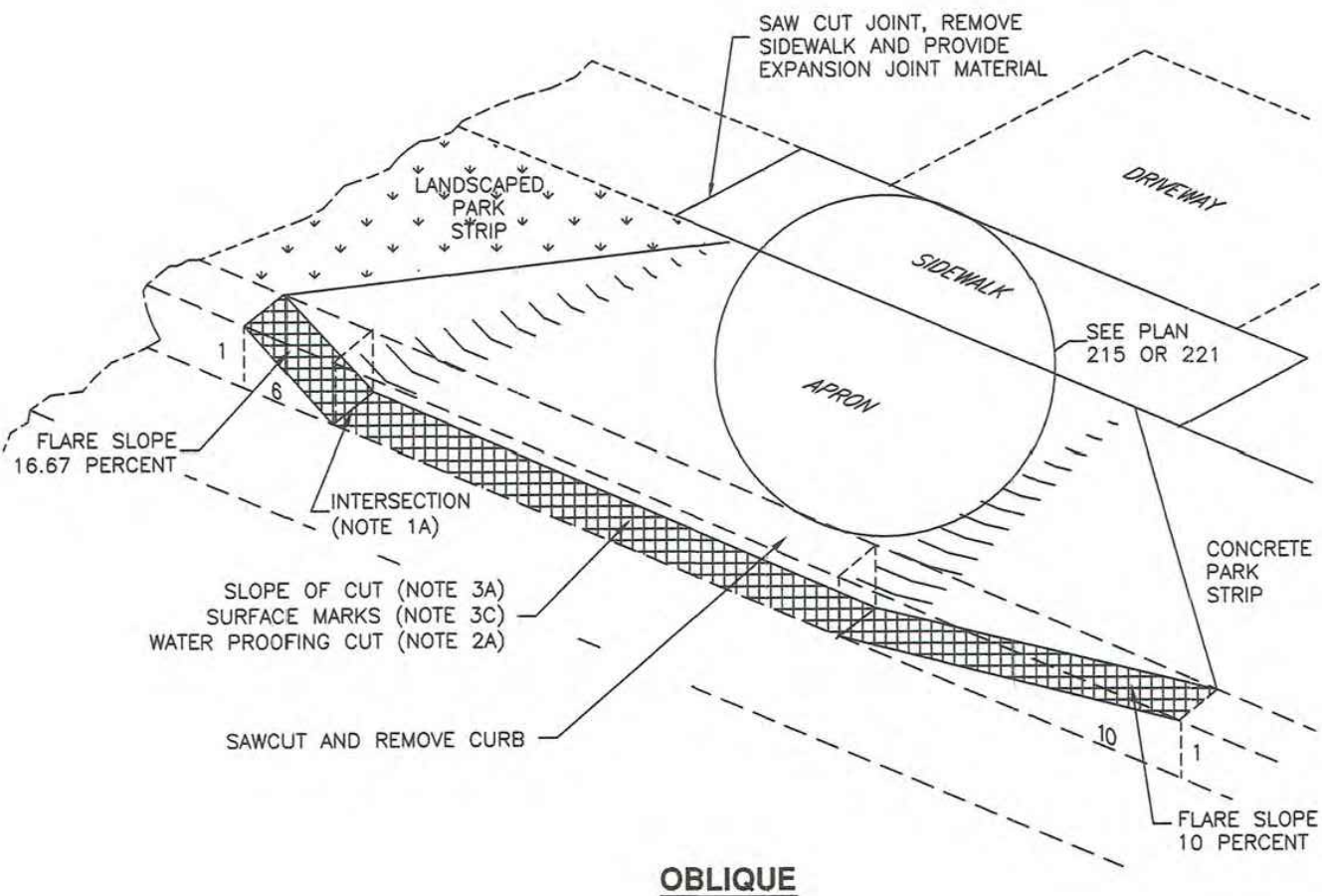


Sewer lateral connection



Plan 431
January 2011

NARRATIVE: THIS PLAN IS USED IF AN EXISTING CURB MUST BE CUT TO INSTALL A DRIVEWAY APPROACH. THE SLOPE OF THE CURB FLARE DEPENDS UPON WHETHER THE PARK STRIP IS LANDSCAPED OR IF THE PARK STRIP IS CONCRETE.



OBLIQUE



Saw-cut driveway approach

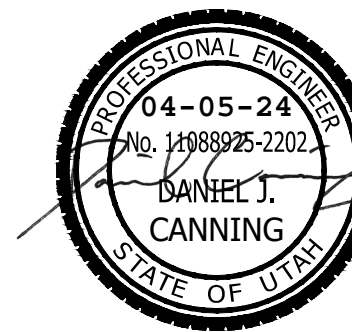
Plan 222
February 2011



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OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints

CONTACT INFO:

James Donaku
(801) 248-5174
jdonaku@churchofjesuschrist.org
505 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 04.05.2024
REV DATE DESCRIPTION

CIVIL DETAILS

C5.05



ELK RIDGE CITY DATA

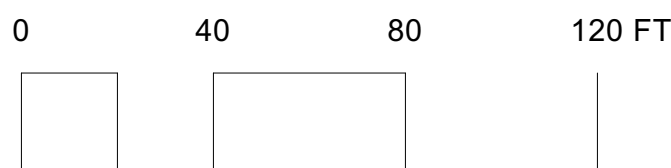
TITLE 10: DEVELOPMENT CODE

CH. 11: OTHER ZONES

ZONED AS	PUBLIC FACILITY	
TOTAL SITE AREA	179,738 S.F.	
ON-SITE LANDSCAPE AREA	43,383 S.F. = 24%	
GENERAL:	REQUIRED	PROVIDED
LAWN AREA - 35% MAX. OF LANDSCAPE AREA		8,391 S.F. =190%
PLANT COVERAGE IN PLANTING BED AREAS		43%
SETBACKS:		
FRONT YARD	30'	YES
SIDE YARD (PARKING LOTS MAY BE LOCATED WITHIN SIDE YARD)	75'	YES
REAR YARD (PARKING LOTS MAY BE LOCATED WITHIN REAR YARD)	75'	YES
ROCKY MOUNTAIN WAY STREETSCAPE:		
STREET TREES - 1 PER 50' (IN LANDSCAPE FRONT YARD)	392' / 50 = 8	8

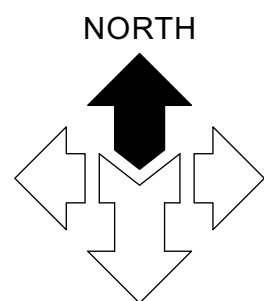
DRAWING INDEX

SHEET	DESCRIPTION
L111	OVERALL LANDSCAPE PLANTING PLAN
L112	LANDSCAPE PLANTING PLAN
L121	OVERALL LANDSCAPE IRRIGATION PLAN
L122	LANDSCAPE IRRIGATION PLAN
L501	LANDSCAPE DETAILS
L502	LANDSCAPE IRRIGATION DETAILS
L503	LANDSCAPE IRRIGATION DETAILS
L504	LANDSCAPE IRRIGATION DETAILS



LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL	
DECIDUOUS TREES						
	4	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL	D/L501	
	7	CORAL SUN GOLDEN RAIN TREE	KOELREUTERIA PANICULATA 'CORAL SUN'	2" CAL	D/L501	
	13	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL	D/L501	
EVERGREEN TREES						
	7	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN'	6' MIN. HT.	E/L501	
	1	HOOPSII BLUE SPRUCE	PICEA PUNGENS 'HOOPSII'	6' MIN. HT.	E/L501	
	3	BRISTLECONE PINE	PINUS ARISTATA	6' MIN. HT.	E/L501	
SHRUBS						
	122	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.	B/L501	
	107	SAND SAGEBRUSH	ARTEMISIA FILIFOLIA	5 GAL.	B/L501	
	77	FOURWING SALTBUSH	ATRIPLEX CANESCENS	5 GAL.	B/L501	
	40	CURL-LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	5 GAL.	B/L501	
	80	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	5 GAL.	B/L501	
	41	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	5 GAL.	B/L501	
	40	HILLSIDE CREEPER SCOTCH PINE	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	5 GAL.	B/L501	
	103	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	B/L501	
	3	TIGER EYES SUMAC	RHUS TYPHINA 'BAILTIGER'	5 GAL.	B/L501	
ORNAMENTAL GRASSES						
	161	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.	A/L501	
	269	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	1 GAL.	A/L501	
	109	PINK MUHLY	MUHLENBERGIA CAPILLARIS	1 GAL.	A/L501	
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE	DETAIL
	6,976 S.F.	"IMPERIAL BLUE" LAWN SOD	INSTALL OVER MINIMUM 5" TOPSOIL LAYER.		CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL	H/L501
BOULDERS						
	92	"BROWN'S CANYON RED VEIN" BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS	2'-4" DIAMETER IN ALL DIRECTIONS	BOULDERS FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374.	G/L501
CRUSHED ROCK						
	13,042 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1-1/2" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L501
	6,766 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	2"-4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L501
	9,880 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	3/4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L501
		ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL				



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before You Dig

1-800-662-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



GENERAL NOTES

1. REFER TO SHEET L111 FOR LANDSCAPE SCHEDULE
2. TREE BASE CLEARANCE - 3' DIAMETER AROUND EVERY TREE SHALL BE KEPT CLEAR OF TURF OR CRUSHED ROCK. IN PARKING LOT ISLANDS AND OTHER NARROW LANDSCAPE AREAS, THE CLEARANCE AREA MAY BE REDUCED TO 2' DIAMETER.

REFERENCE NOTES

- L-1. CONCRETE MOWSTRIP
DETAIL J/L501
- L-2. 6' HT. BLACK VINYL-COATED CHAIN LINK METAL FENCE
ALONG PROPERTY LINE, WITH 12" CONCRETE
MOWSTRIP.
DETAIL J/L501



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Midvale UT 84047
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ELK RIDGE UT HERITAGE 23-2

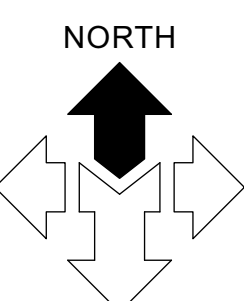
11200 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH

JOB NUMBER: 501-2698
OWNER: LDS CHURCH
DATE: OCTOBER 2023

REV	DATE	DESCRIPTION
1	03/22/24	ADDENDUM #2

LANDSCAPE
PLANTING PLAN

L112



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

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Dig**

1-800-662-4111

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ROCKY MOUNTAIN WAY

PROPOSED BUILDING

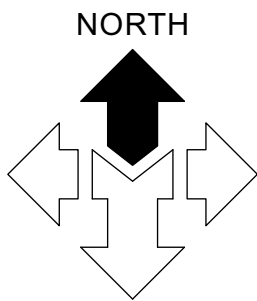
0 40 80 120 FT

IRRIGATION SCHEDULE

SYMBOL	TYPE	MANUFACTURER	MODEL	ARC	DETAIL
OUTLETS					
○	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10F	360°	A/L502
○	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10H	180°	A/L502
○	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10Q	90°	A/L502
●	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-15H	225°	A/L502
●	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-15H	180°	A/L502
▣	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-25H	180°	C/L504
▣	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-25Q	90°	C/L504
▣	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-35H	180°	C/L504
◆	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-35Q	90°	C/L504
DRIP AREAS					
■	TREE DRIPPER LINE RING SPACED @ 24" O.C.	NETAFIM	TLCV9-12		I/L502
■	DIPPER LINE IN PLANTING BED SPACED @ 18" O.C.	Netafim (r)	TLCV4-18		C/L5.04
SYMBOL VALVES					
■	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV		F/L502
■	LAWN CIRCUIT CONTROL VALVE	RAIN BIRD	150-PEB		E/L502
OTHER EQUIPMENT					
■	SMART CONTROLLER	HYDROPOINT	WEATHERTRAK ET PRO3		D & E/L504
■	POINT OF CONNECTION				A/L503
■	CONCRETE PAD FOR BACKFLOW PREVENTER				C/L503
SYMBOL PIPE					
---	1" DRIP SUPPLY LINE. 1/2" FUNNY PIPE AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.		SCHEDULE 40 PVC PIPE & FITTINGS.		C/L502
---	1-1/2" MAIN LINE		SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.		C/L502
---	3/4" - 1-1/2" LATERAL LINE		SCHEDULE 40 PVC PIPE & FITTINGS.		C/L502
---	PIPE SLEEVE UNDER NEW PAVING		SCHEDULE 40 PVC		D/L502
○	# VALVE NUMBER gpm VALVE FLOW				

EMITTER SCHEDULE

PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL
AUTUMN BRILLIANCE SERVICEBERRY	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
BRISTLECONE PINE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
COLOGREEN JUNIPER	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
CORAL SUN GOLDEN RAIN TREE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
GREEN VASE ZELKOVA	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
HOOPSII BLUE SPRUCE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
ALPINE CARPET JUNIPER	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
BLONDE AMBITION BLUE GRAMA GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
CURL-LEAF MOUNTAIN MAHOGANY	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
FOURWING SALTBUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
HILLSIDE CREEPER SCOTCH PINE	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
PANCHITO MANZANITA	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
PAWNEE BUTTES WESTERN SAND CHERRY	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
PINK MUHLY	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
SAND SAGEBRUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
SAPPHIRE BLUE OAT GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
TIGER EYES SUMAC	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
WICHITA BLUE JUNIPER	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504



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ELK RIDGE UT HERITAGE 23-2

11200 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH

JOB NUMBER:	501-2698
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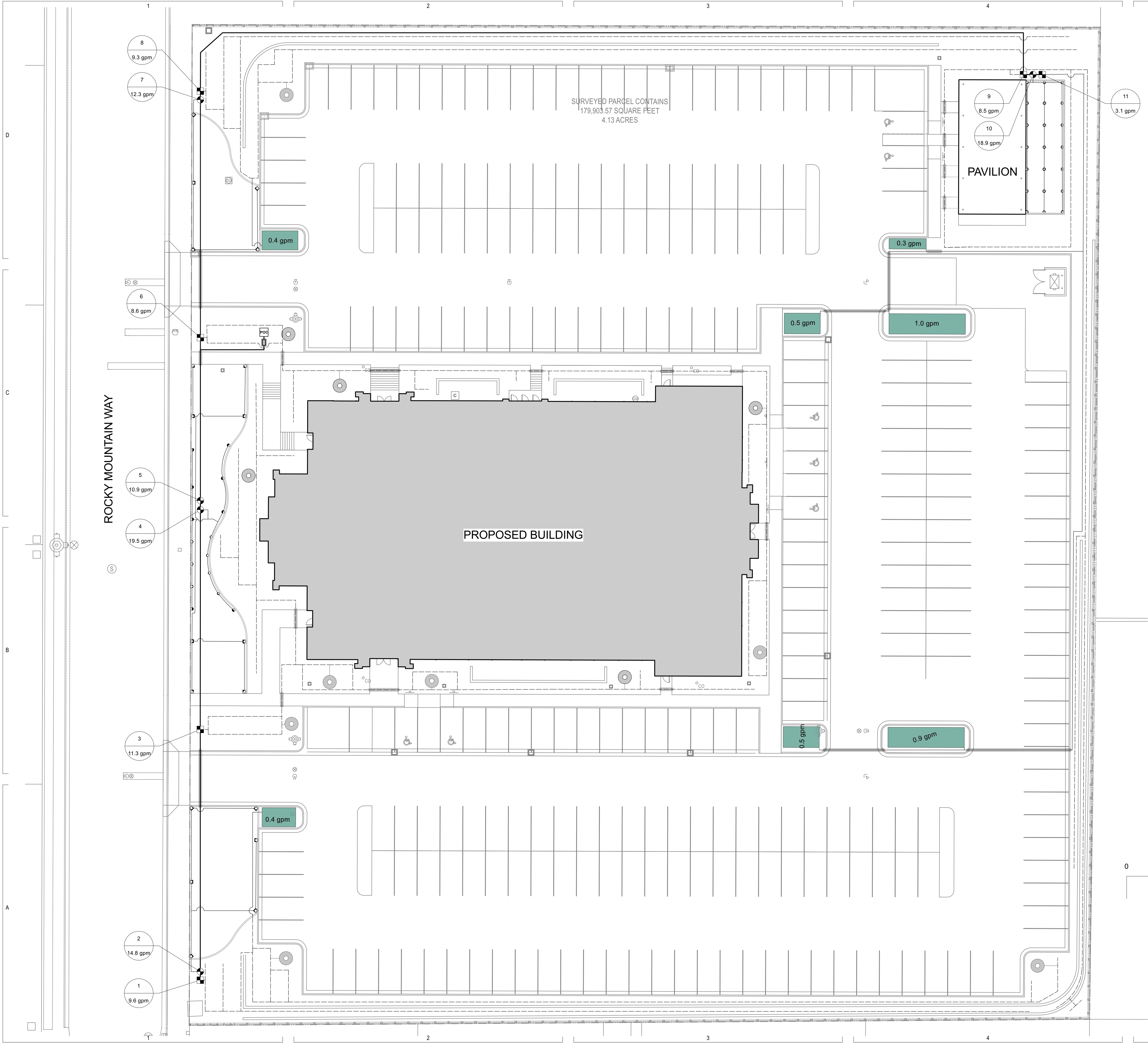
REV	DATE	DESCRIPTION
1	03/22/24	ADDENDUM #2

OVERALL
LANDSCAPE
IRRIGATION PLAN

L121

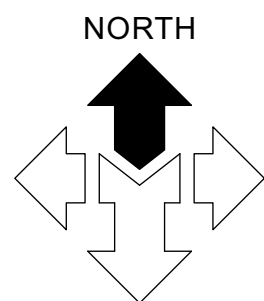
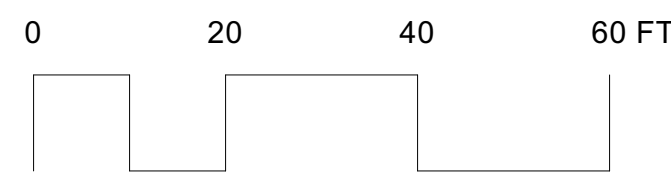


01 January, 2000



GENERAL NOTES

1. REFER TO SHEET L122 FOR IRRIGATION AND EMITTER SCHEDULES



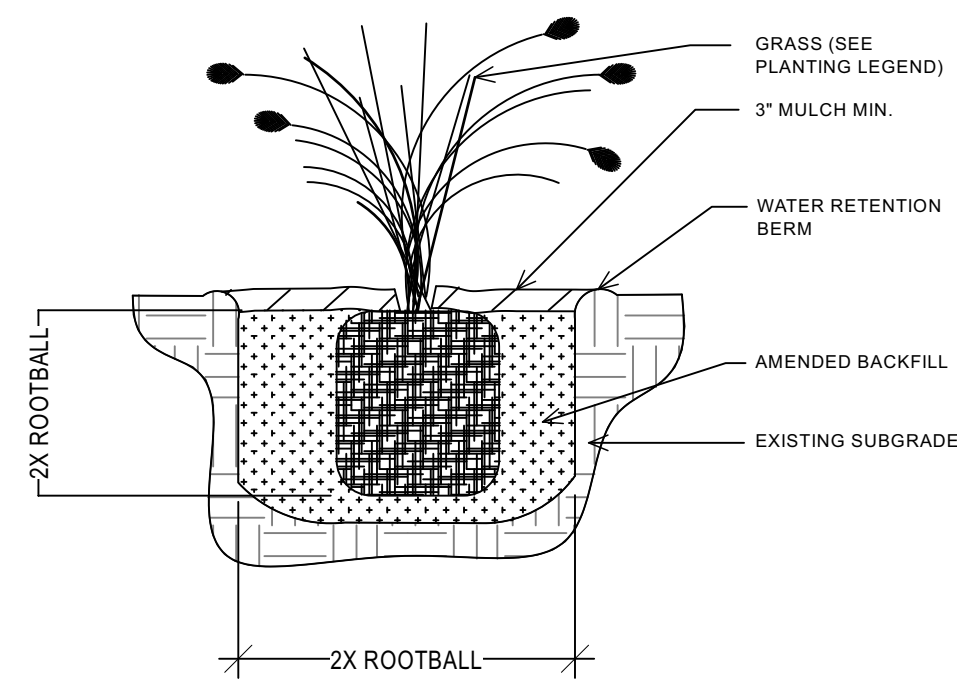
AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before You Dig

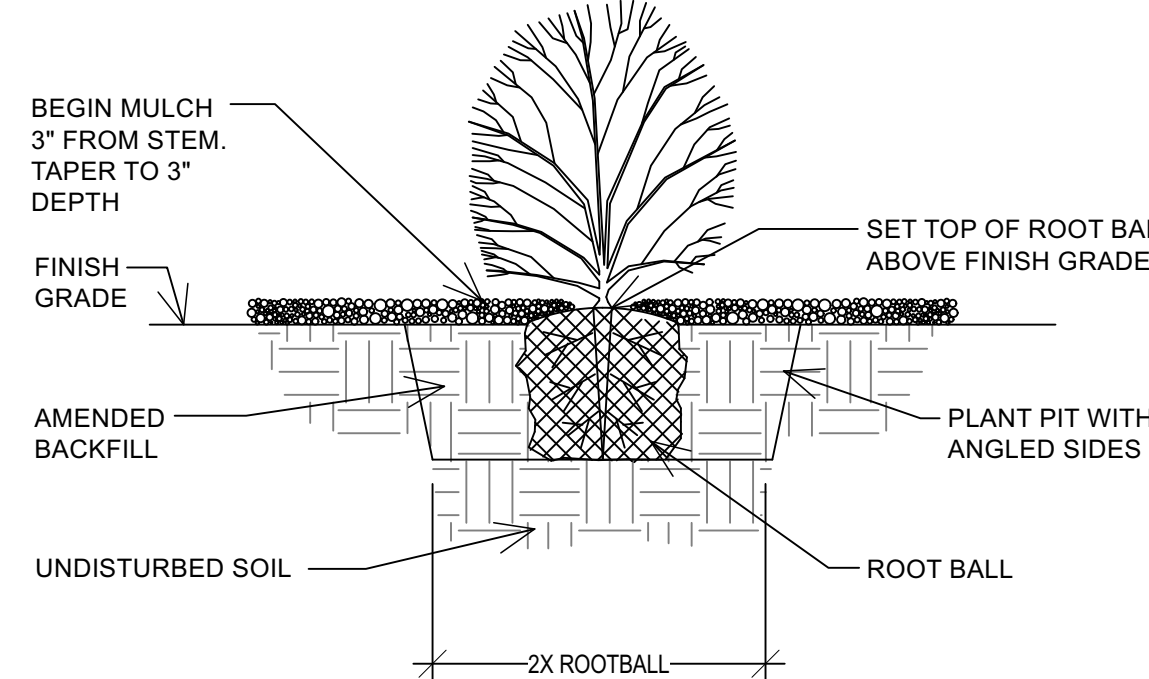
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NOTICE!

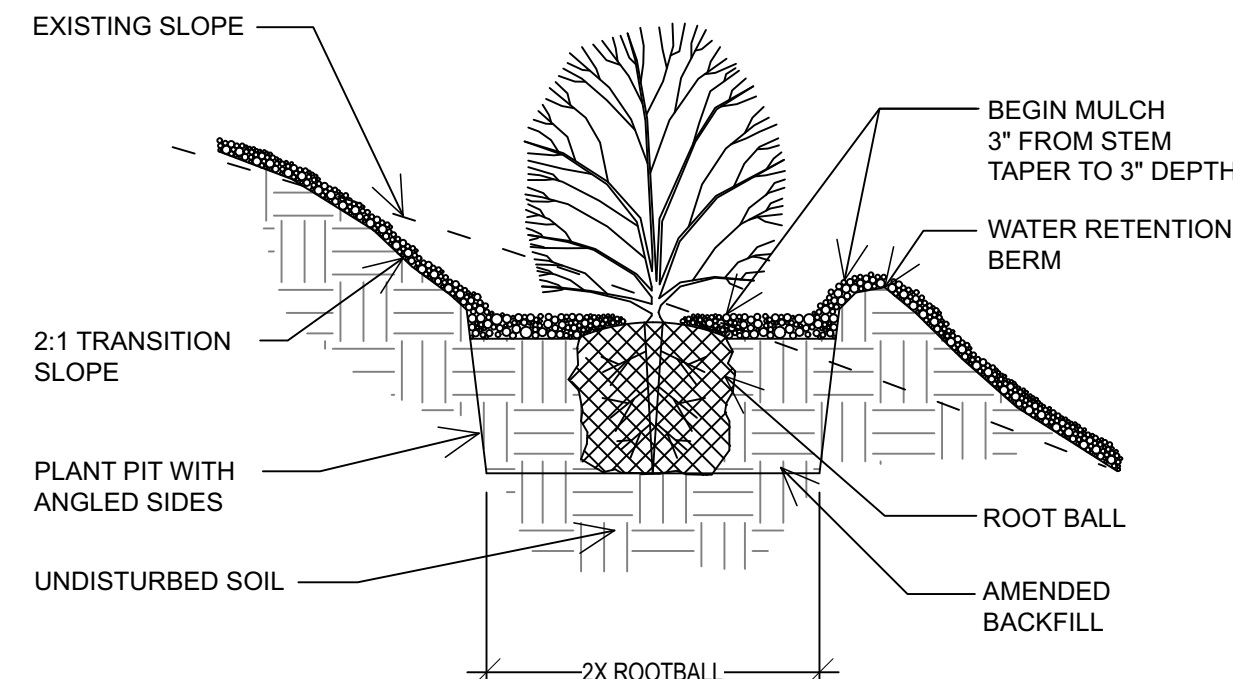
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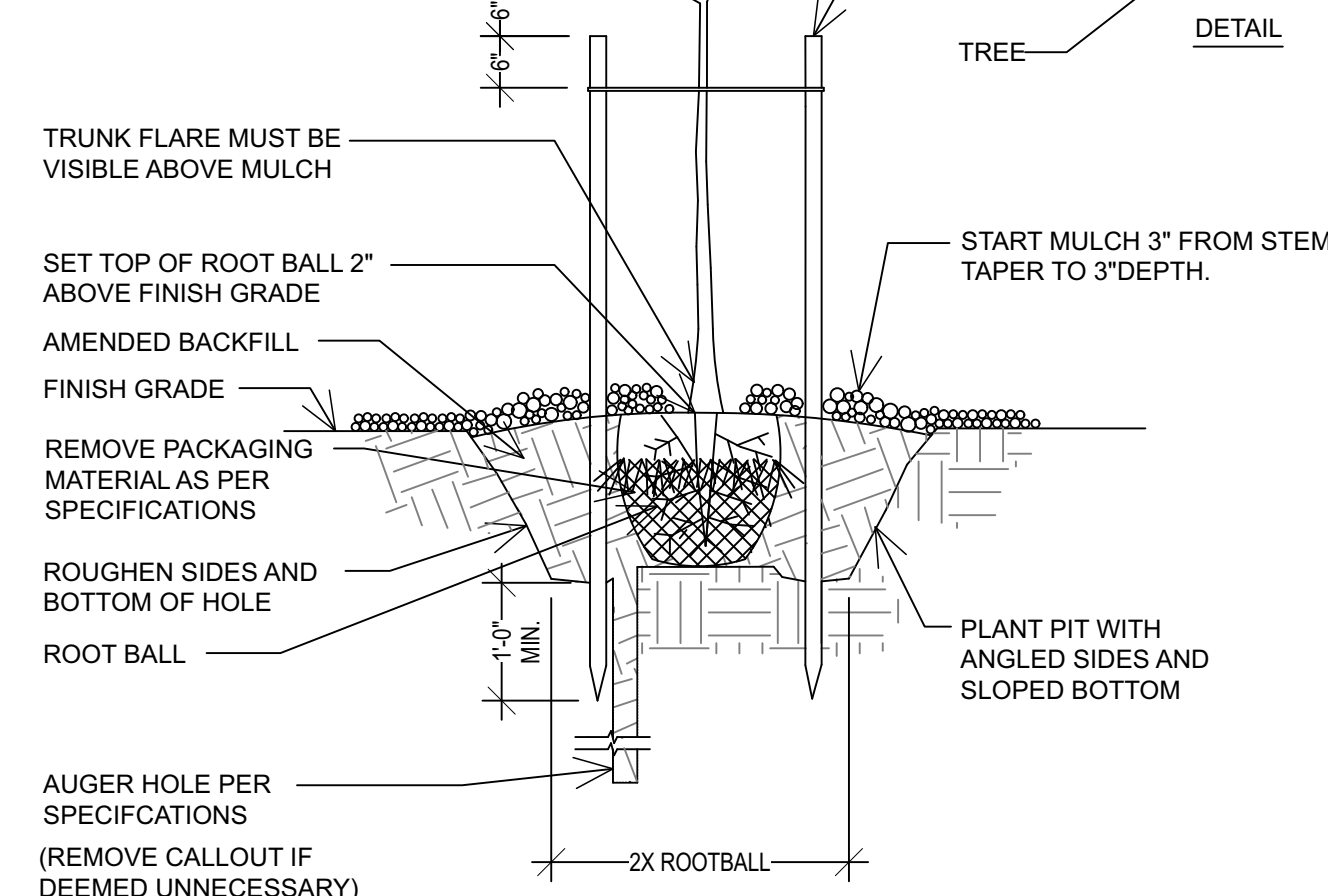
A ORNAMENTAL GRASSES PLANTING
NOT TO SCALE



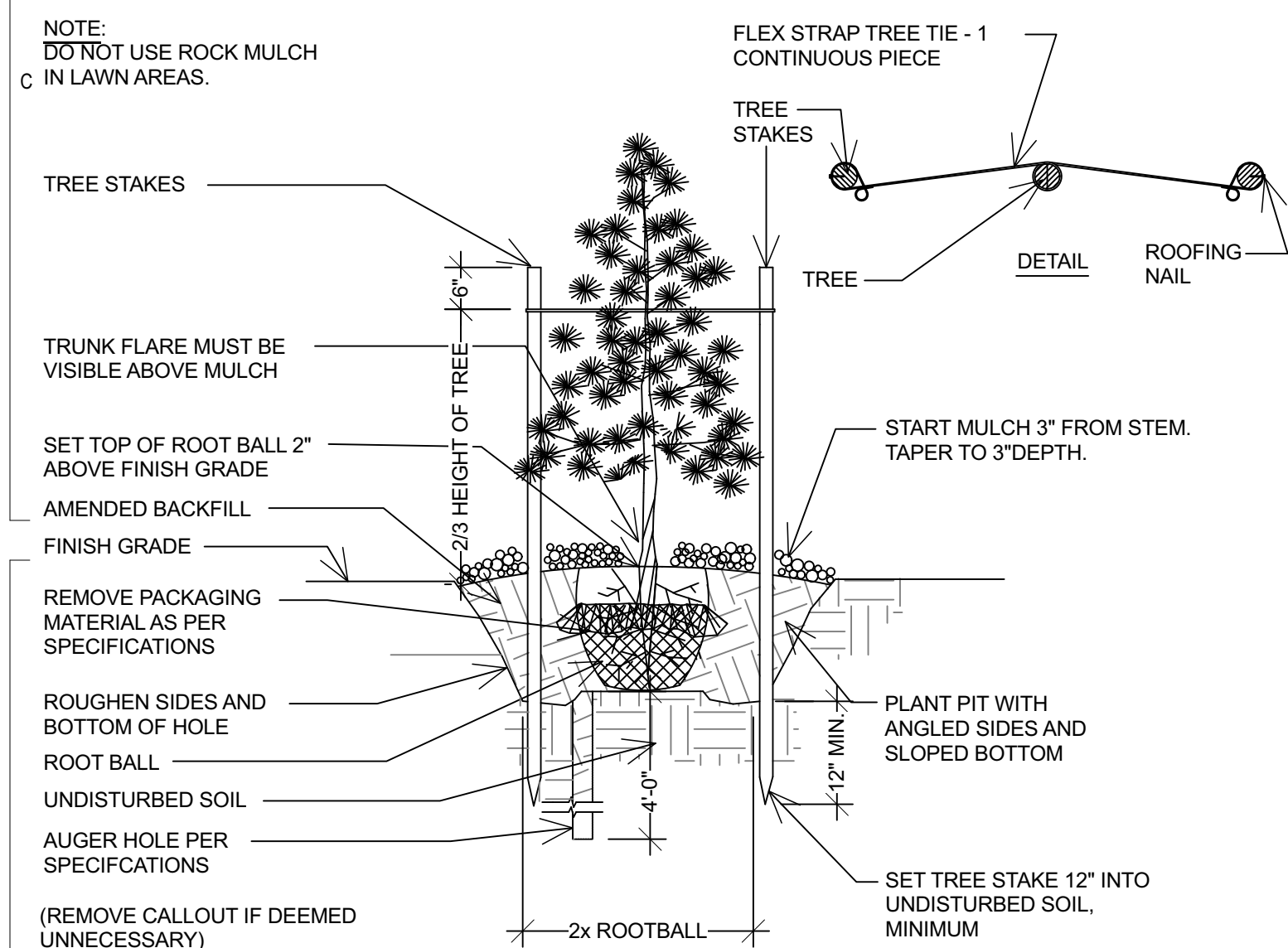
B SHRUB PLANTING
NOT TO SCALE



C PLANTING ON SLOPE
NOT TO SCALE

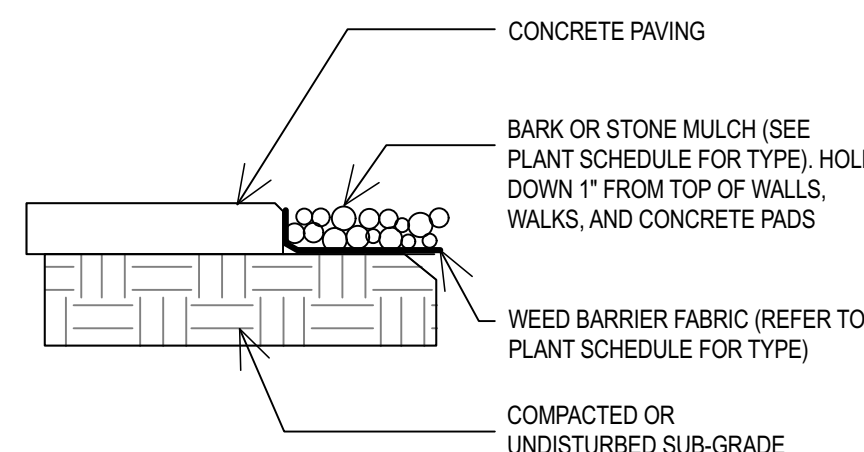


D TREE PLANTING AND STAKING
NOT TO SCALE

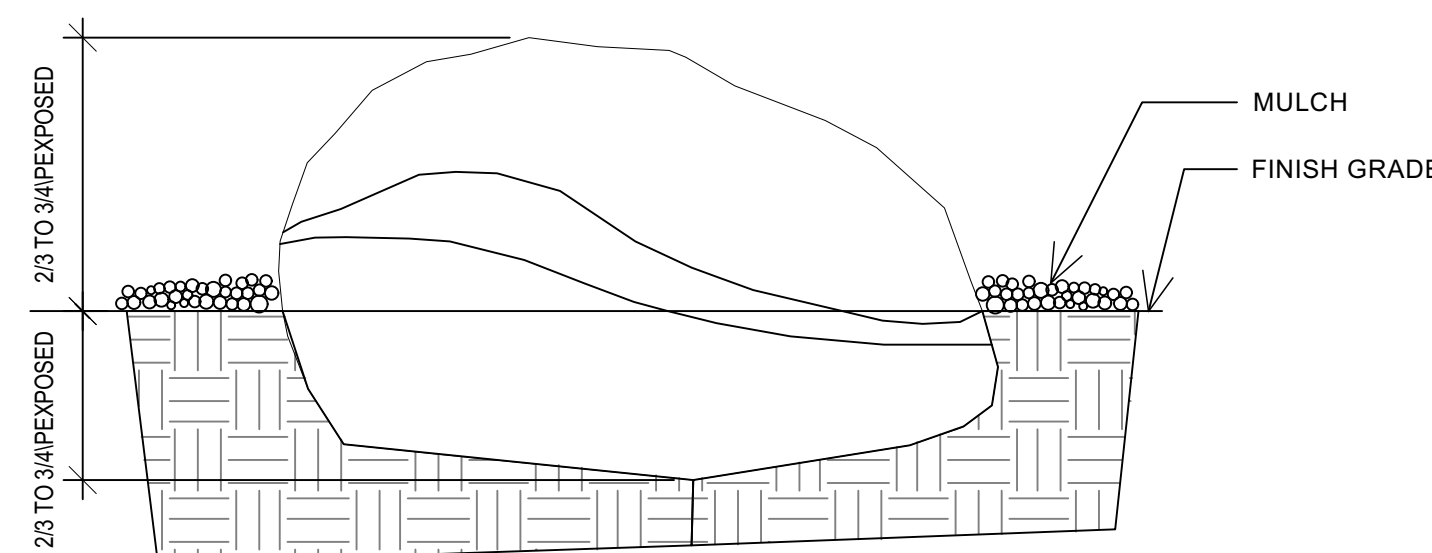


E CONIFER PLANTING AND STAKING
NO SCALE

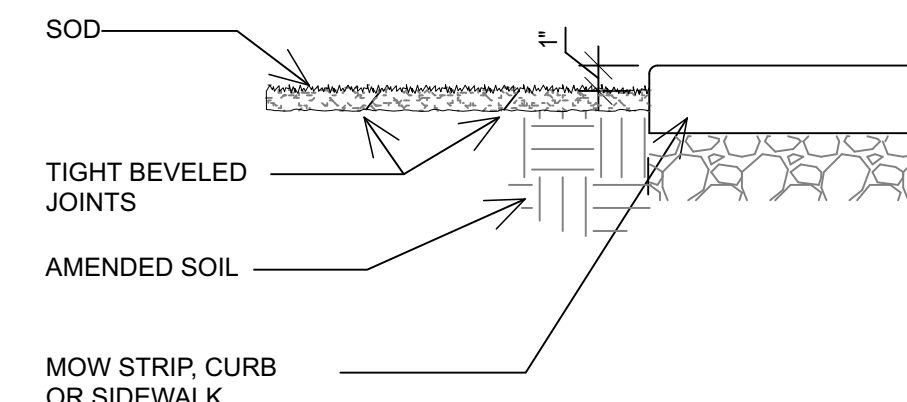
- NOTES:
1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
 2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ, OR APPROVED EQUAL.
 3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.



F MULCH
NO SCALE

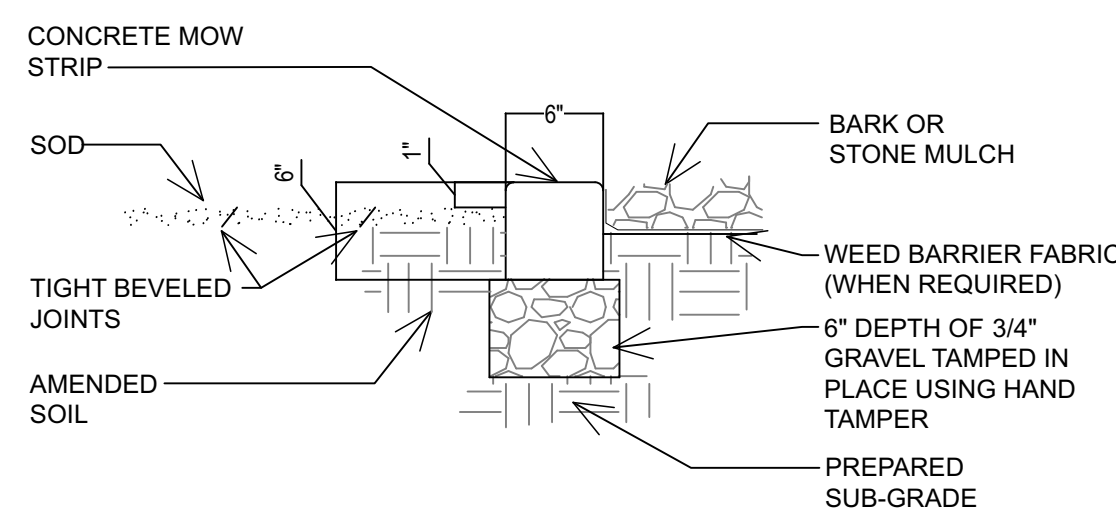


G BOULDER PLACEMENT
DETAIL
NO SCALE

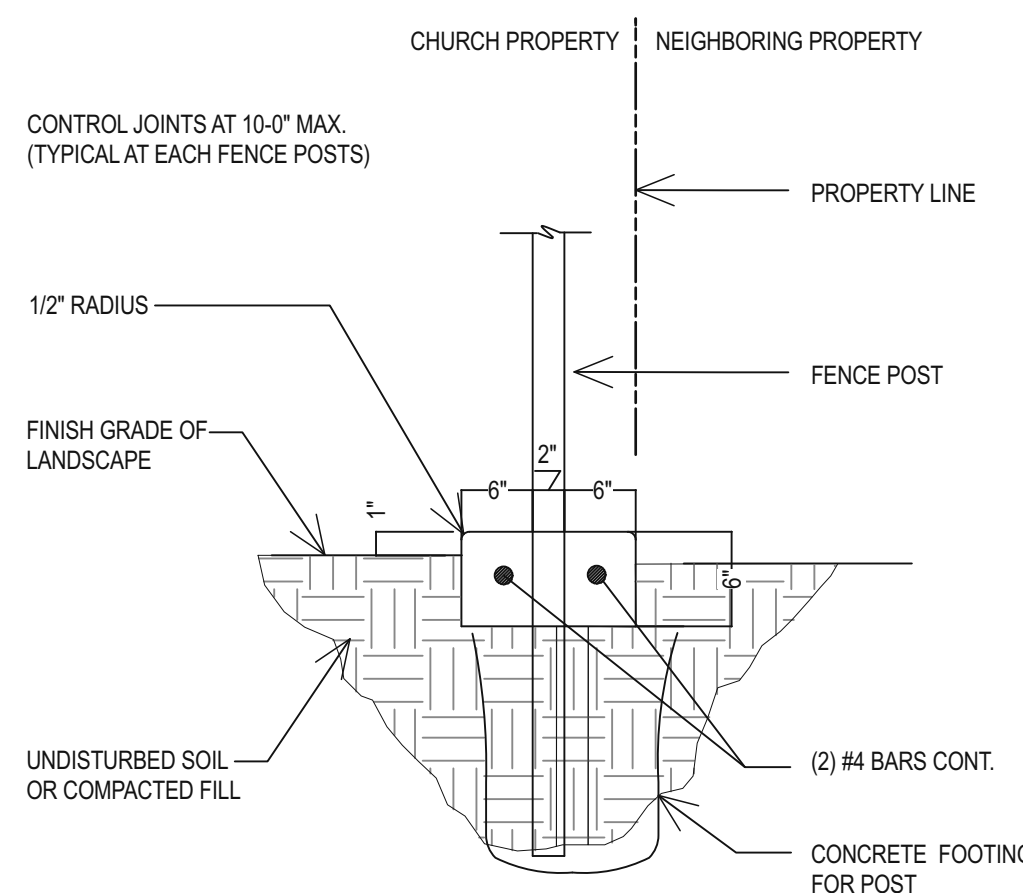


H SOD INSTALLATION
NO SCALE

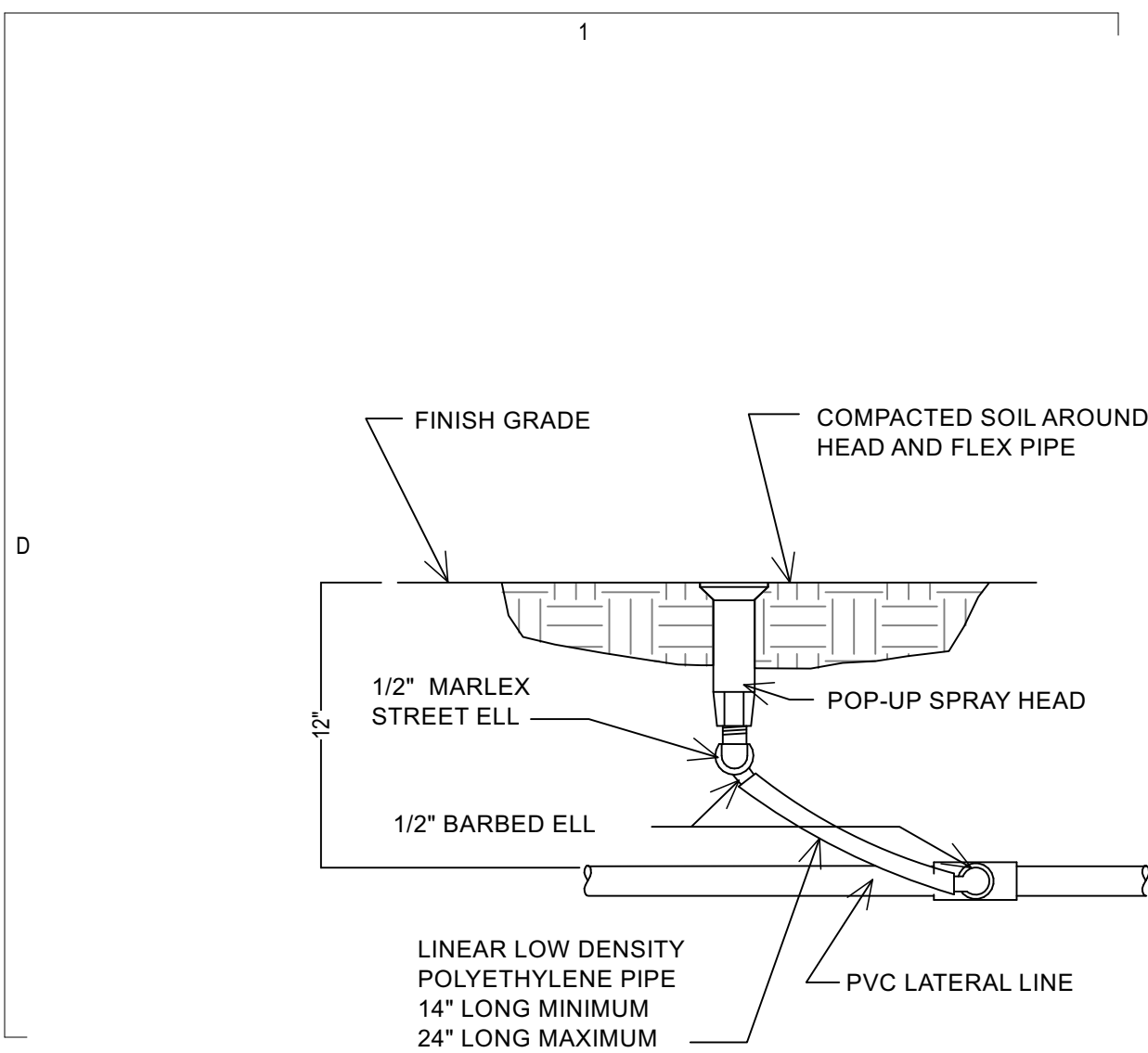
- NOTES:
1. MOW STRIP TO BE 4,500 PSI CONCRETE WITH 6% AIR \pm 1 1/2.
 2. INSTALL EXPANSION AND CONTROL JOINTS AS PER SPECIFICATIONS.
 3. PROVIDE POSITIVE DRAINAGE AROUND MOW STRIPS. DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOW STRIP.
 4. MAXIMUM 1/2\"/>



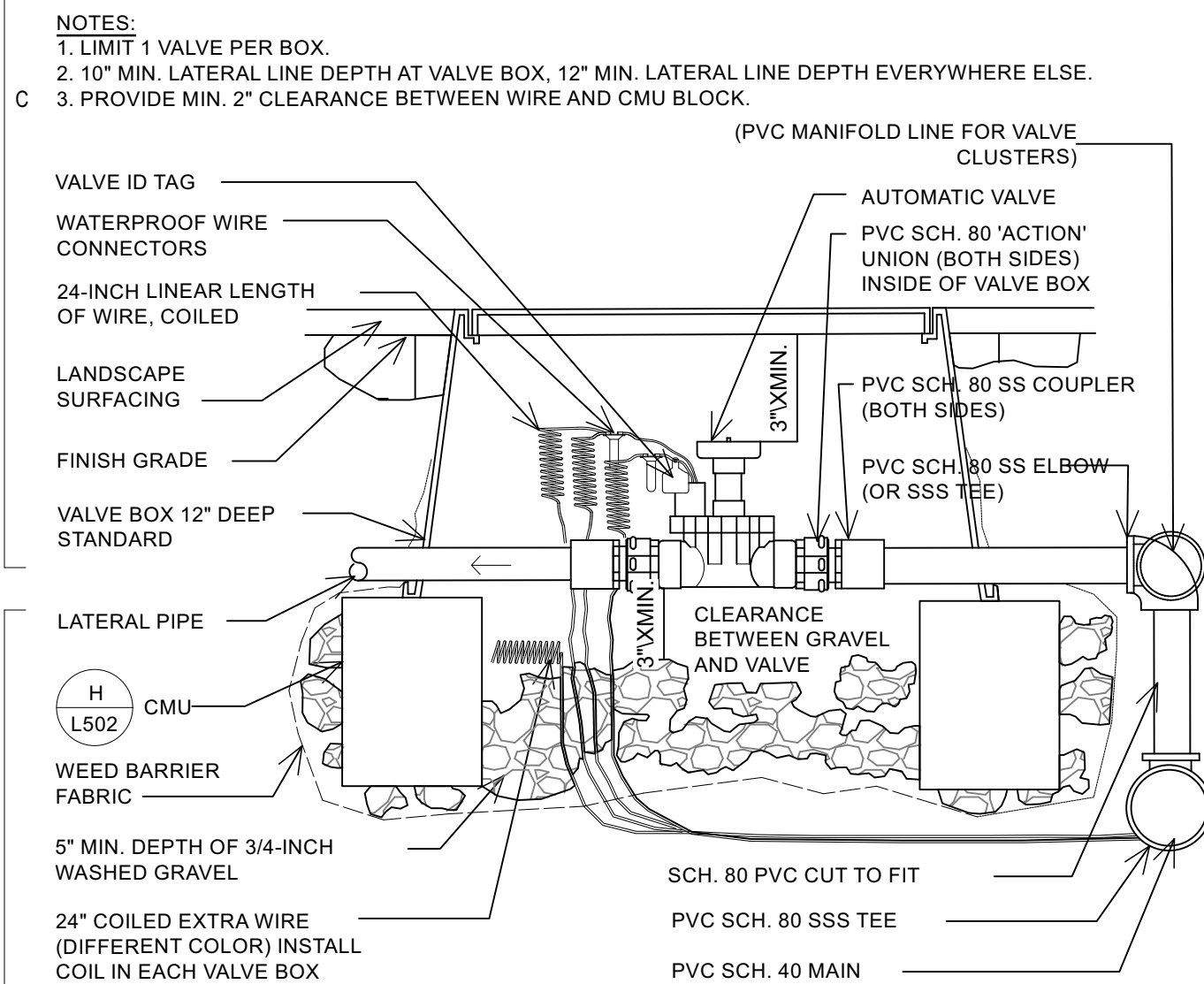
I CONCRETE MOW STRIP
SCALE:



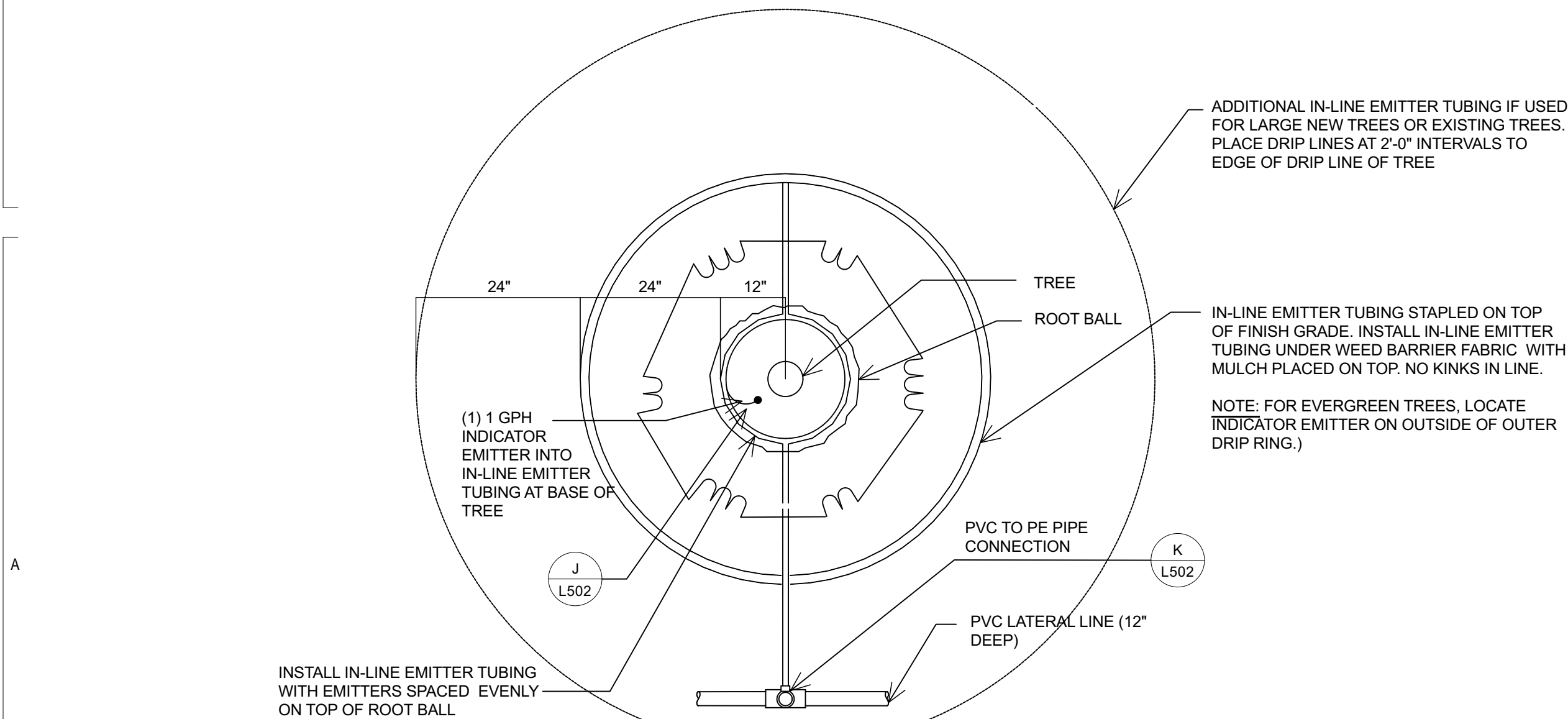
J CONCRETE MOWSTRIP AT @ FENCE
SCALE: 1\"/>



A SPRAY HEAD ASSEMBLY
NO SCALE

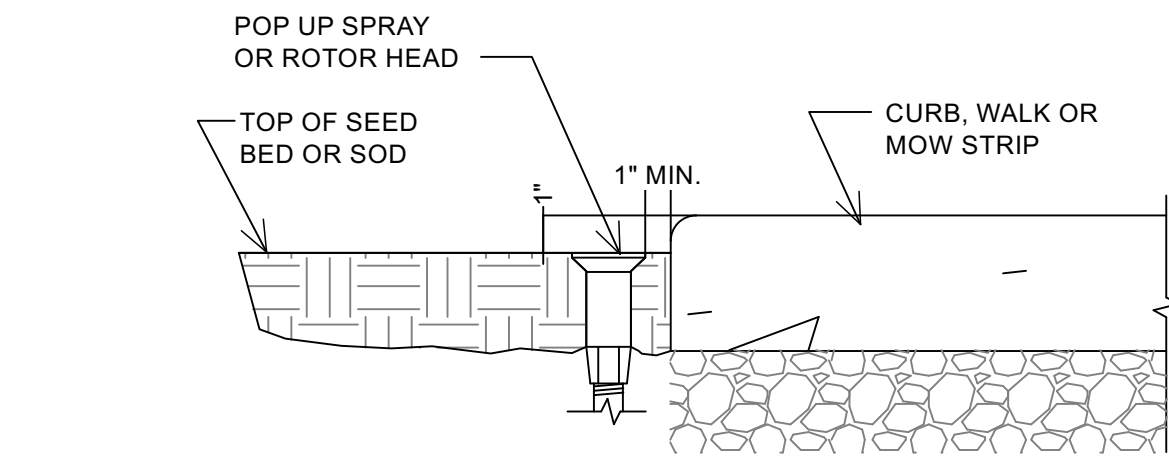


E AUTOMATIC VALVE WITH CONVENTIONAL WIRE SYSTEM
NO SCALE

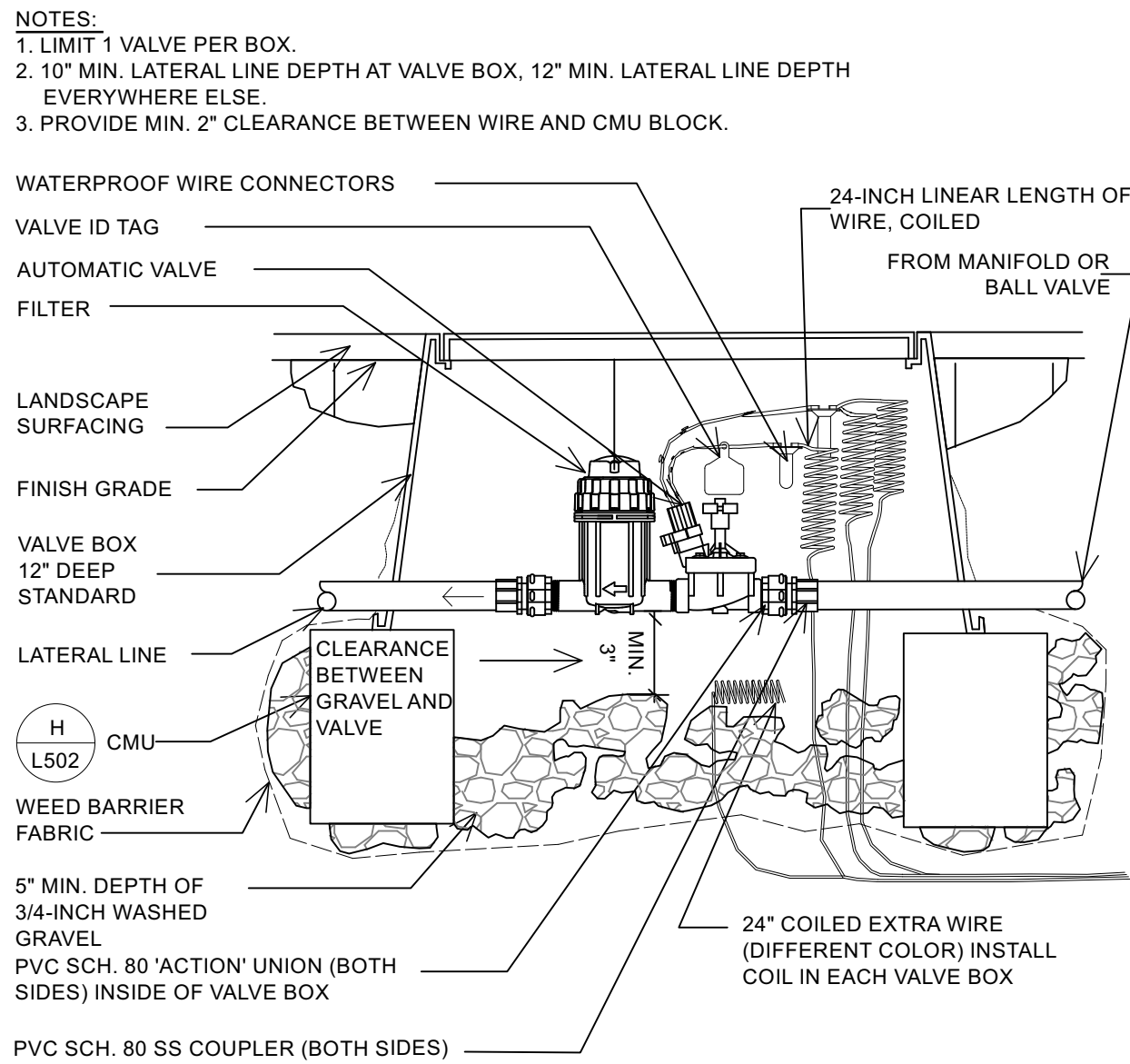


I TREE DRIP - PLAN VIEW (Planter Areas)
NO SCALE

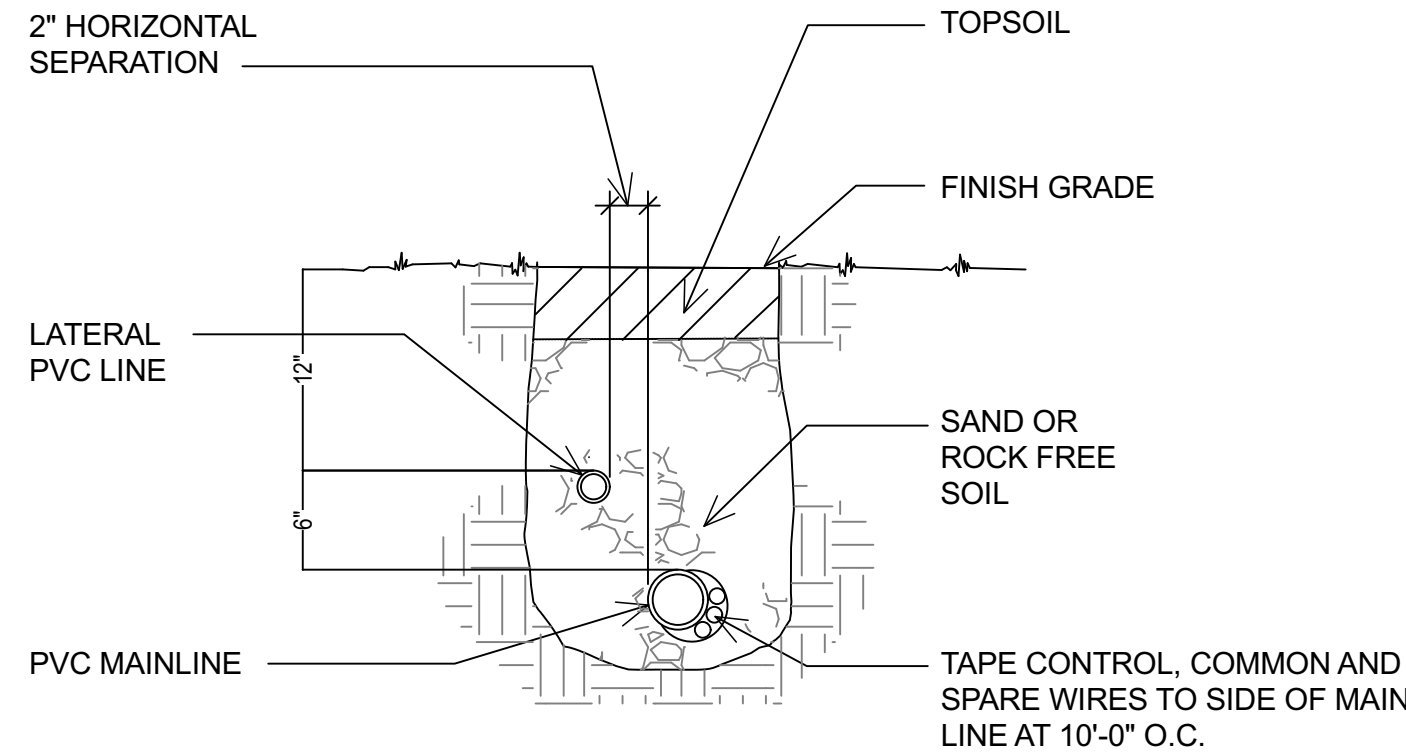
NOTE: FITTINGS TO IN-LINE DRIP TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.



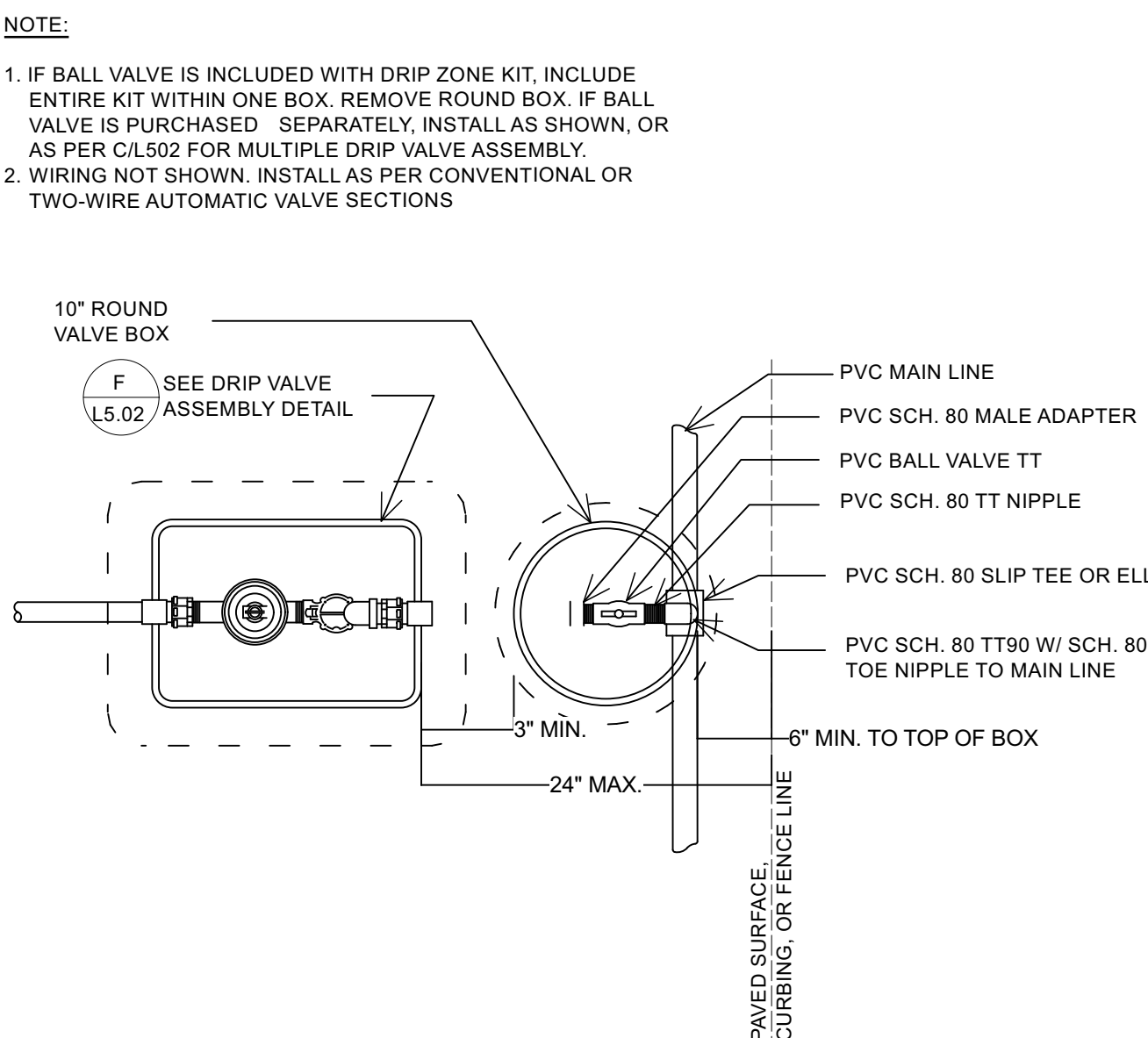
B SPRINKLER HEAD OR ROTOR NEXT TO CURB OR WALK
NO SCALE



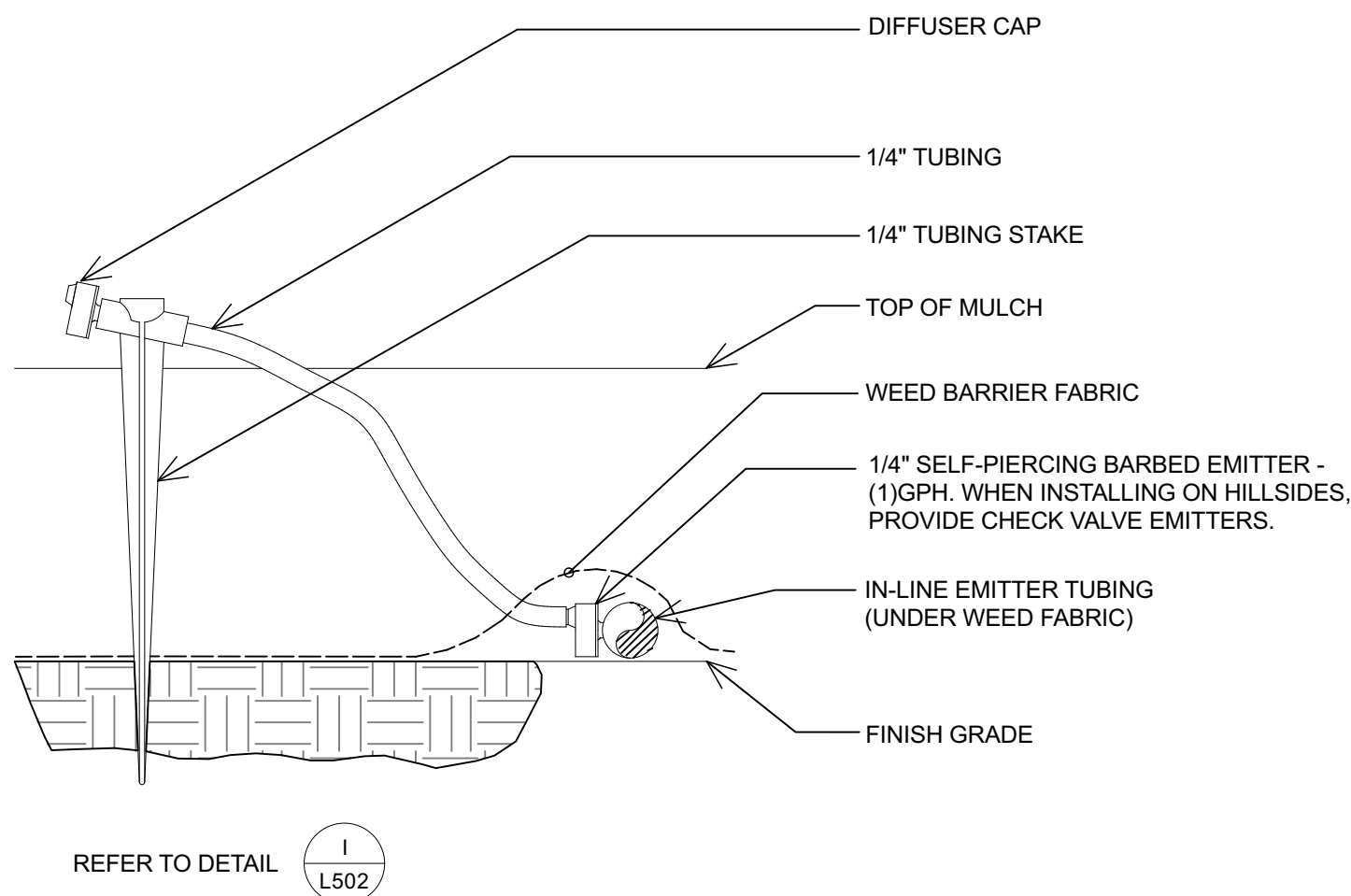
F DRIP VALVE ASSEMBLY-SECTION CONVENTIONAL WIRE SYSTEM
NO SCALE



C TRENCH SECTION - CONVENTIONAL WIRE SYSTEM
NO SCALE

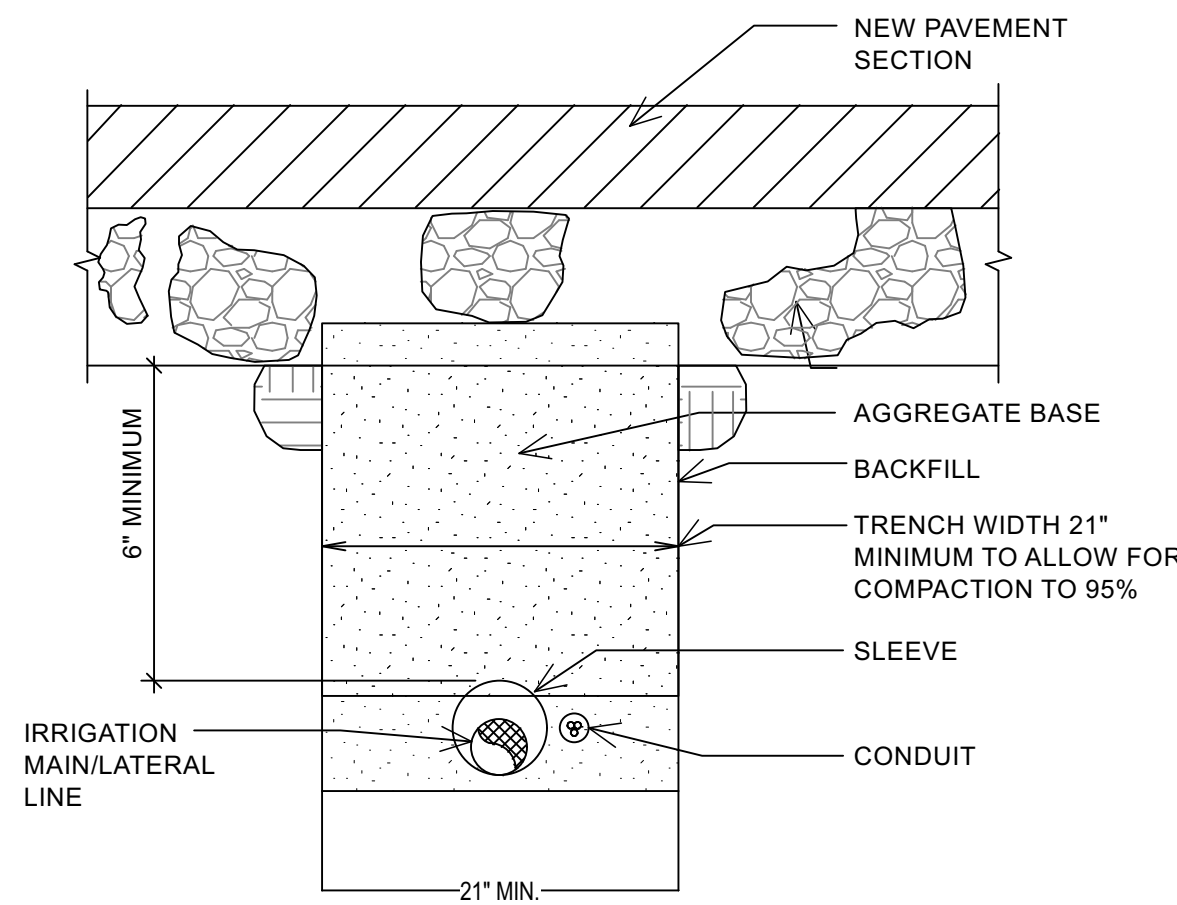


G DRIP VALVE ASSEMBLY
NO SCALE



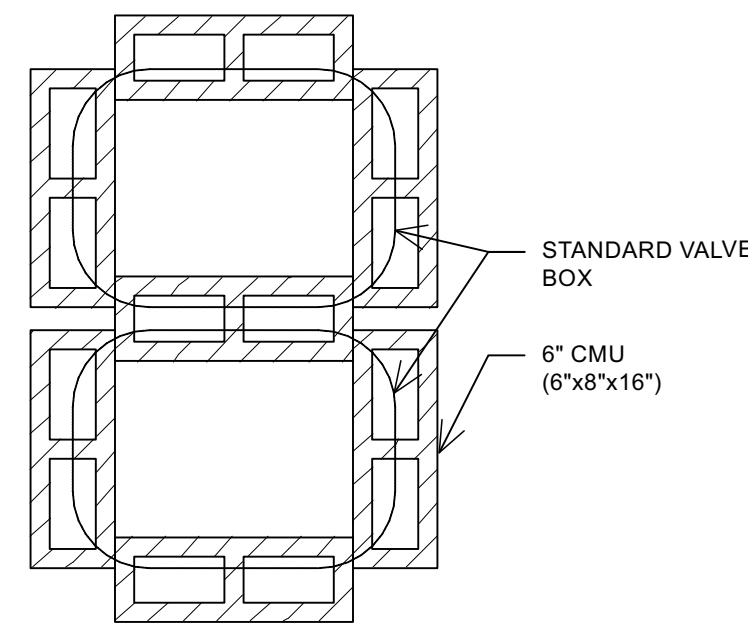
J INDICATOR EMITTER
NO SCALE

NOTE:
1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING.
2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED.
3. 1/4\"/>

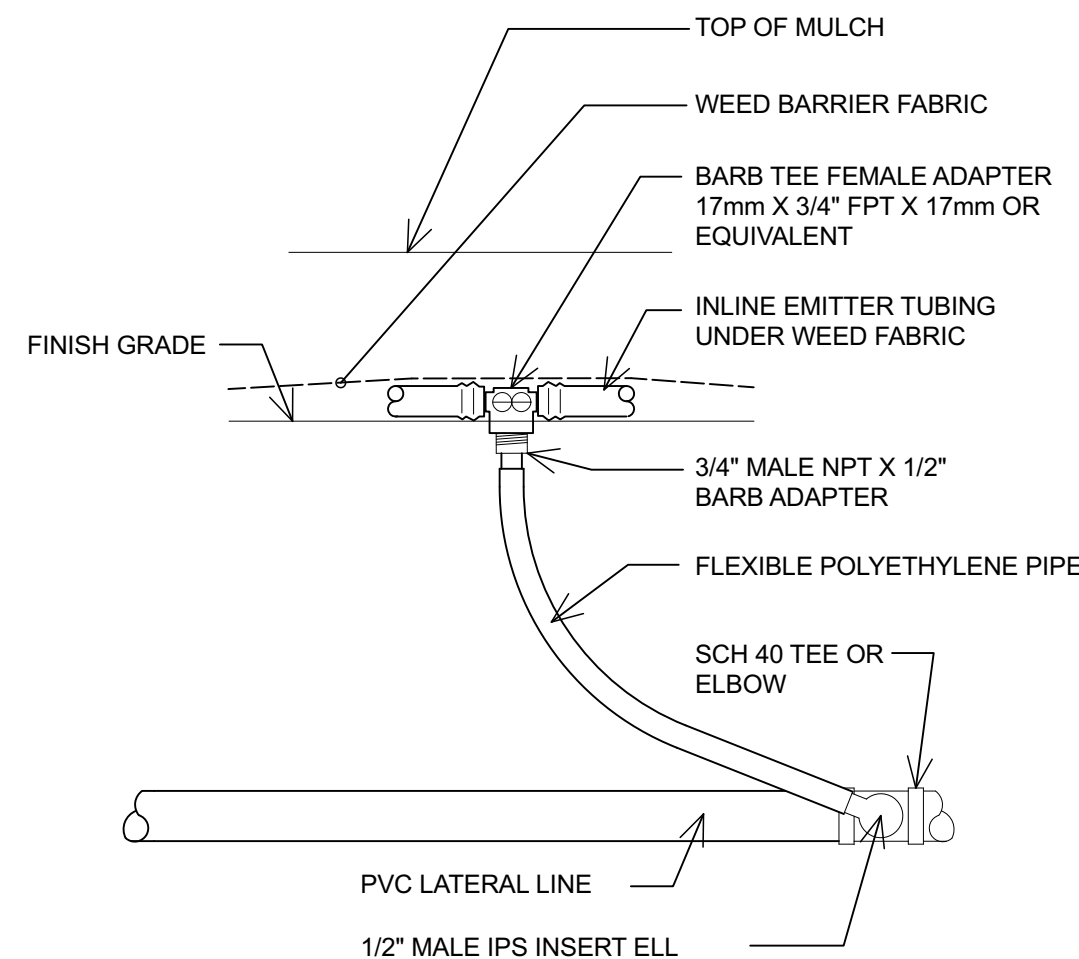


D MISC. PIPE TRENCH DETAIL NEW PAVEMENT AREAS
NO SCALE

NOTES:
1. VALVE BOX TO REST ON (4) CMU BLOCKS (ONE FOR EACH SIDE).
2. CLUSTERED VALVE BOXES MAY SHARE A CMU BLOCK.

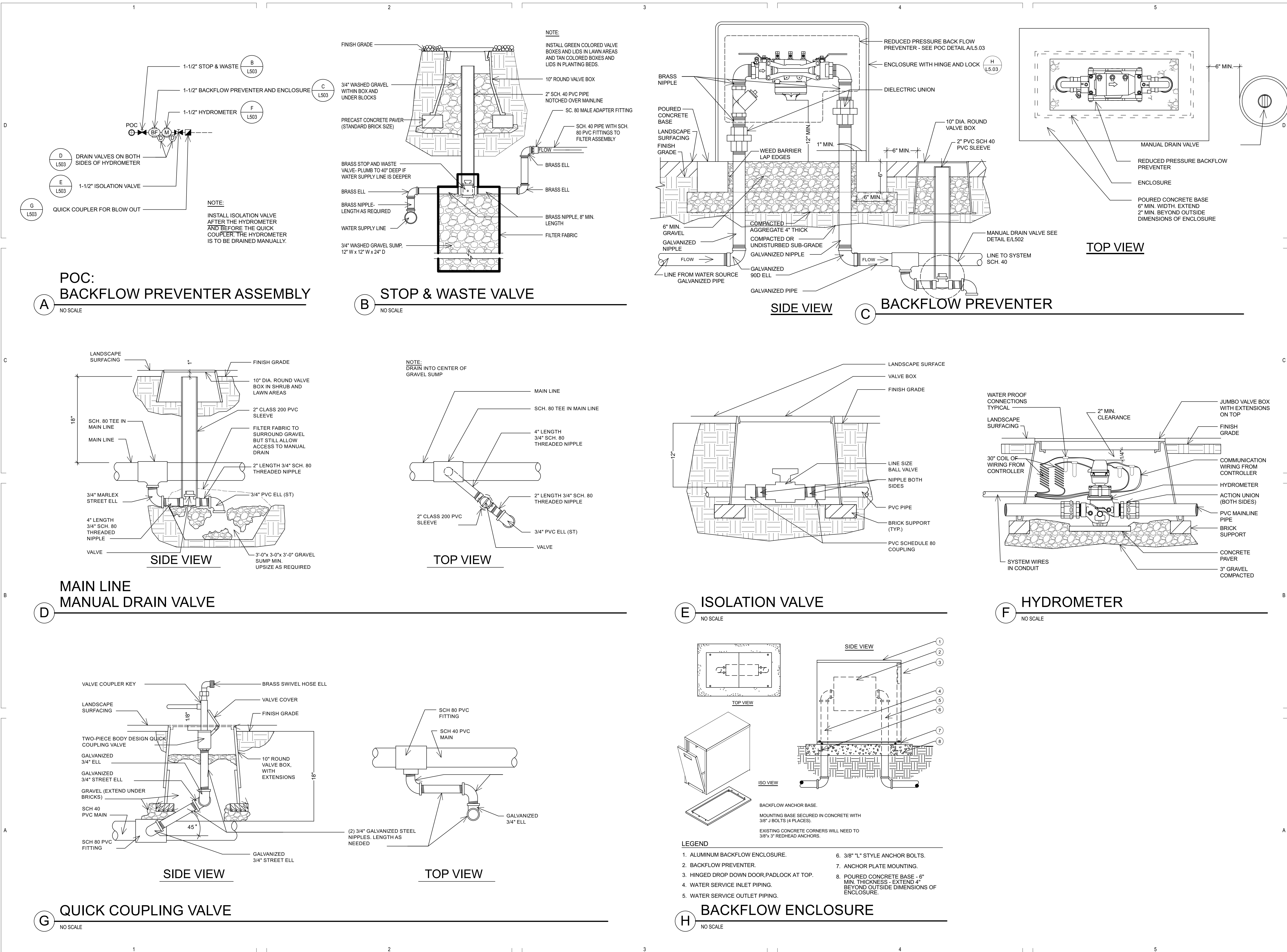


H CMU PLACEMENT
NO SCALE

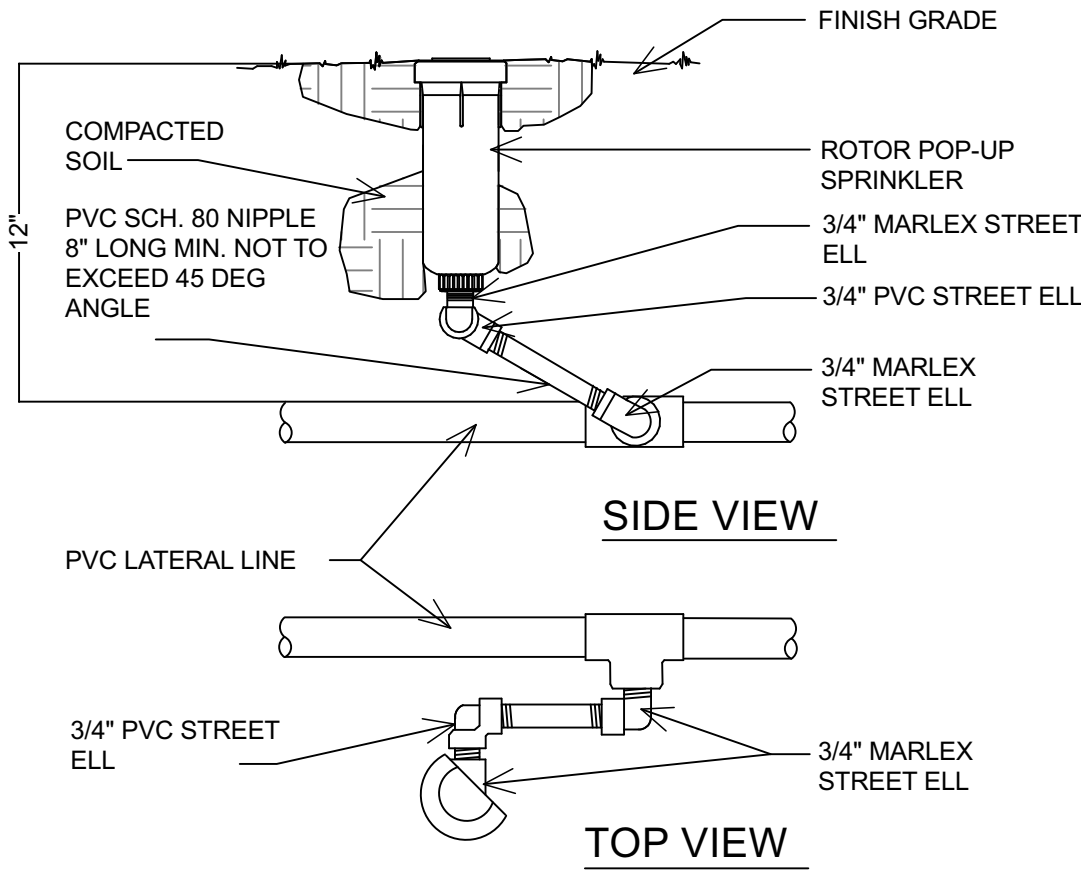
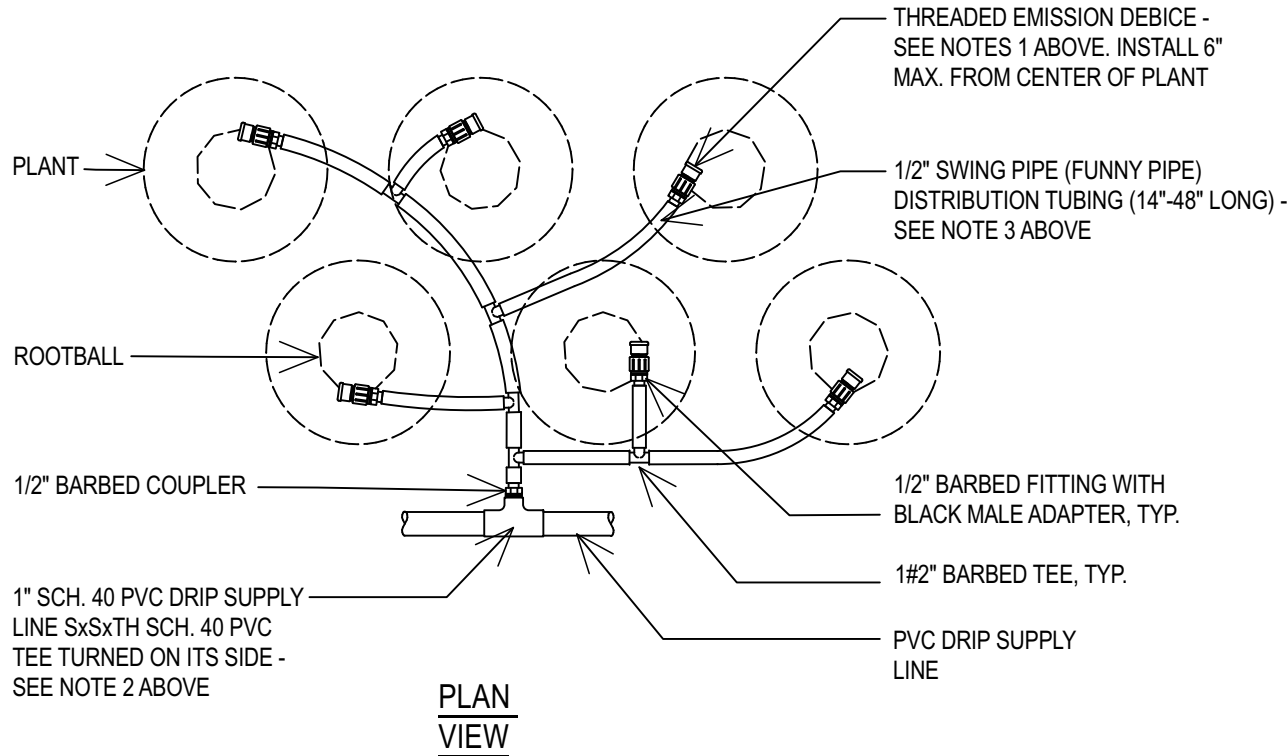
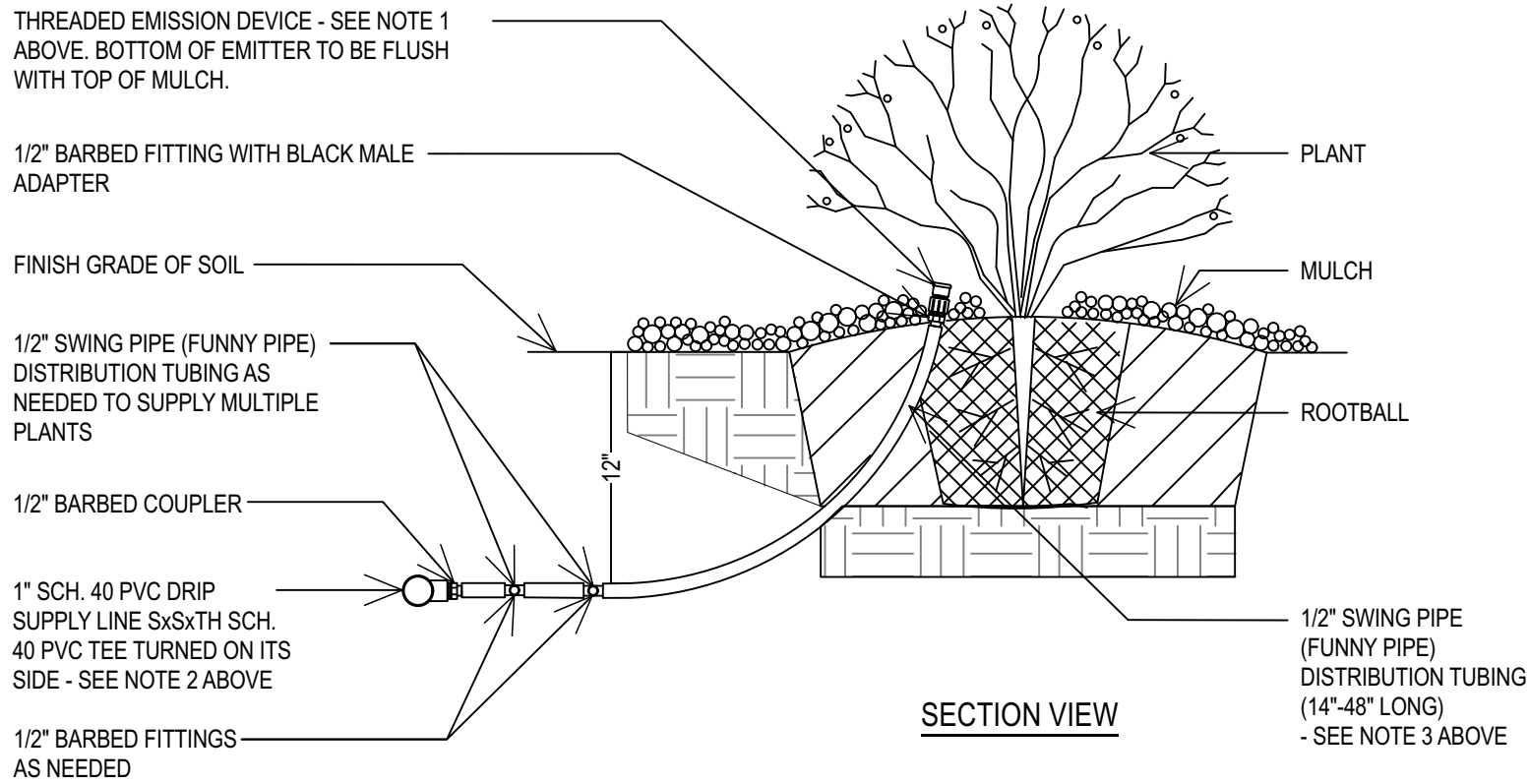


K PVC TO IN-LINE EMITTER
NO SCALE

NOTE:
1. USE AT TREE RINGS AND AS CONNECTION FROM SUPPLY AND EXHAUST HEADERS.
2. DO NOT EXCEED (3) GPM FLOW THROUGH SINGLE CONNECTION.

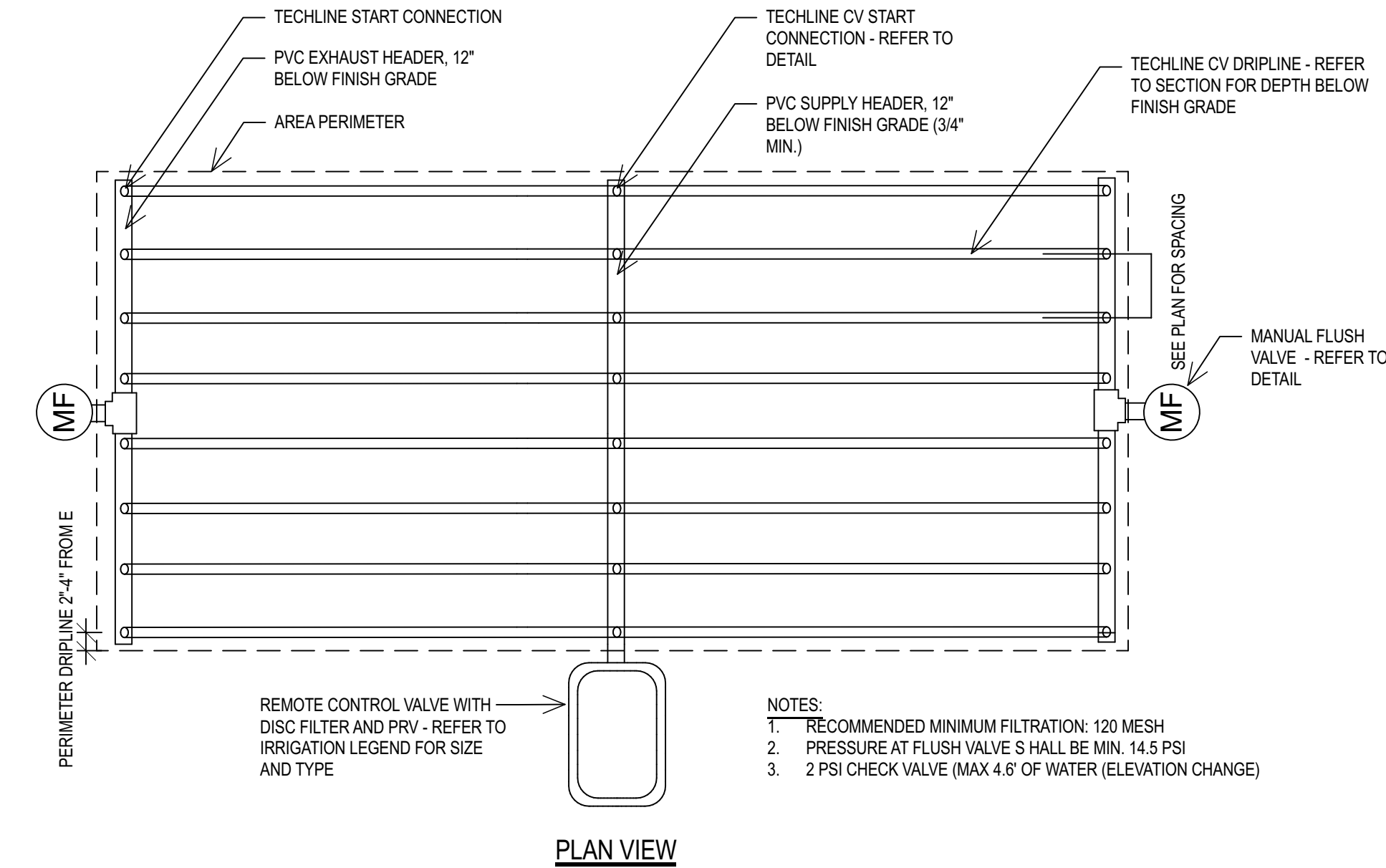


- NOTES:
1. SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
 2. INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
 3. DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.

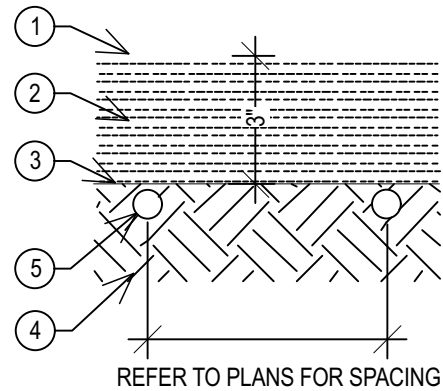


A DRIP EMISSION DEVICE @ SHRUBS

NO SCALE



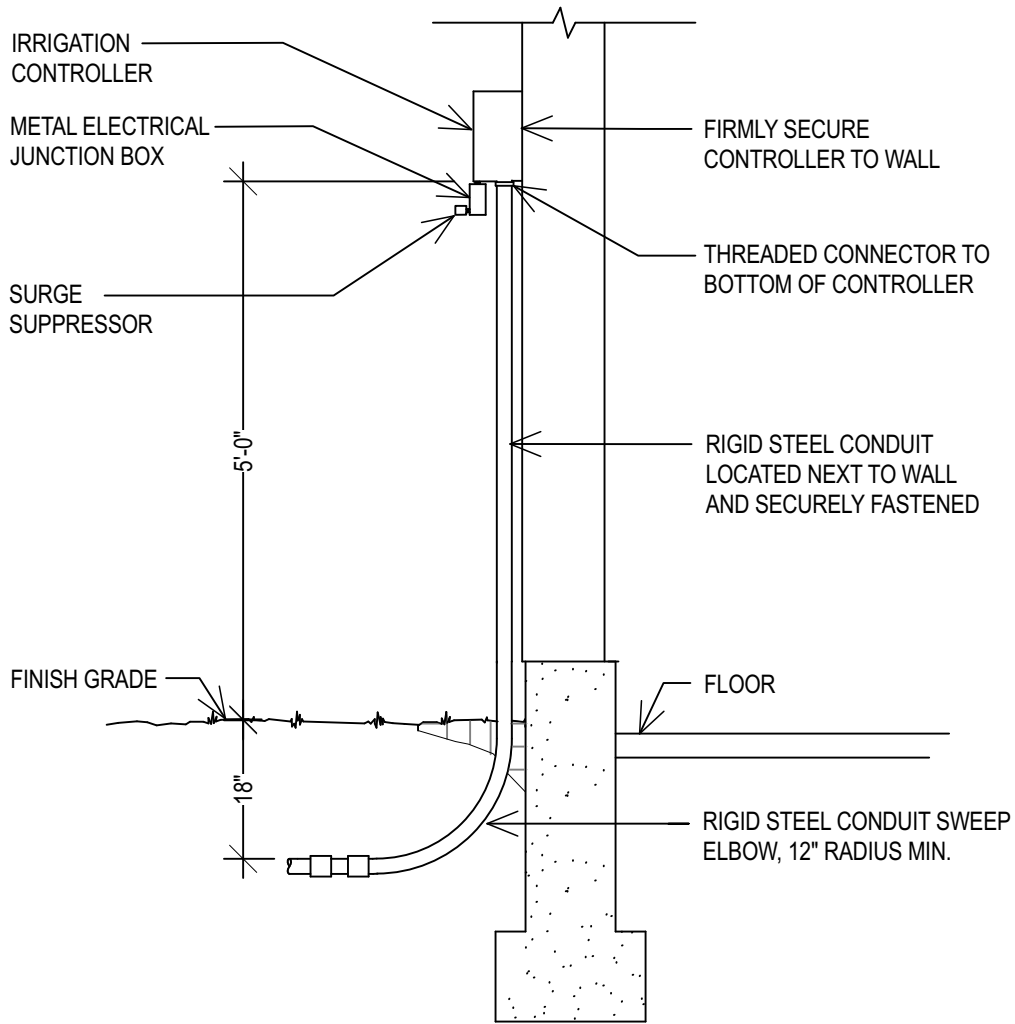
- LEGEND:
1. FINISH GRADE
 2. MULCH LAYER
 3. GEO-TEXTILE FABRIC
 4. SOIL WITHIN PLANTING BED
 5. NETAFIM TECHLINE CV DRIPLINE TUBING INSTALLED ON TOP OF GRADE BELOW FABRIC - STAPLE AS NEEDED TO PROPERLY SECURE.



SECTION

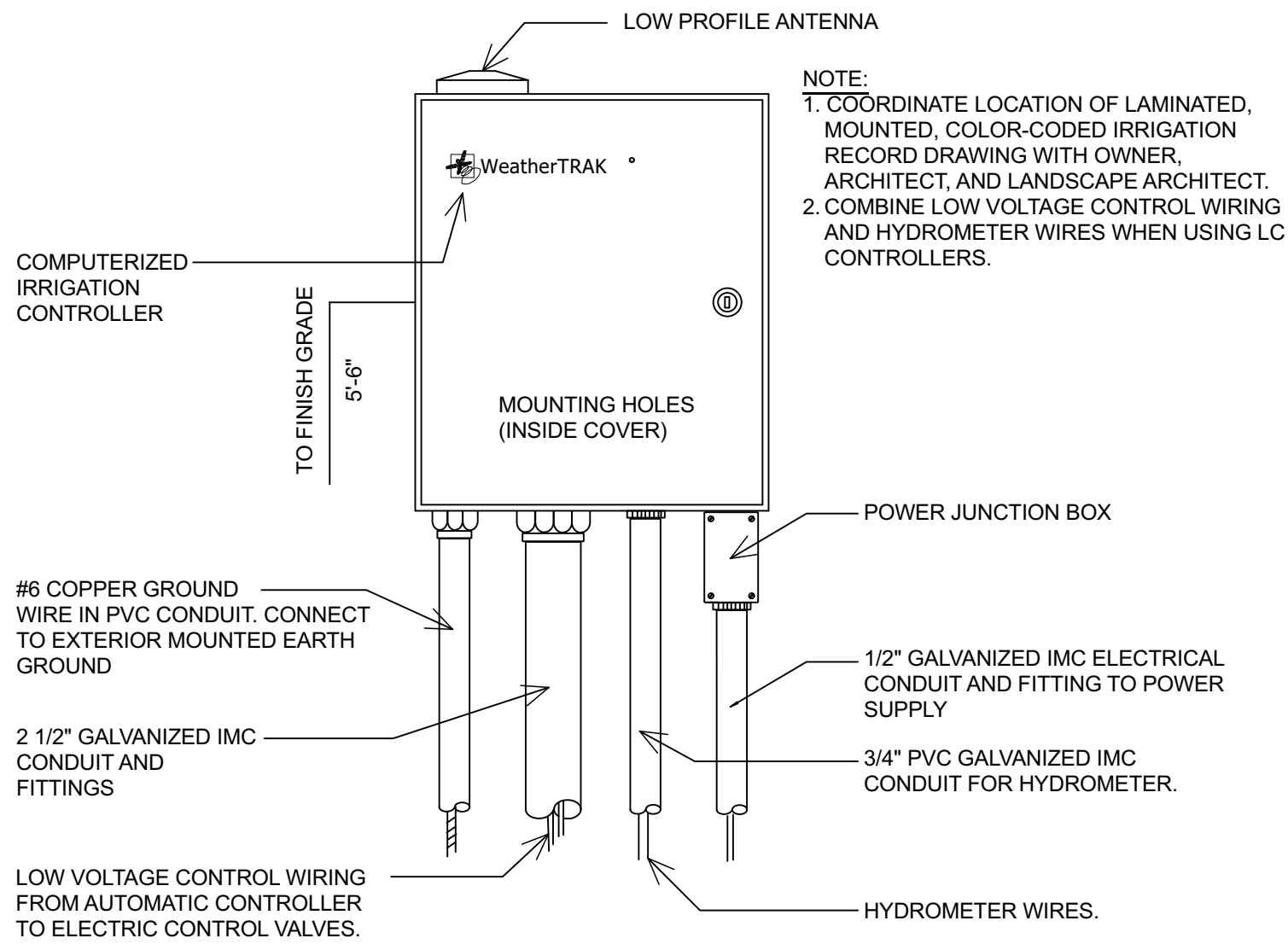
C TYPICAL DRIPLINE LAYOUT IN PLANTING BED AREAS

SCALE: NO SCALE



D CONTROLLER

NO SCALE

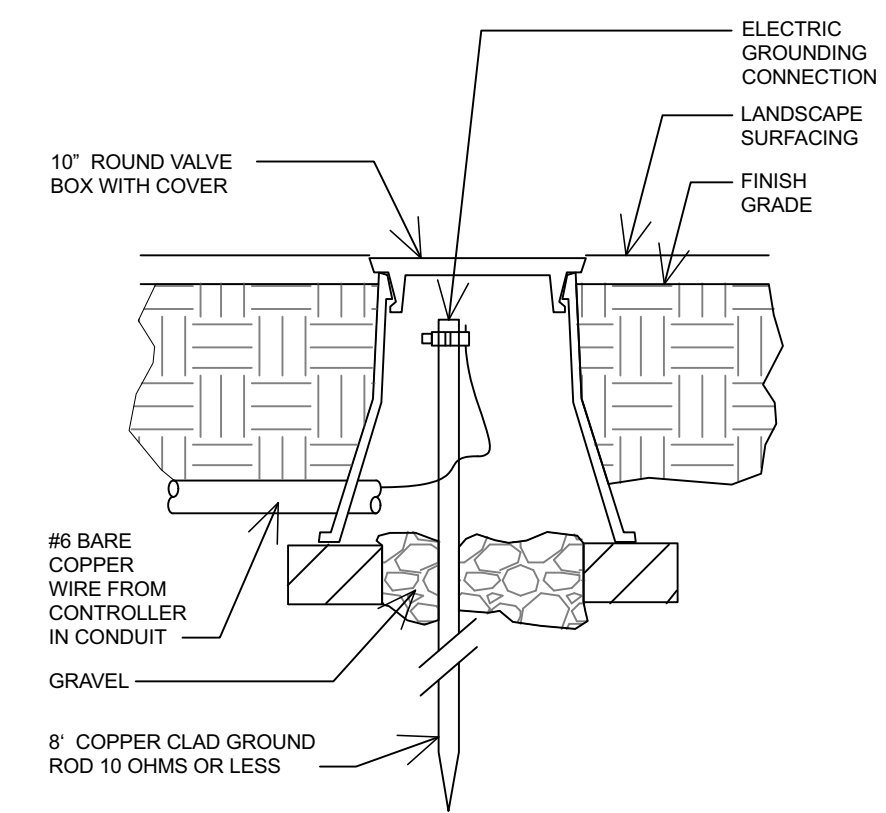
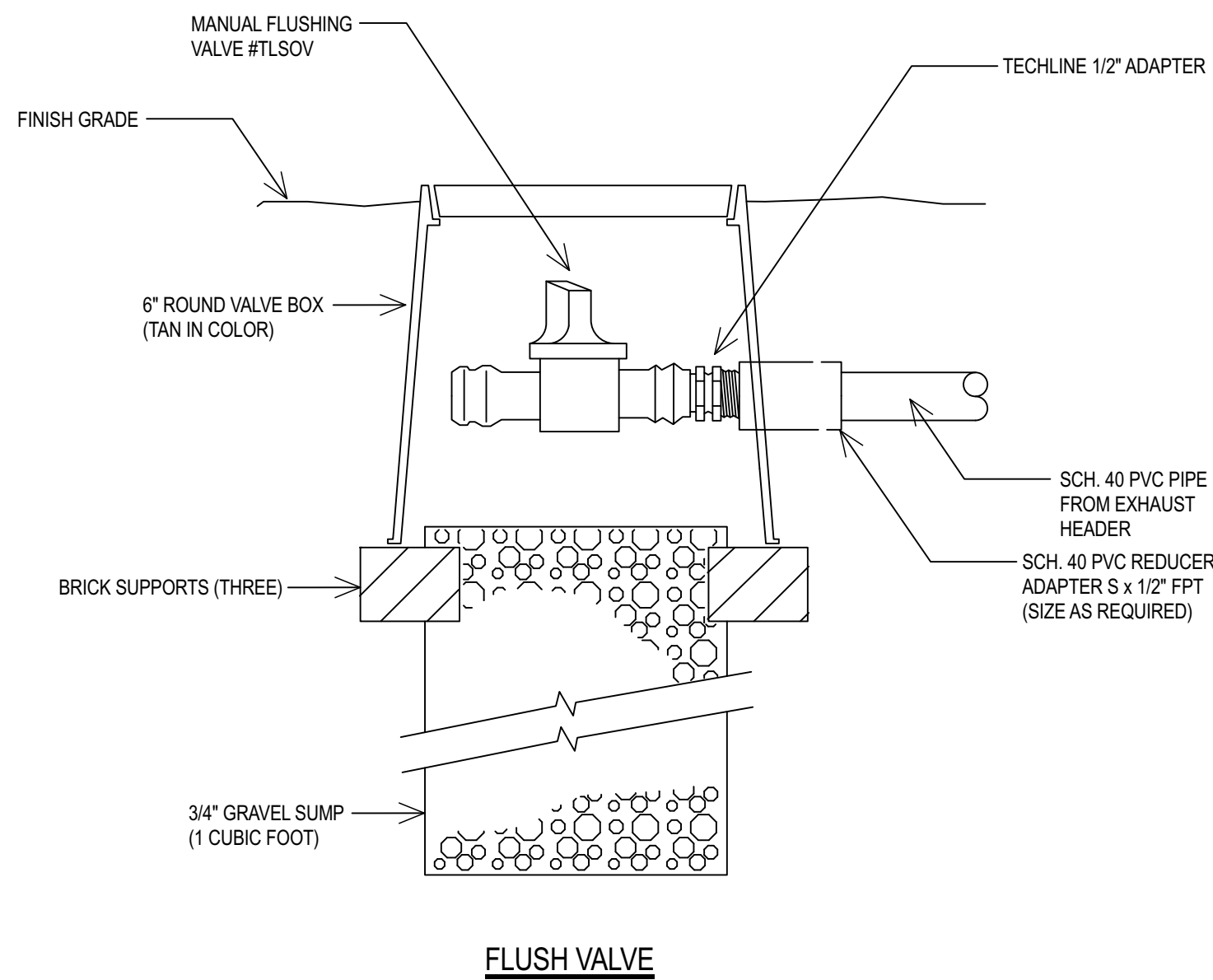
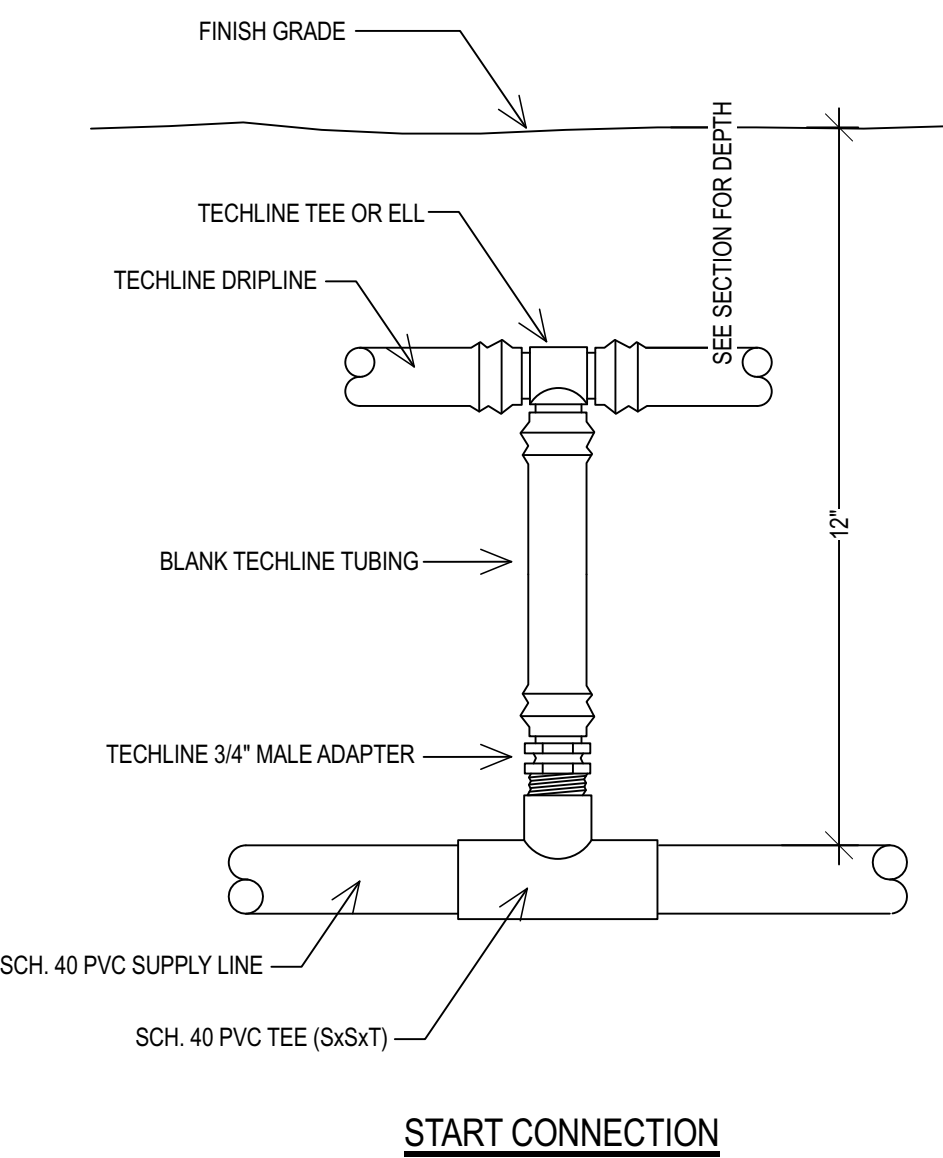


E SMART CONTROLLER

NO SCALE

B ROTOR POP-UP HEAD

NO SCALE



F LIGHTNING GROUNDING ROD

NO SCALE

DESIGN CRITERIA:

- 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
- TYPE OF CONSTRUCTION: TYPE II-B.
- BUILDING USE: ASSEMBLY A-3
- BUILDING OCCUPANCY CATEGORY: II
- BUILDING HEIGHT: PER PLANS
- BUILDING VOLUME: 19,800 CU. FT.
- NO. OF OCCUPANTS: 120
- ROOF DEAD LOAD - 11 PSF PLUS FRAMING WEIGHT
 - SHINGLES AND FELT: 3.5 PSF
 - DIAPHRAGM SHEATHING: 2.3 PSF
 - WOOD DECK: 4.0 PSF
 - MISCELLANEOUS: 1.2 PSF
- ROOF LIVE LOAD - 20 PSF
- SNOW LOAD
 - Pg: 41 PSF (GROUND SNOW LOAD)
 - Pf = 0.7 * Pg * Ce * Ct * Is = 31 PSF (ROOF SNOW LOAD)
 - BUILDING ELEVATION: 4996 3FT
 - Ps = Pf Cs
 - Cs: 1.0 FOR A 4:12 PITCH
 - Ps: 31 PSF
- WIND LOAD (ULTIMATE)
 - V3s: 102 MPH
 - EXPOSURE: C
 - W: 1.00
- SEISMIC LOAD (ULTIMATE)
 - Ie: 1.00
 - Ss: 1.65
 - S1: 0.58
 - Sds: 0.98
 - Sd1: 1.13
 - Idc: 1.25
 - Cd: 2.5
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY: D
 - R: 1.25 (CANTILEVERED STEEL COLUMNS)
 - EQUIVALENT LATERAL FORCE PROCEDURE Cs = 0.78
- ALLOWABLE SOIL BEARING PRESSURE:
 - 1500 PSF
 - ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
 - USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
 - COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

- VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
 - BUILDING PERMIT
 - PLANNING OR CONDITIONAL USE PERMIT
 - OBTAIN REQUIRED USE PERMIT
- REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
- LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
- DIG COLUMN CAISSONS.
- PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
- SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
- PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
- SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU-LAM BEAMS.
- AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS, TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
- THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
- NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
- LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
- ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS.
- ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
- SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
- INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
- INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
- LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID OVER RIDGE.
- INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
- INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE-FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
- FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
- AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
- INSTALL MEMBRANE CURING ON CONCRETE SLAB.
- ALLOW CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK.
- ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS.
- STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

- REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS
- PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

UTILITIES:(BY OTHERS)

- INSTALL PLUMBING LINE FOR COLD WATER.
- INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE- ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.

CONCRETE:

- CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24"
- PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
 - COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
 - MAX W/C: 0.45
 - 6% (+/-1.5%) AIR ENTRAINMENT.
 - CEMENT TYPE II/V
 - DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
 - F2, S1 (PER ACI 318 TABLE 4.2.1)
 - LIMIT SLUMP TO 4" (+/-1")
- VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- SLAB TO BE SEALED WITH WEATHERWORKER J-29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, Fy = 46,000 PSI
- ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 55.
- ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
- ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

- GLU-LAM BEAMS:
 - SOUTHERN YELLOW PINE
 - 24F-V3 STRESS COMBINATION
 - 2-INCH NOMINAL THICK LAMINATIONS
 - 5" MINIMUM WIDTHS
 - RESORCINOL ADHESIVE
 - DOUBLE PITCHED AND TAPERED
 - ARCHITECTURAL APPEARANCE GRADE
 - STAIN AND SEAL FINISH
 - ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
 - MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
- MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
- FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
- TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
- USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
- PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
- ROOF FRAMING
 - USE GALVANIZED NAILS.
 - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
 - MITER ENDS OF FASCIA AT CORNERS
 - BUTT FASCIA ONLY AT BEAM ENDS
 - FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
 - 2x8 ROOF DECK:
 - DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED, AND STAINED - NO. 2 GRADE.
 - DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS - RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
 - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
 - INSTALL WITH TONGUES UP ON SLOPED ROOFS.
- ROOF SHEATHING:
 - 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
 - INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH 3 STAPLES PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
 - PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM

- 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- PROFILE NOMINAL SIZE: 13"x 39 3/8"
- EXPOSURE: 5 5/8"
- COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

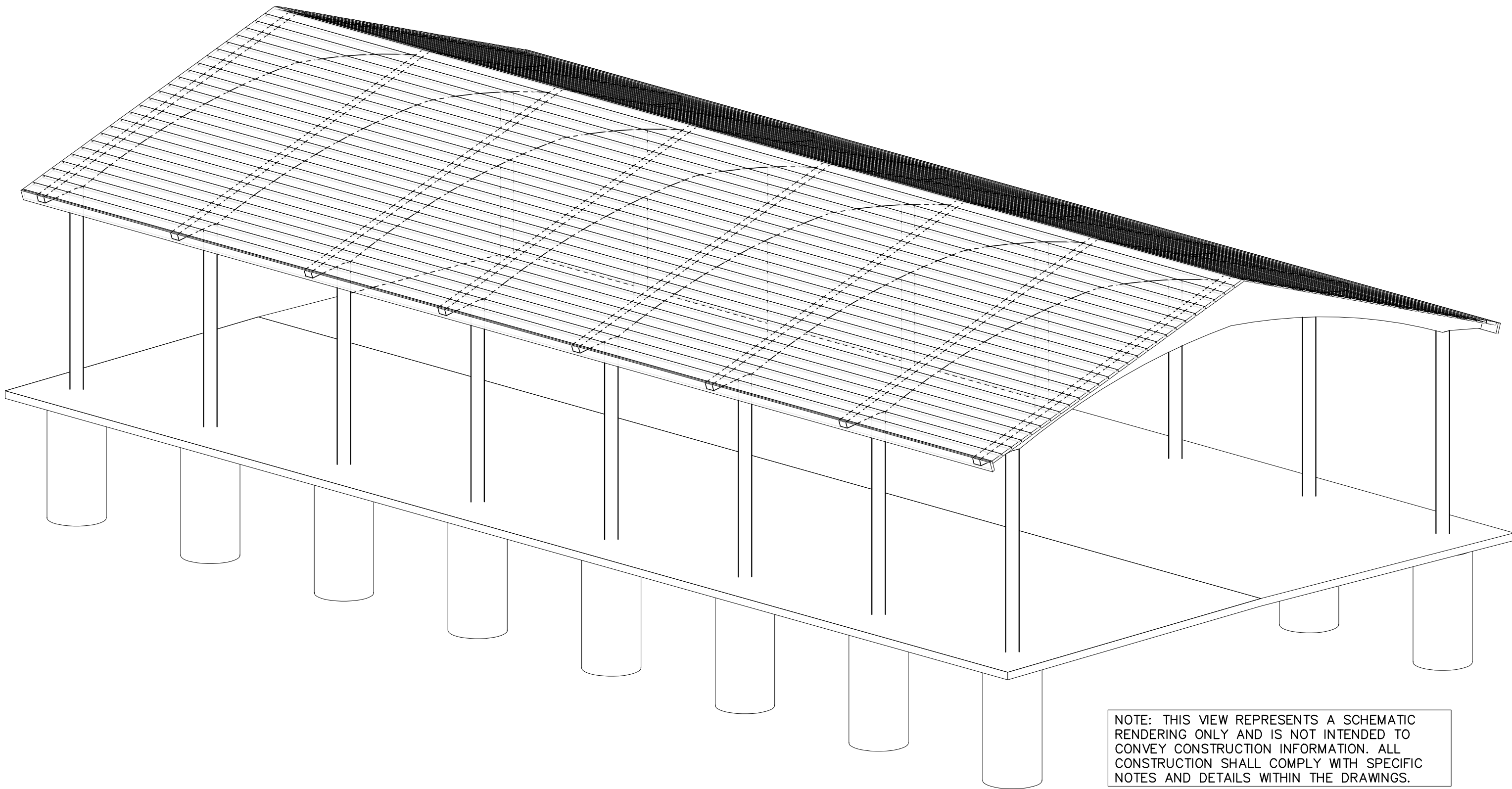
- BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

ELASTOMERIC JOINT SEALANTS:

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
- CLEAN AND PREPARE SURFACES.
- USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
- PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

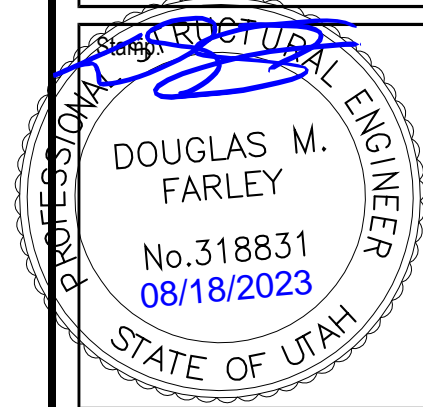
PLUMBING AND ELECTRICAL:(BY OTHERS)

- COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.



NOTE: THIS VIEW REPRESENTS A SCHEMATIC RENDERING ONLY AND IS NOT INTENDED TO CONVEY CONSTRUCTION INFORMATION. ALL CONSTRUCTION SHALL COMPLY WITH SPECIFIC NOTES AND DETAILS WITHIN THE DRAWINGS.

Supplier:



30'x60' Glulam Pavilion

Kit 1 Option A

1120 Rocky Mountain Way
Elkridge, Utah

Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Mark

Description

Project Number:

Plan Series:

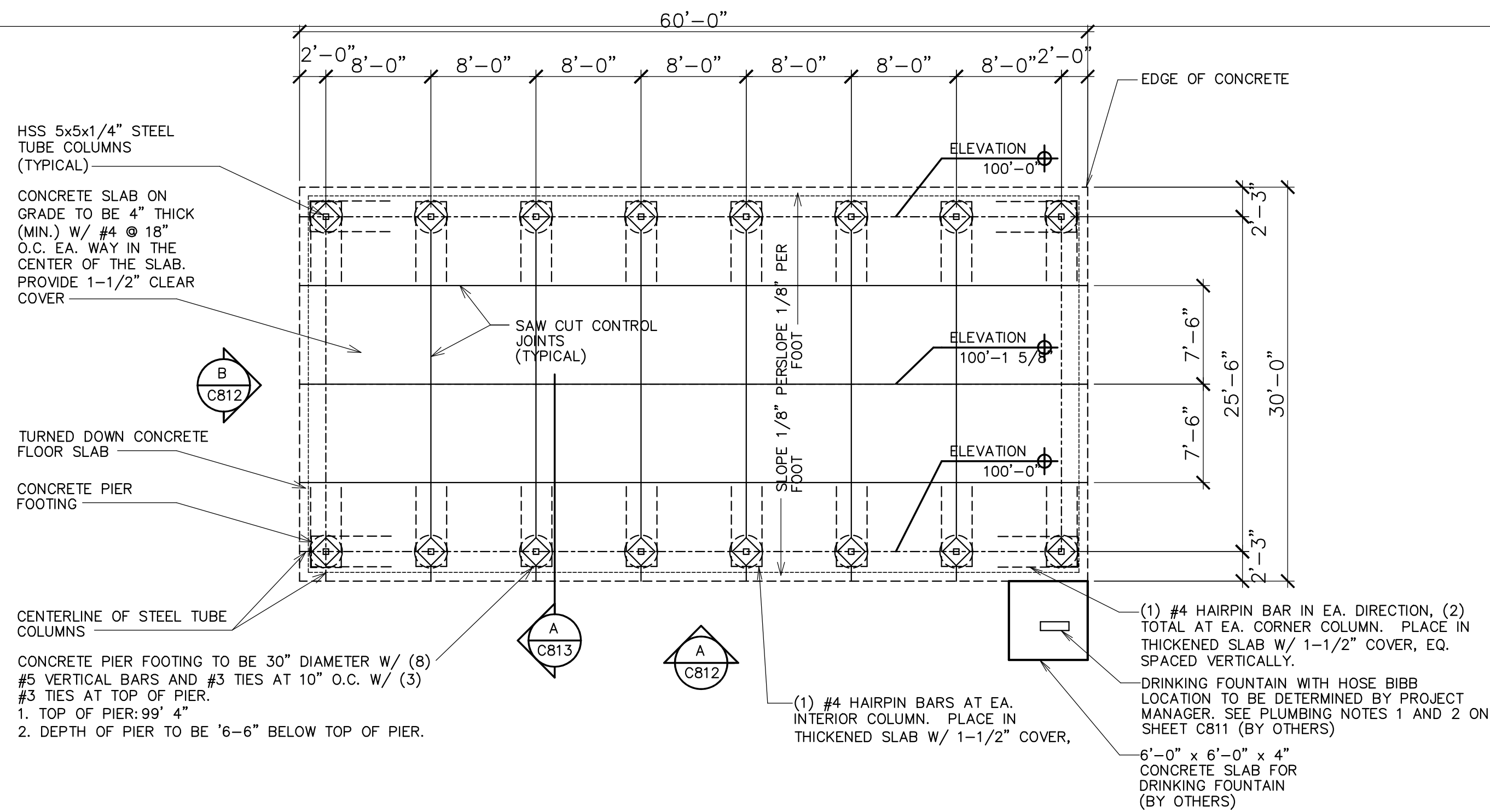
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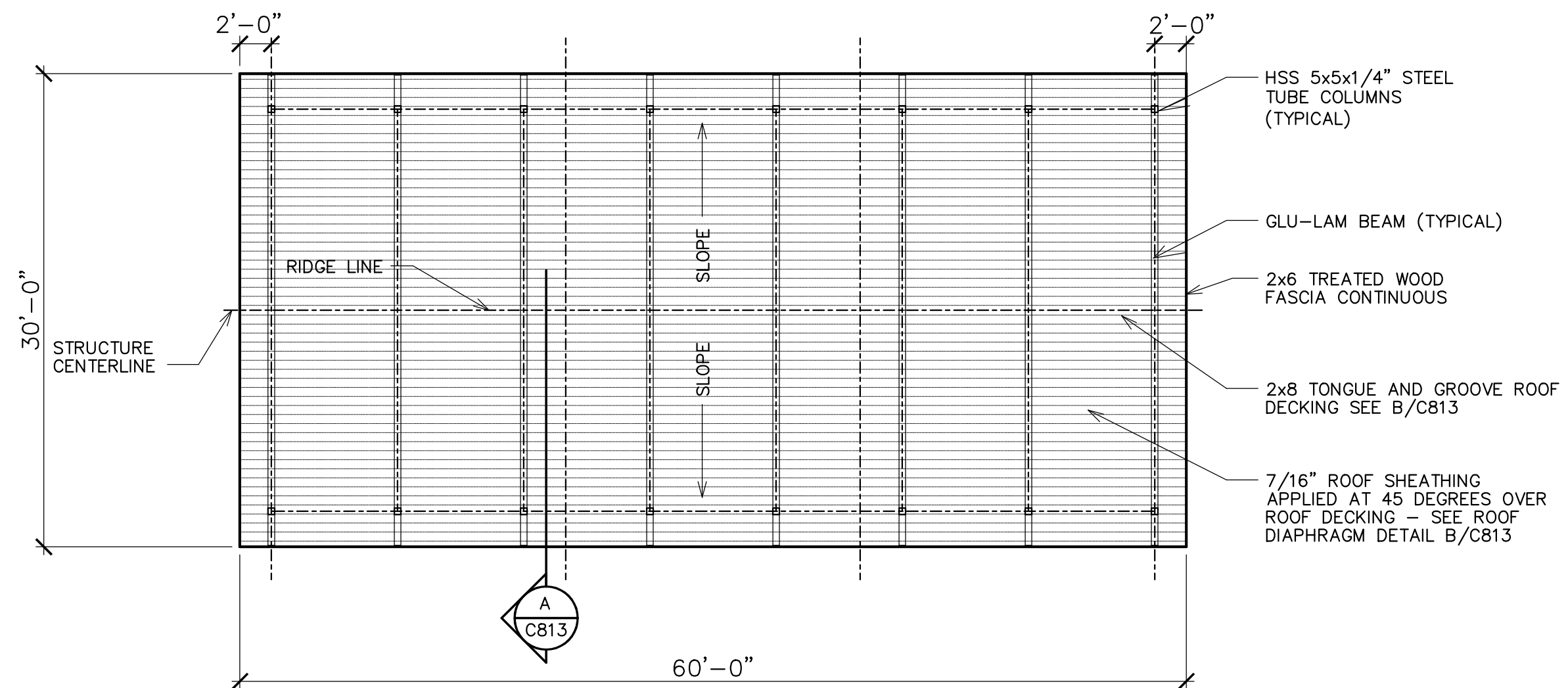
PLAN VIEWS

Sheet:

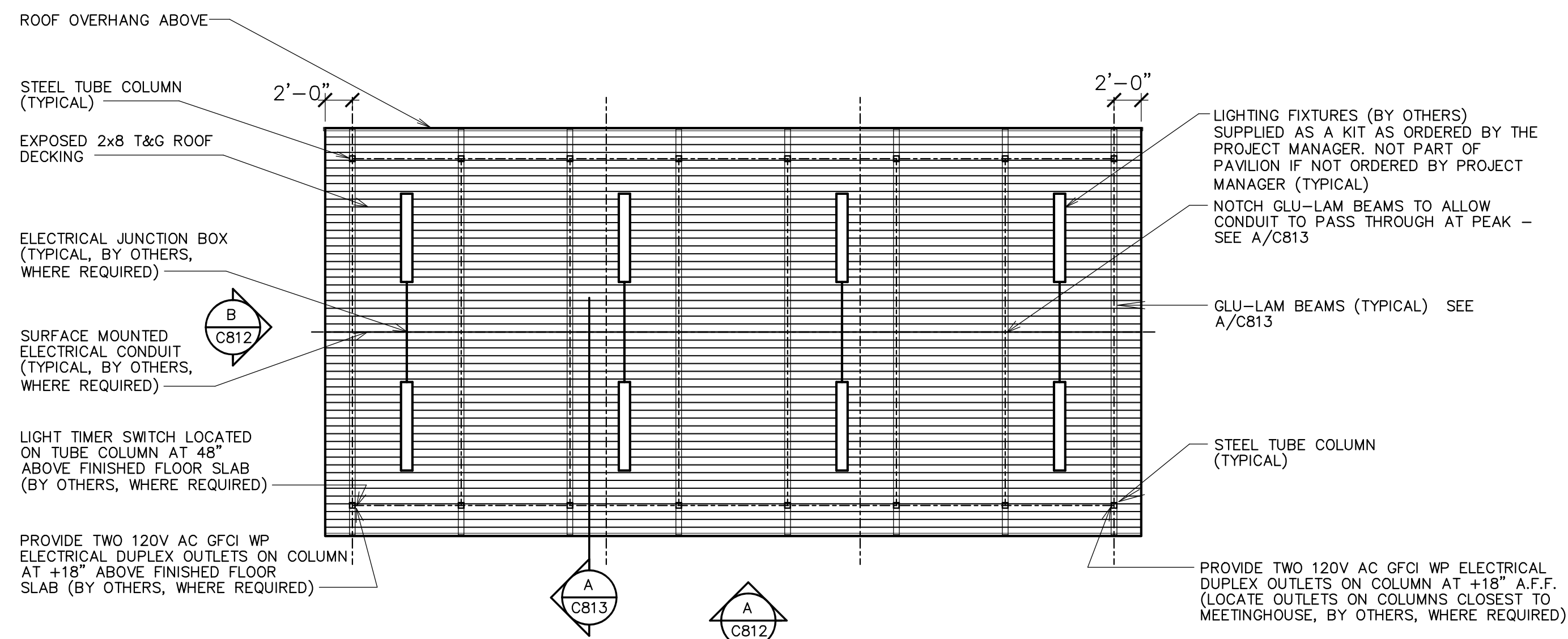
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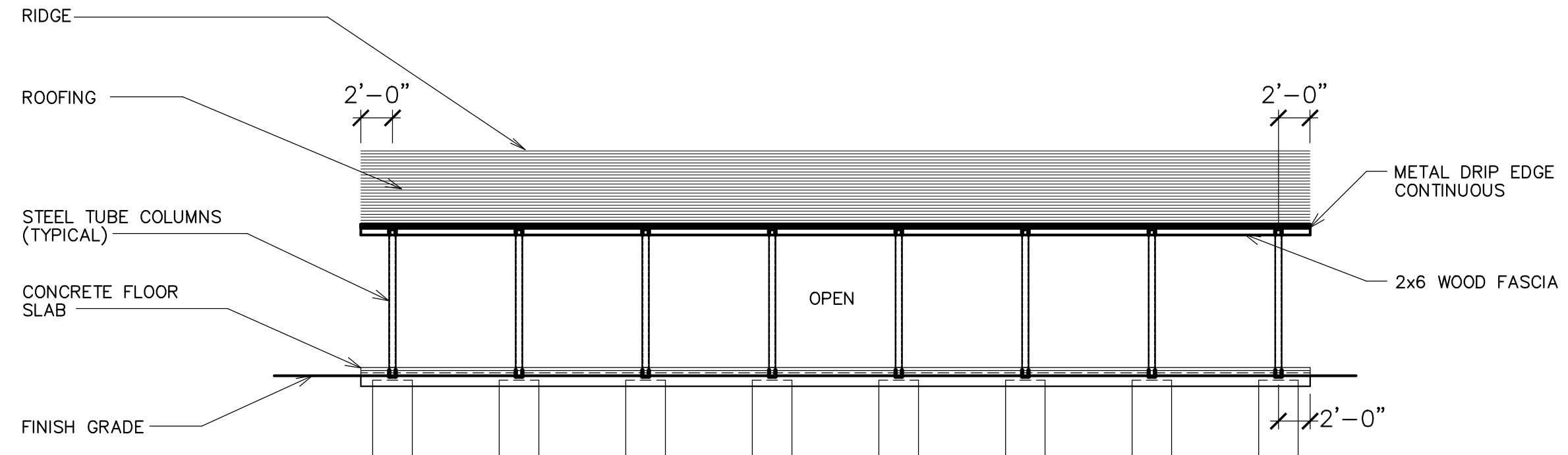
1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



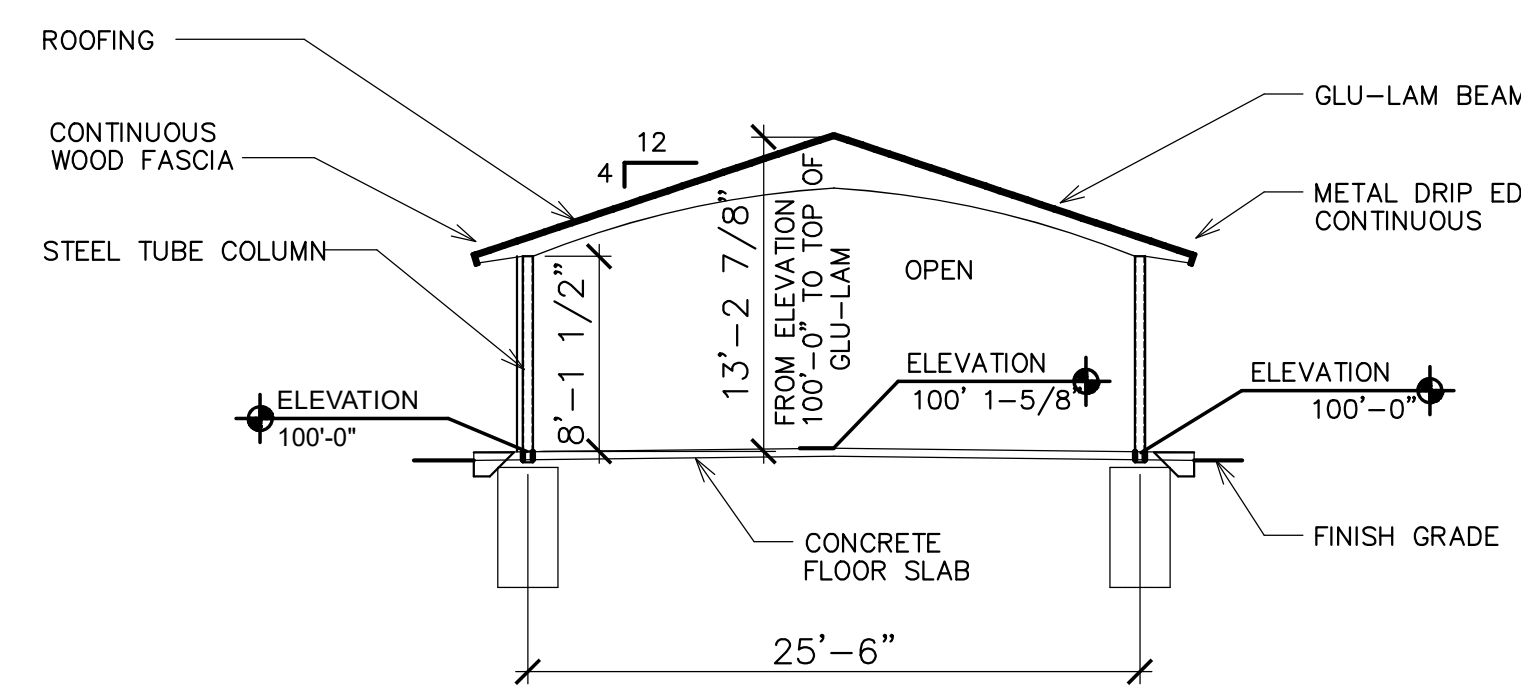
2 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



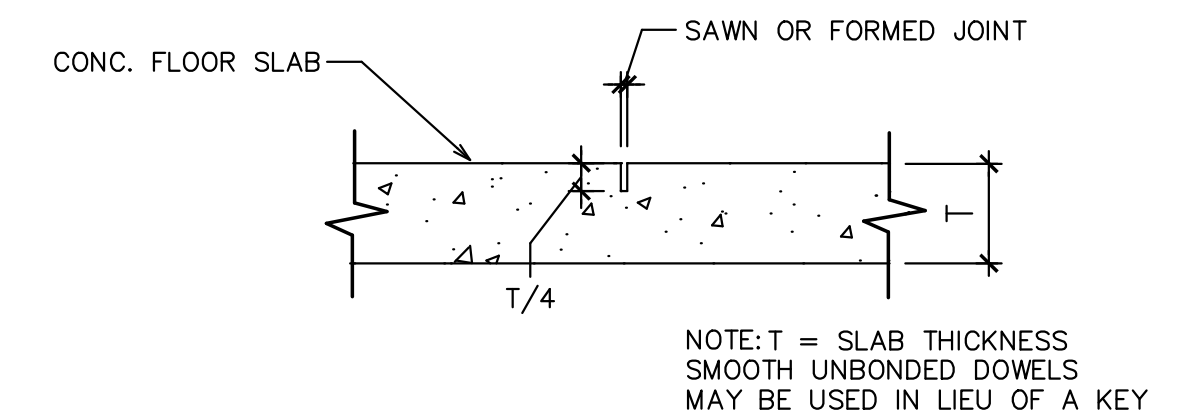
3 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



A SIDE ELEVATION
SCALE: 1/8" = 1'-0"



B END ELEVATION
SCALE: 1/4" = 1'-0"



4 CONTROL JOINT DETAIL
SCALE: 1 1/2" = 1'-0"

Supplier:

SMITH STEELWORKS

Professional Engineer

DOUGLAS M. FARLEY

No.318831

08/18/2023

STATE OF UTAH

30'x60' Glulam Pavilion

Kit 1 Option A

1120 Rocky Mountain Way

Elkridge, Utah

Project for:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date (mm)	Description

Project Number:

Plan Series:

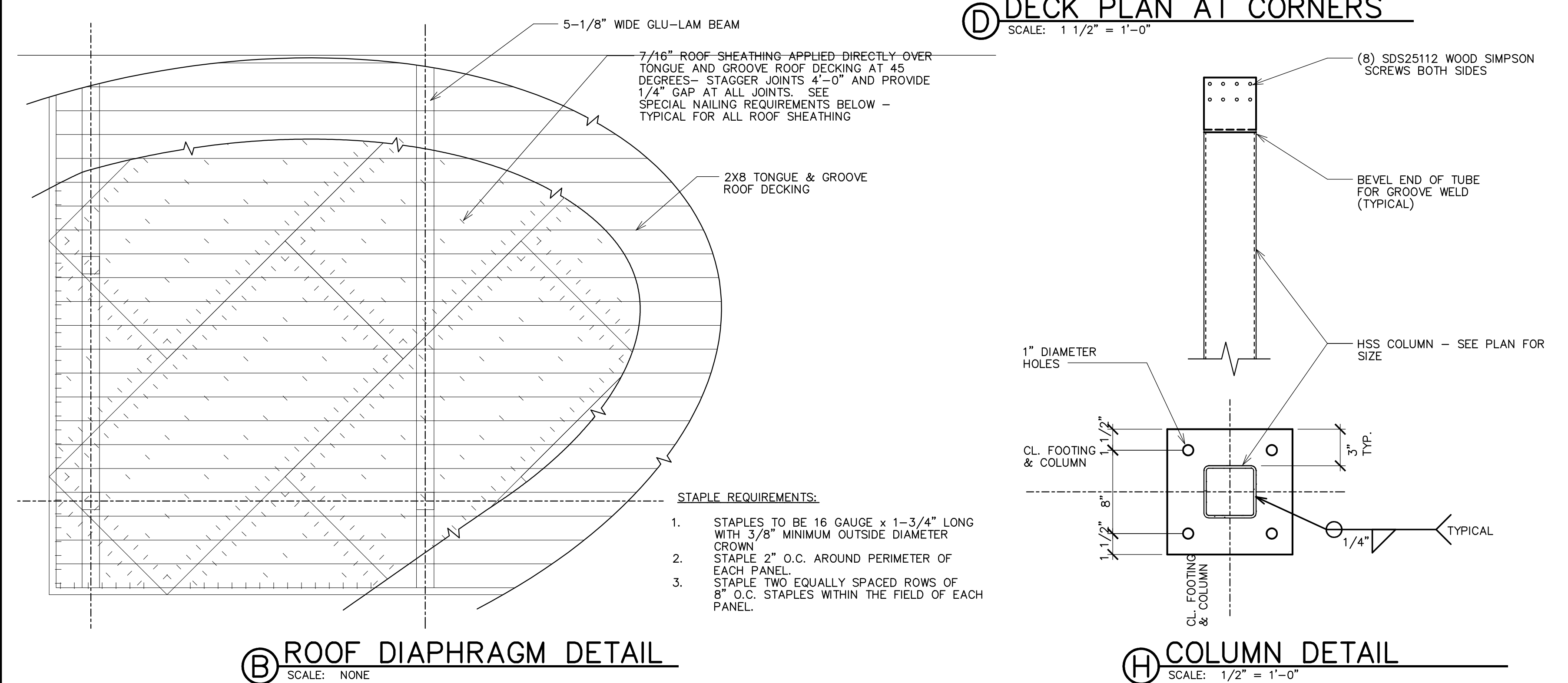
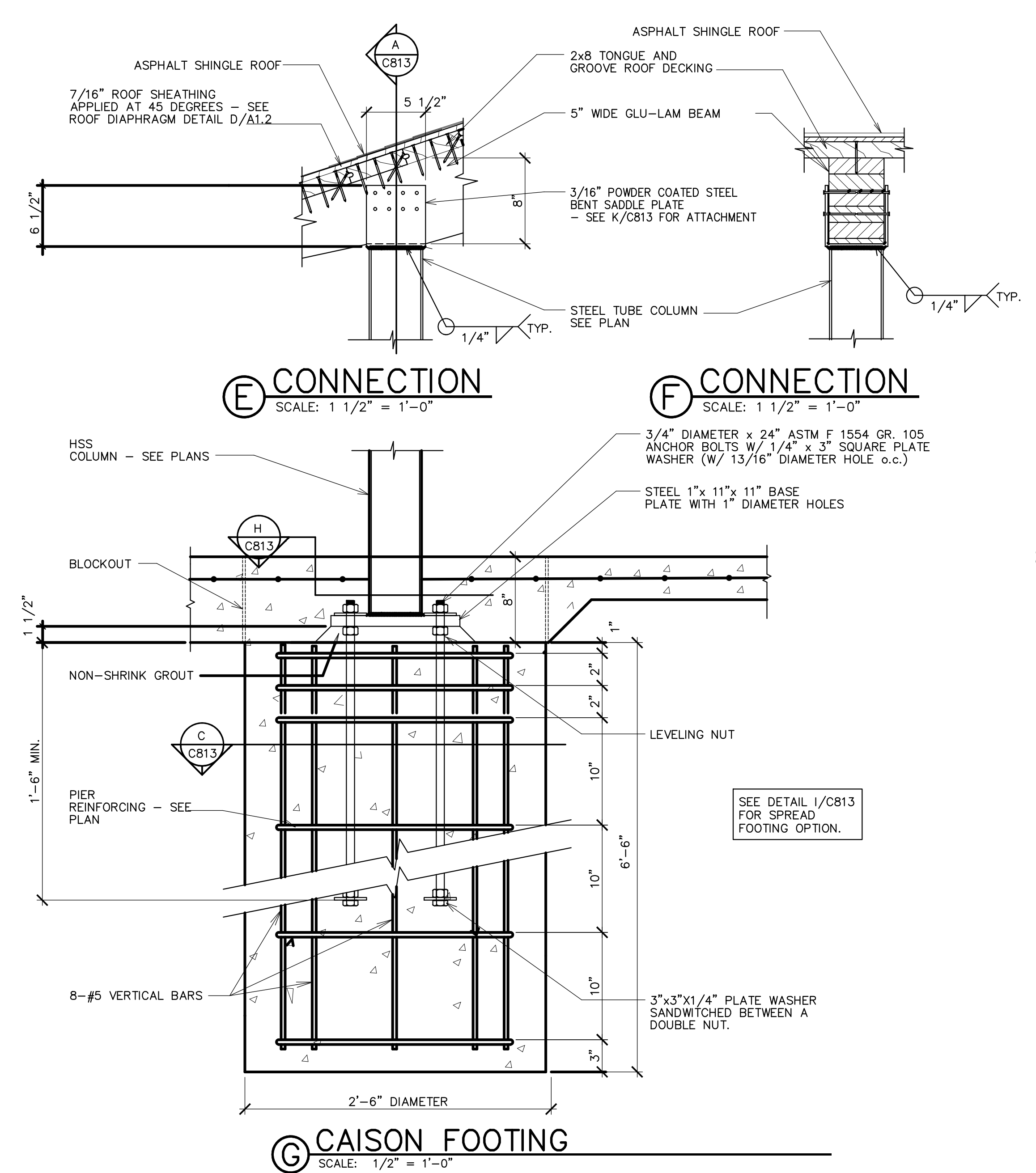
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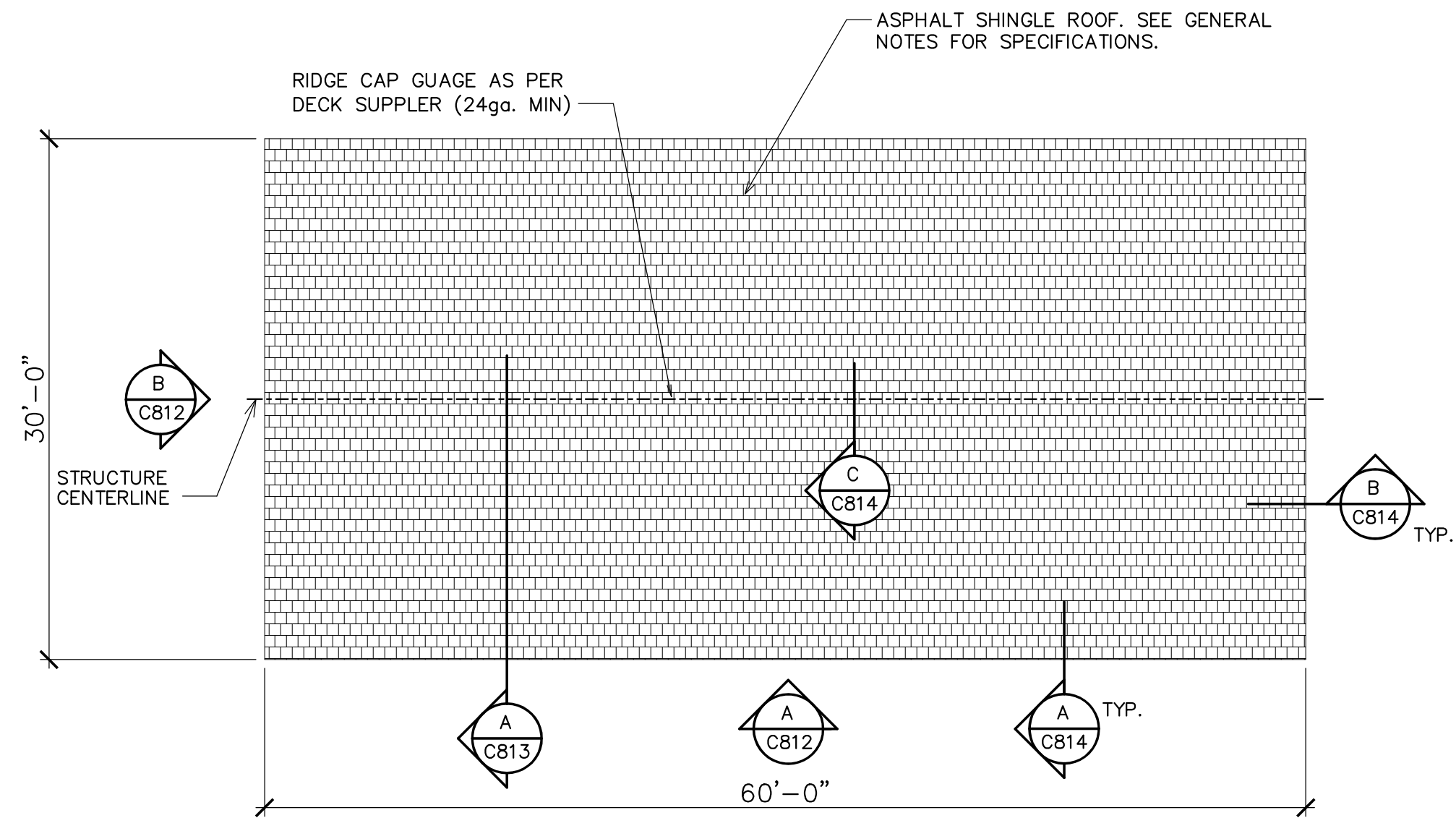
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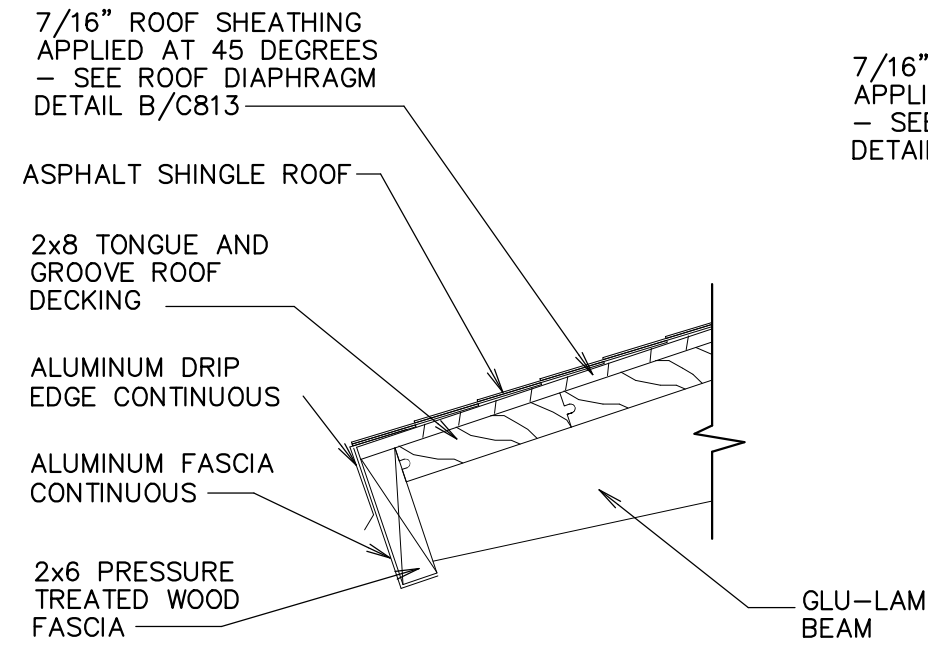
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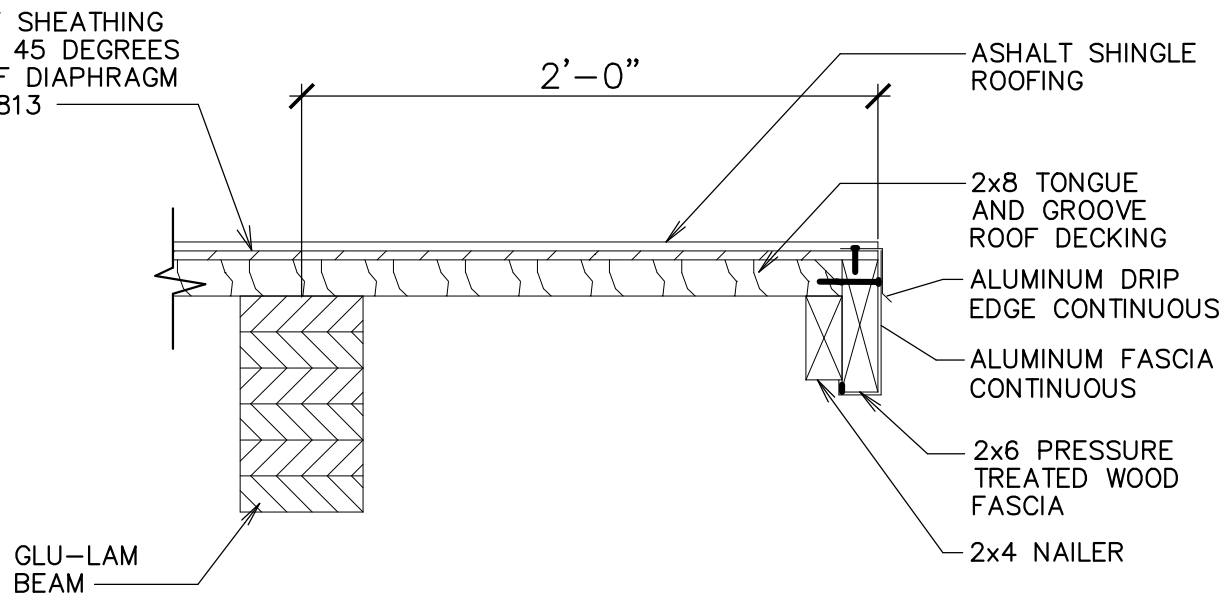
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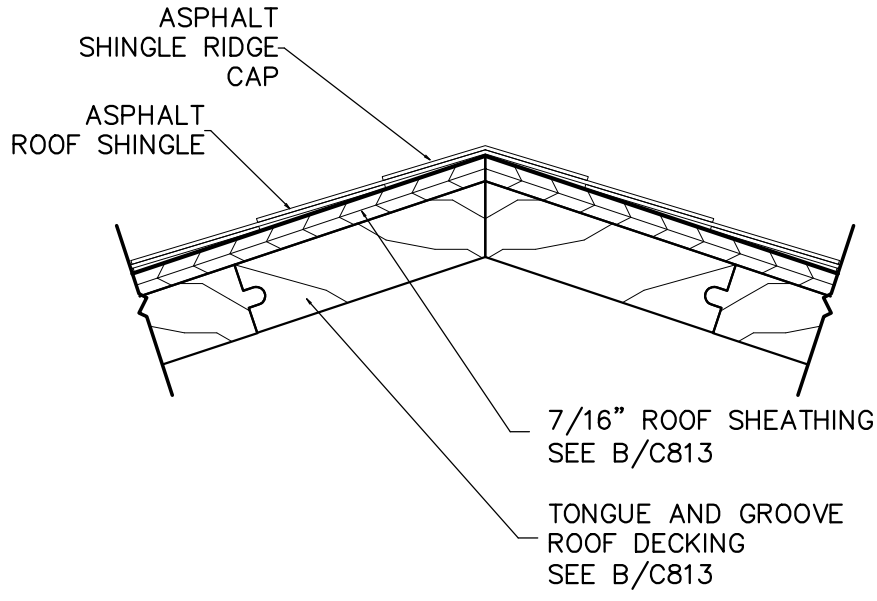
① ROOF PLAN
SCALE: 1/8" = 1'-0"



Ⓐ FASCIA DETAIL
SCALE: 1 1/2" = 1'-0"



Ⓑ RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



Ⓒ RIDGE CAP DETAIL
SCALE: 3" = 1'-0"

Supplier:

SMITH
STEELWORKS

Professional Engineer
DOUGLAS M. FARLEY
No. 318831
08/18/2023
STATE OF UTAH

30'x60' Glulam Pavilion
Kit 1 Option A
1120 Rocky Mountain Way
Elkridge, Utah

Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Mark	Date (yymm)	Description

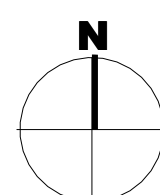
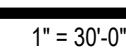
Project Number: _____

Plan Series: _____

Property Number: _____

Sheet Title:
**ROOF VIEWS
AND DETAILS**

Sheet:
C814





684 W Center St
Midvale UT 84047



OWNER / Church of Jesus Christ of Latter Day Saints
DEVELOPER:

CONTACT INFO:
James dzineku
(801) 240-5174
JDzhineku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT
94150

ELK RIDGE UT HERITAGE 23-2

11120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698

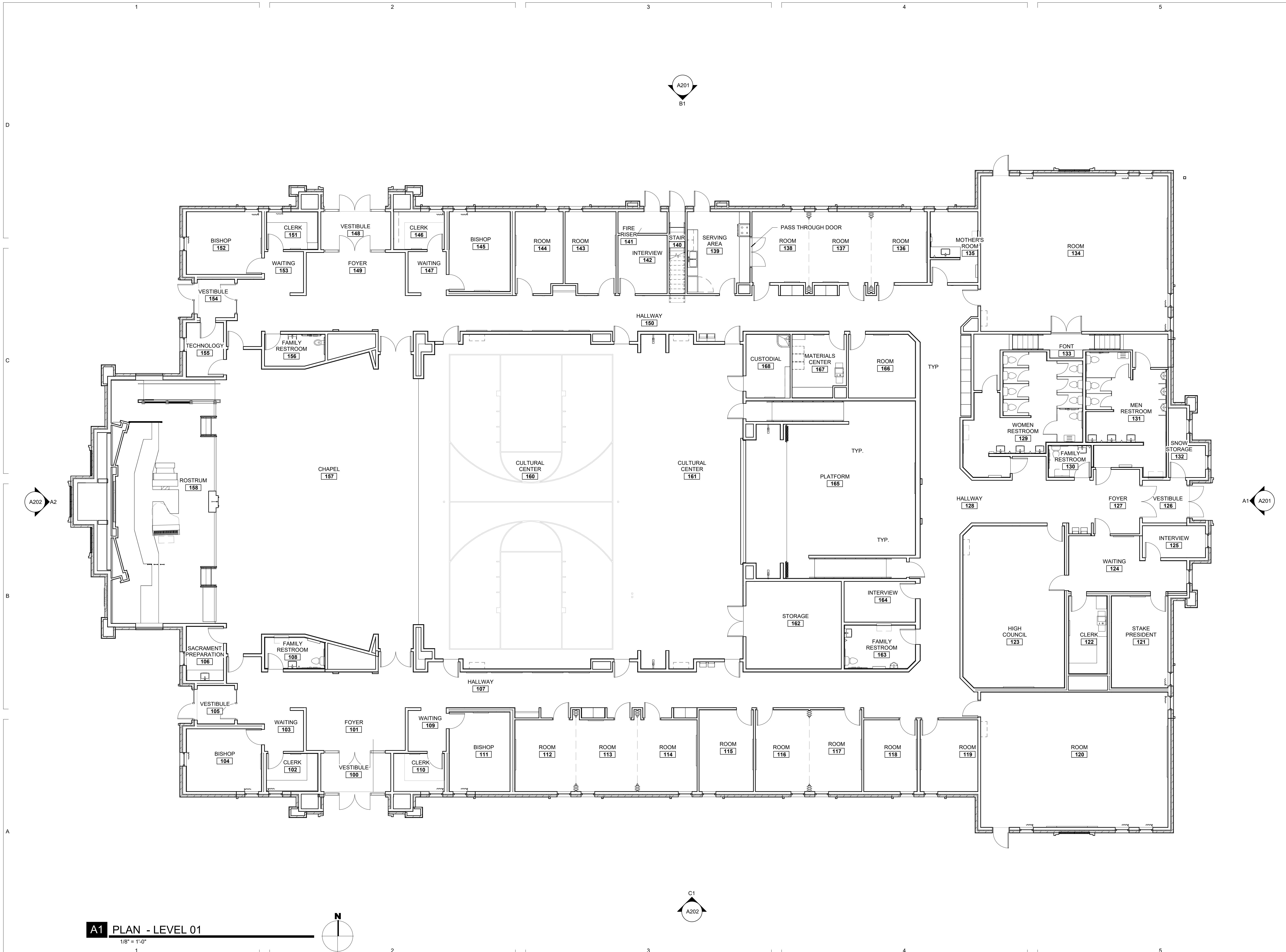
OWNER: Church of Jesus Christ of Latter Day Saints
Saint George, UT

DATE: 02.09.2024

REV	DATE	DESCRIPTION
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ANNOTATED
PLAN - LEVEL 01

A110.1

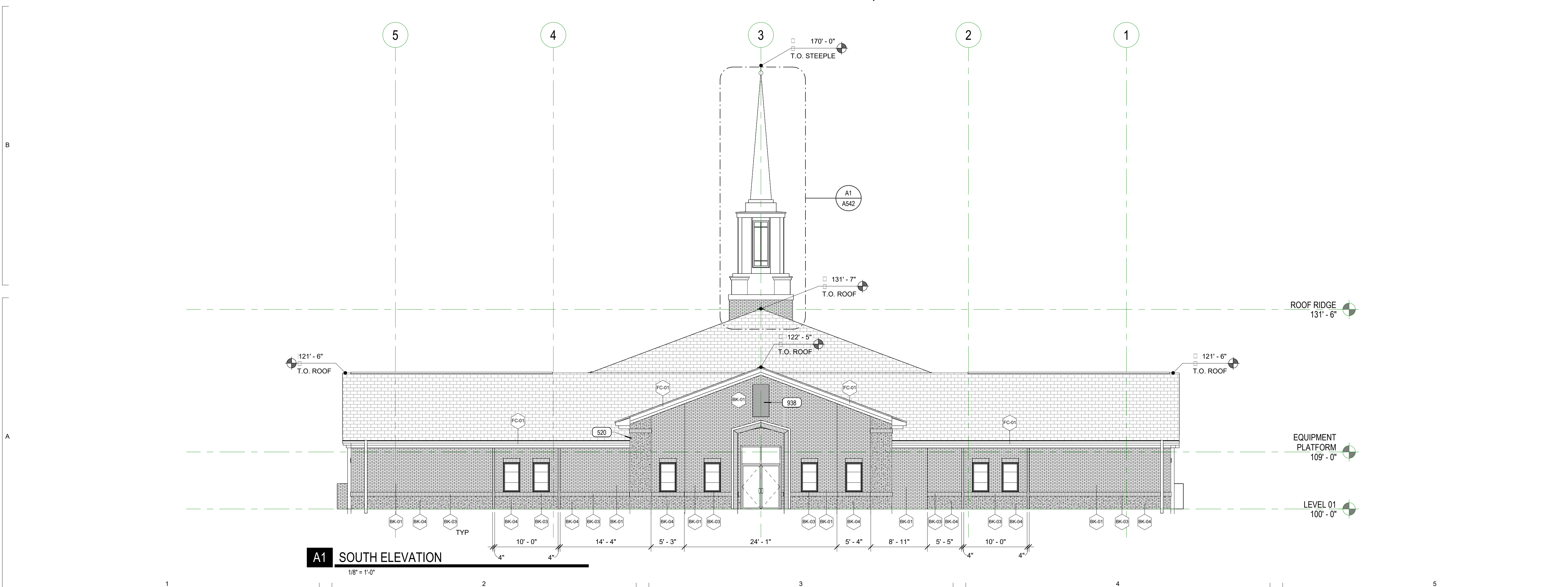
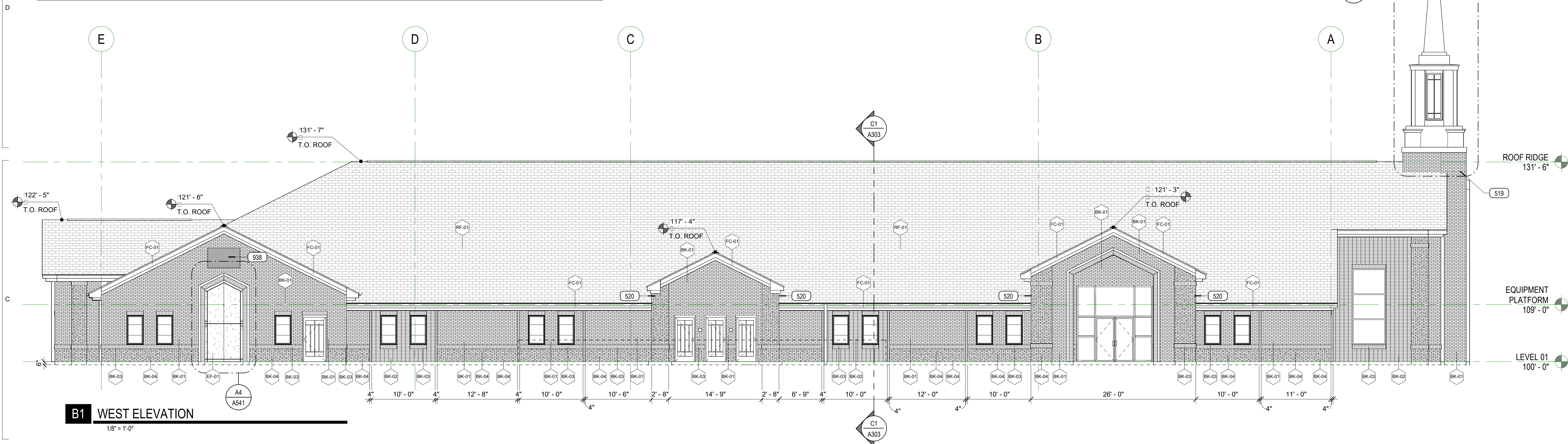


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EXTERIOR MATERIALS LEGEND	
FINISH TYPE	DESCRIPTION
BK-01	BRICK, RUNNING BOND. TEXTURE: MATTE, COLOR: MT. RED
BK-02	BRICK, STACK BOND. TEXTURE: ROUGH, COLOR: MT. RED
BK-03	BRICK, SOLDIER COURSE TEXTURE: ROUGH, COLOR: MT. RED
BK-04	BRICK, RUNNING BOND. TEXTURE: SCRATCH, COLOR: MT. RED
RF-01	ASPHALT SHINGLE ROOF
EF-01	DRYVIT EIFS ACCENT AND TRIM - COLOR: TBD: PROVIDE SAMPLES
FC-01	METAL FASCIA

KEYED NOTE

- 519 INSTALL STEEL ANGLE LINTEL AT 30'-0" MAX. HT. ABOVE THE FOUNDATION. INSTALL LINTEL AT A GROUT LINE SO THAT IT IS CONCEALED BY THE GROUT.
- 520 INSTALL STEEL ANGLE LINTEL TO SUPPORT BRICK AT WALL RETURNS LOCATED ABOVE ROOF LINE, TYP.
- 938 MECHANICAL LOUVER, COLOR TO MATCH BRICK. SUBMIT COLOR SAMPLES.



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Mojave, UT 84047

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ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UT 84651

JOB NUMBER: 501-2698
OWNER: -
DATE: 03.21.2024

REV DATE DESCRIPTION

EXTERIOR
ELEVATION

A201

3/21/2024 3:24:09 PM

EXTERIOR MATERIALS LEGEND	
FINISH TYPE	DESCRIPTION
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BK-02	BRICK, STACK BOND. TEXTURE: ROUGH, COLOR: MT. RED
BK-03	BRICK, SOLDIER COURSE TEXTURE: ROUGH, COLOR: MT. RED
BK-04	BRICK, RUNNING BOND. TEXTURE: SCRATCH, COLOR: MT. RED
RF-01	ASPHALT SHINGLE ROOF
EF-01	DRYVIT EIFS ACCENT AND TRIM - COLOR: TBD: PROVIDE SAMPLES
FC-01	METAL FASCIA

KEYED NOTE

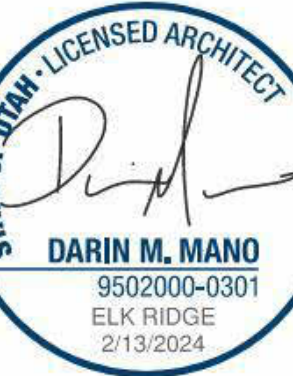
- 519 INSTALL STEEL ANGLE LINTEL AT 30'-0" MAX. HT. ABOVE THE FOUNDATION. INSTALL LINTEL AT A GROUT LINE SO THAT IT IS CONCEALED BY THE GROUT.
- 520 INSTALL STEEL ANGLE LINTEL TO SUPPORT BRICK AT WALL RETURNS LOCATED ABOVE ROOF LINE. TYP.
- 938 MECHANICAL LOUVER, COLOR TO MATCH BRICK. SUBMIT COLOR SAMPLES.



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ELK RIDGE UT HERITAGE 23-2

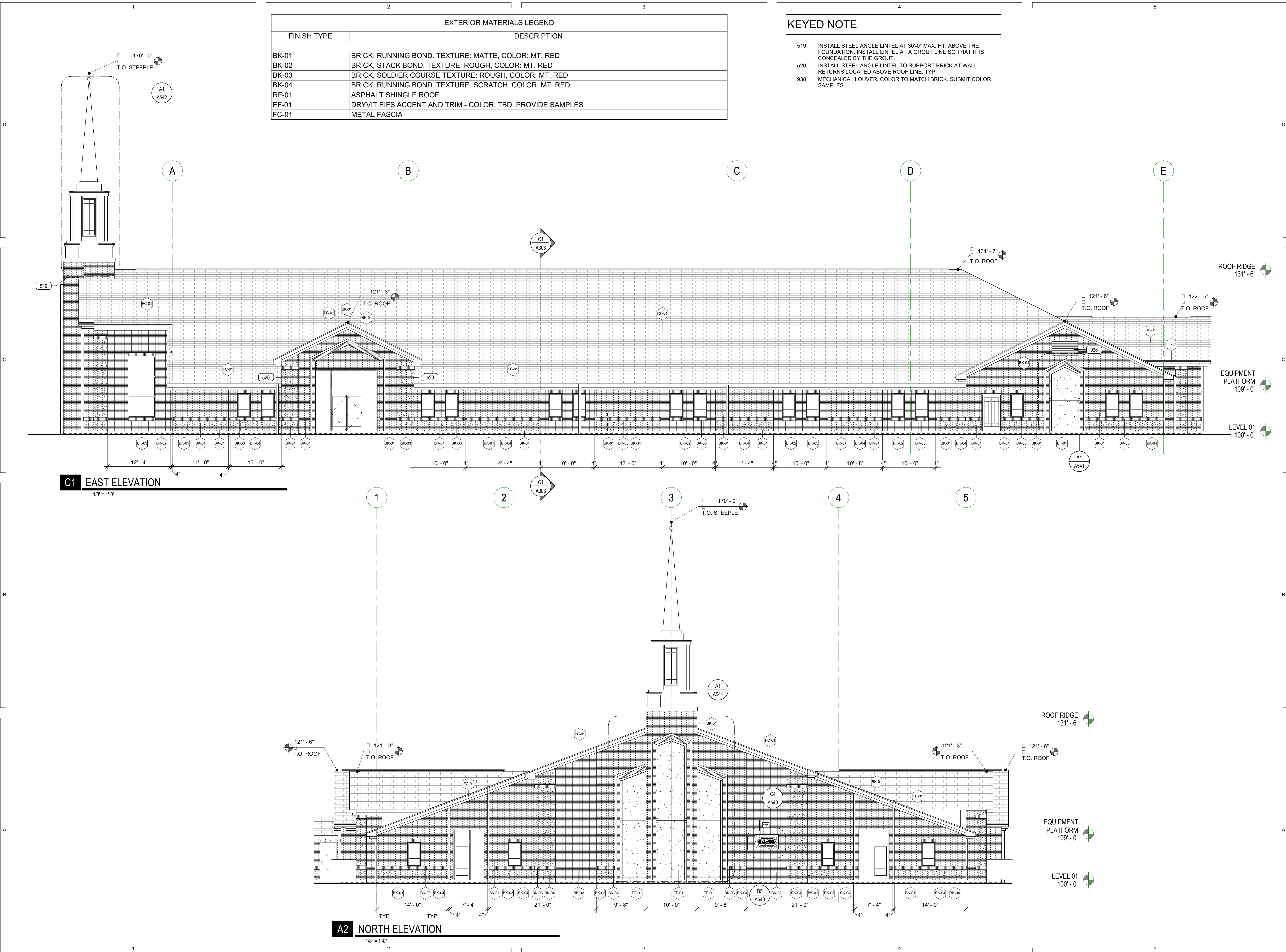
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ELK RIDGE, UT 84651

JOB NUMBER: 501-2698
OWNER: -
DATE: 03.21.2024

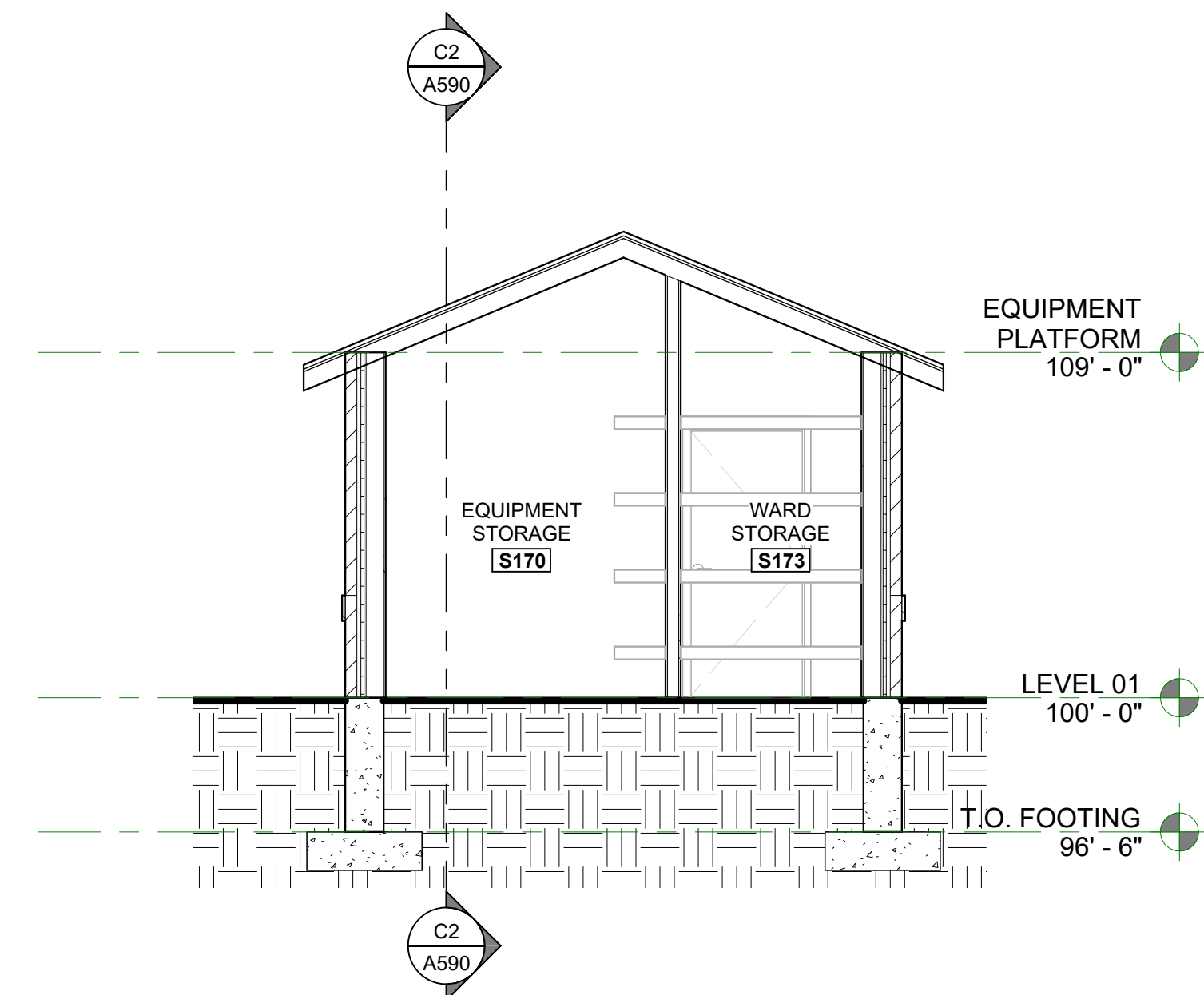
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1 03/11/2022 ADDENDUM #1
4

EXTERIOR
ELEVATION

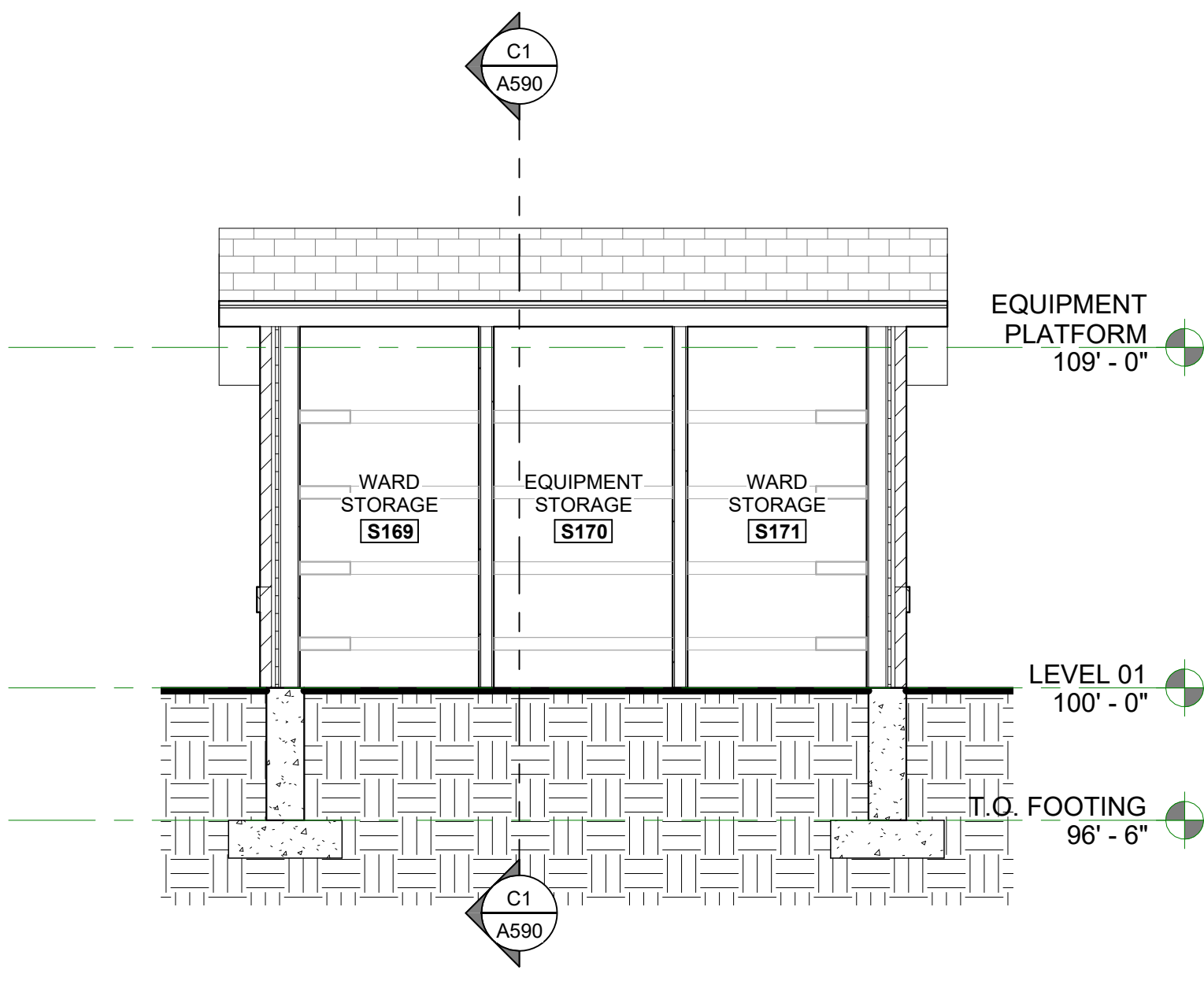
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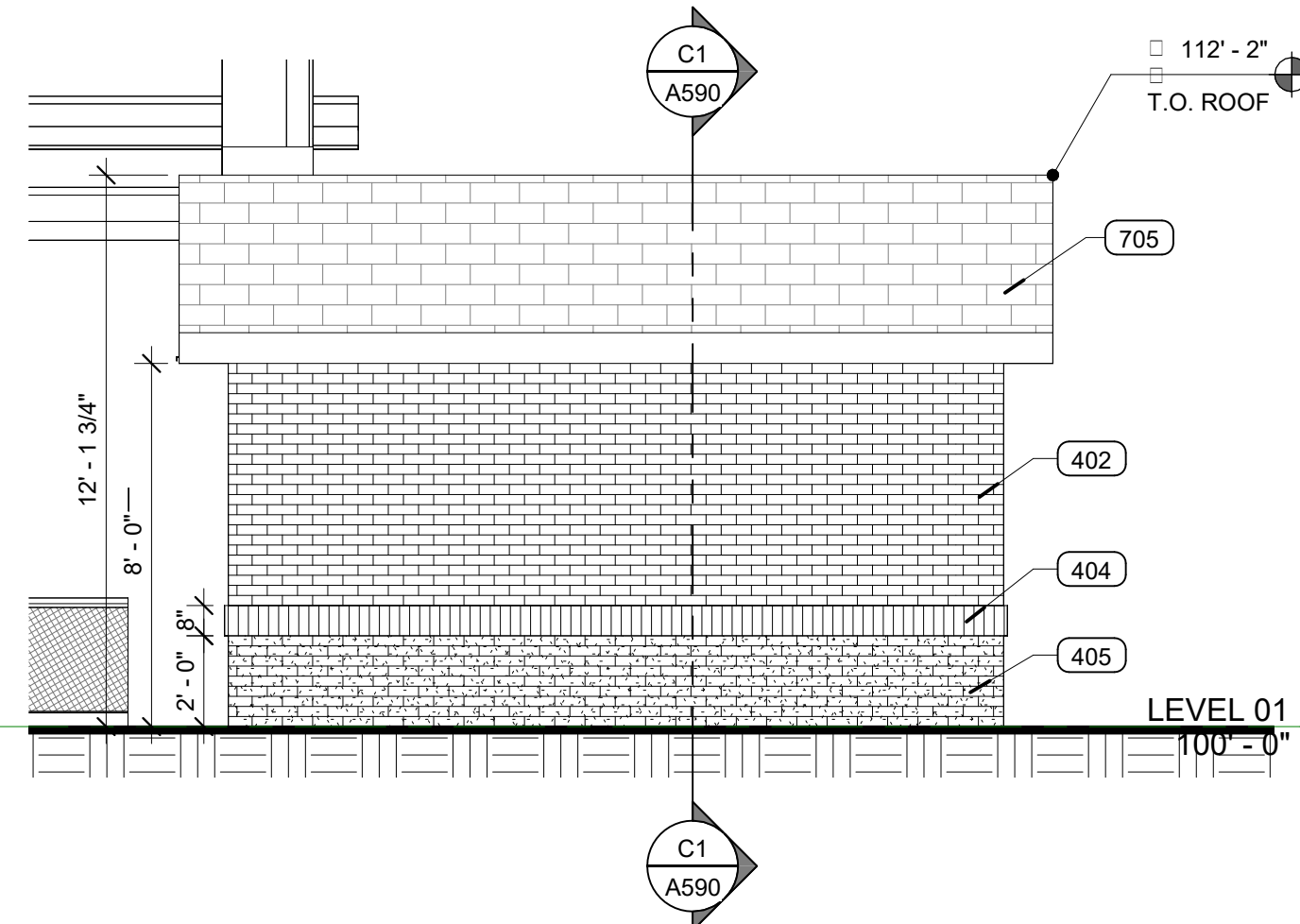
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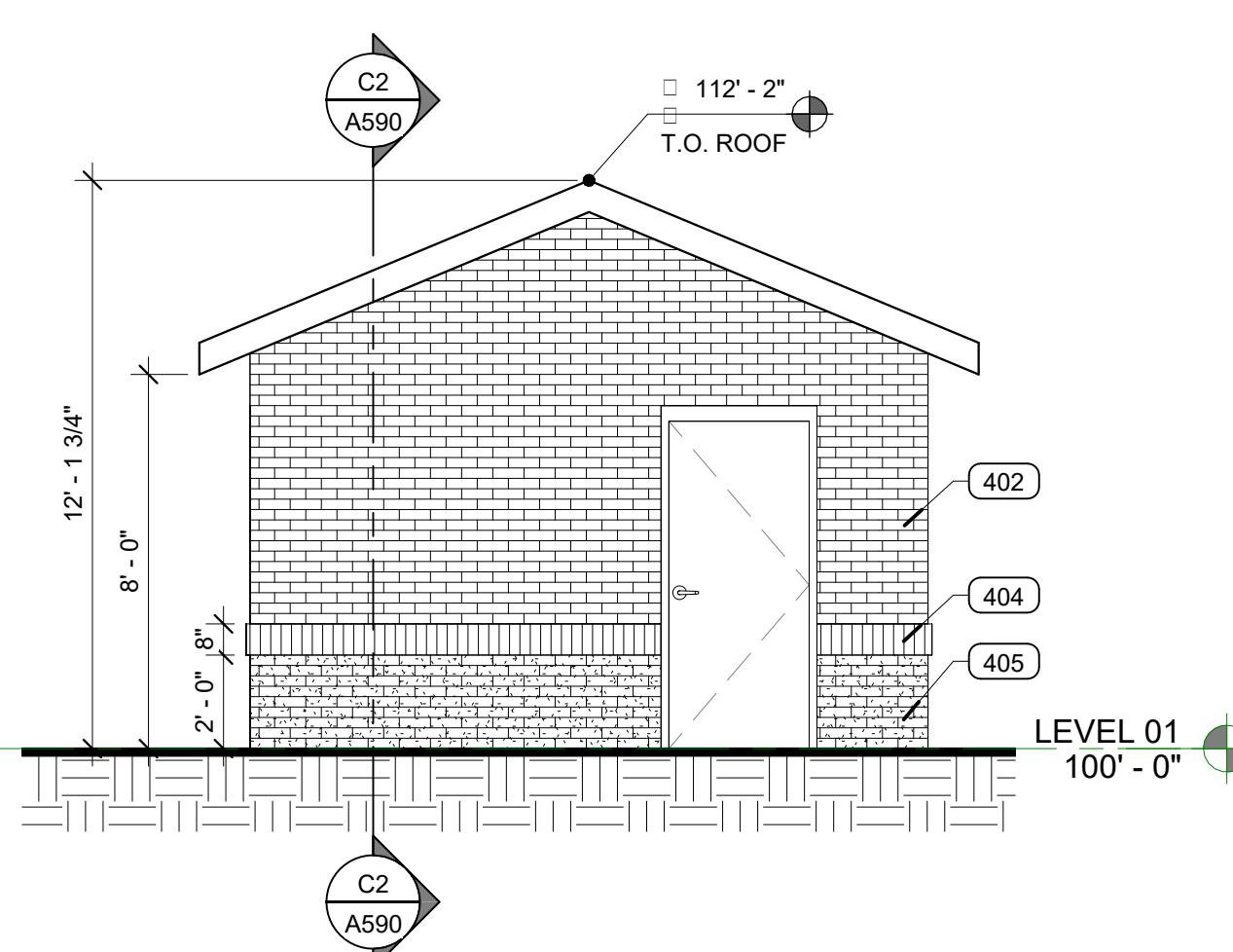
C1 STORAGE BUILDING SECTION # 1
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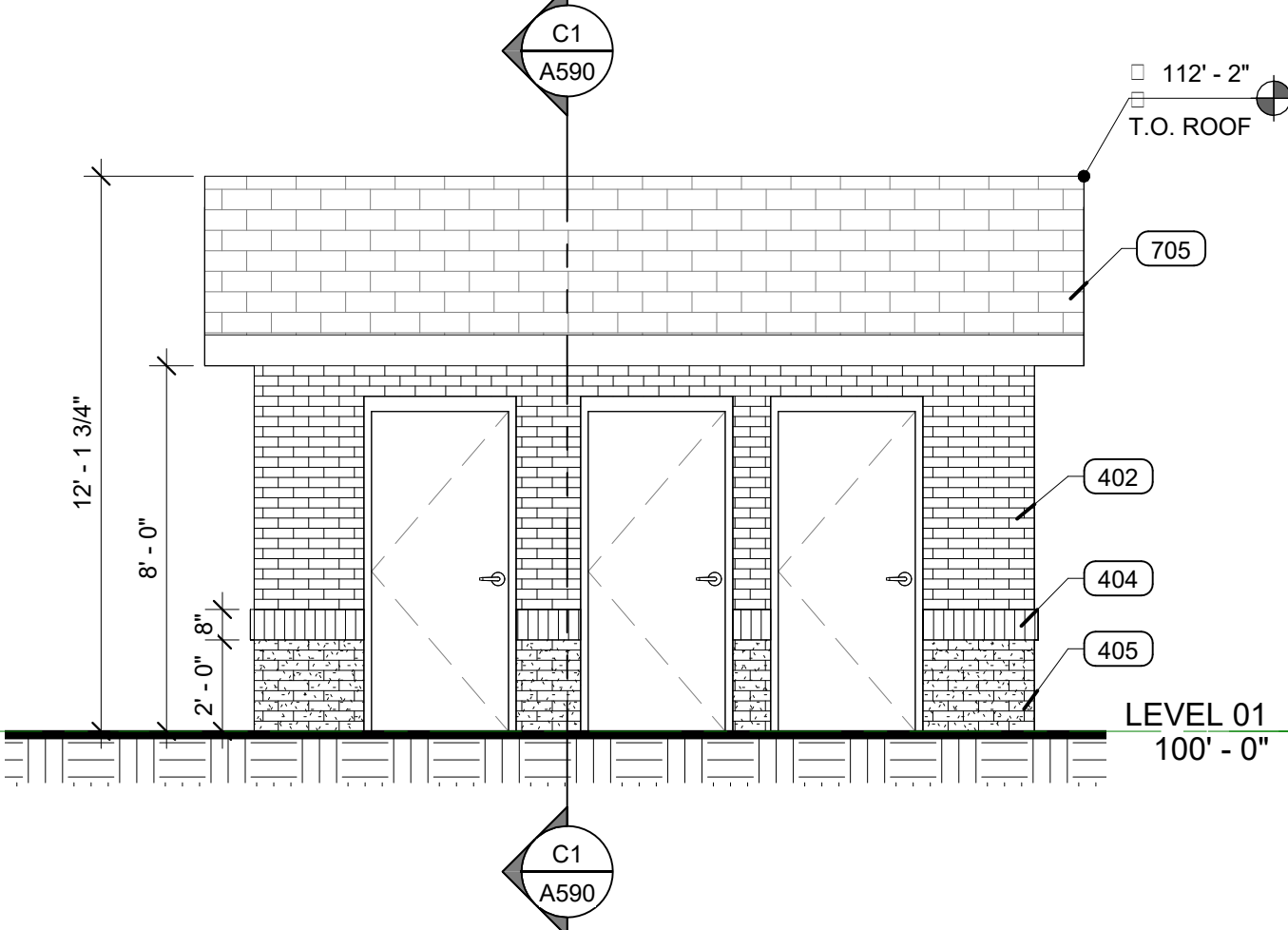
C2 STORAGE BUILDING SECTION # 2
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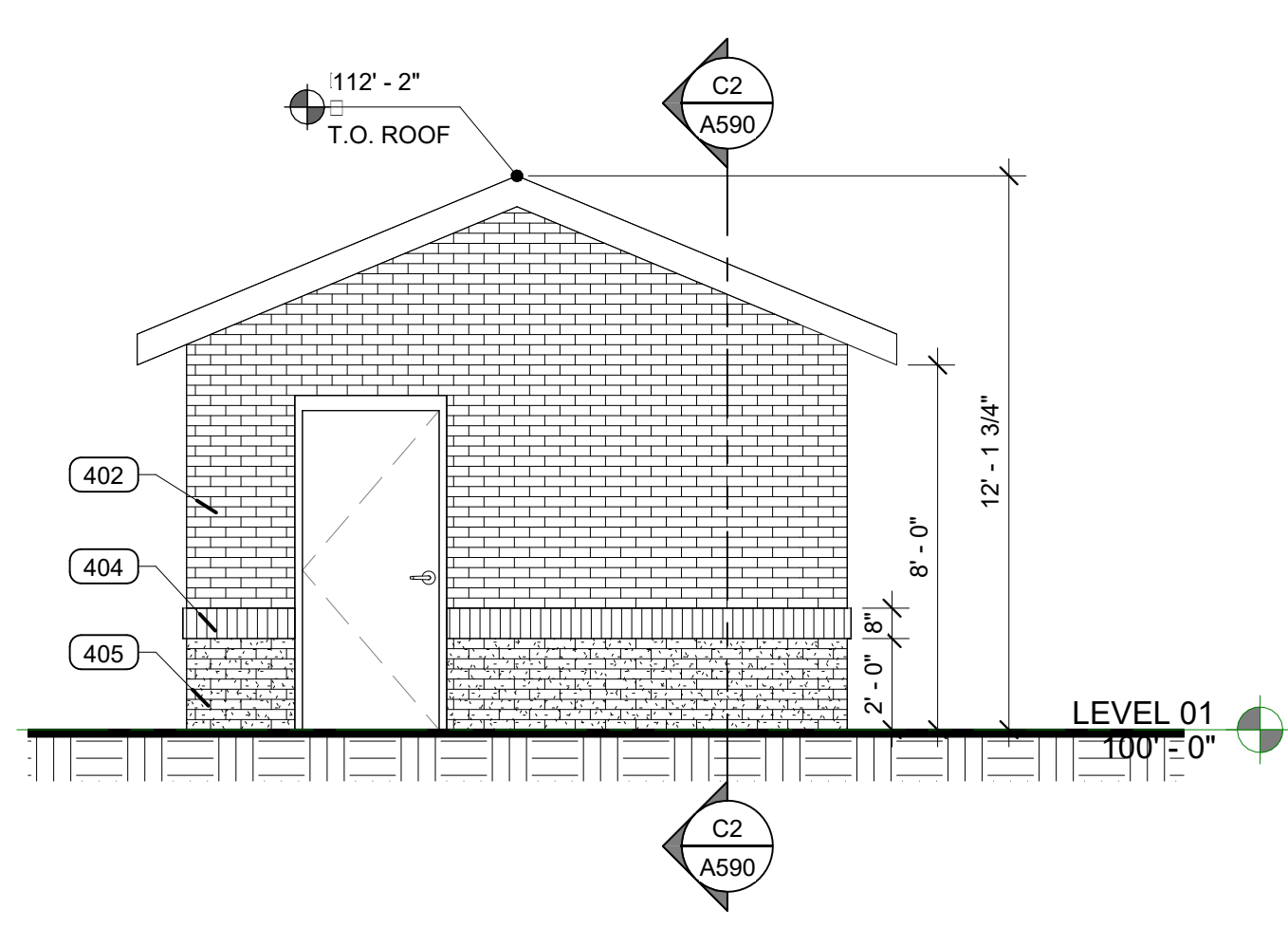
B1 STORAGE BUILDING EAST ELEVATION
1/4" = 1'-0"



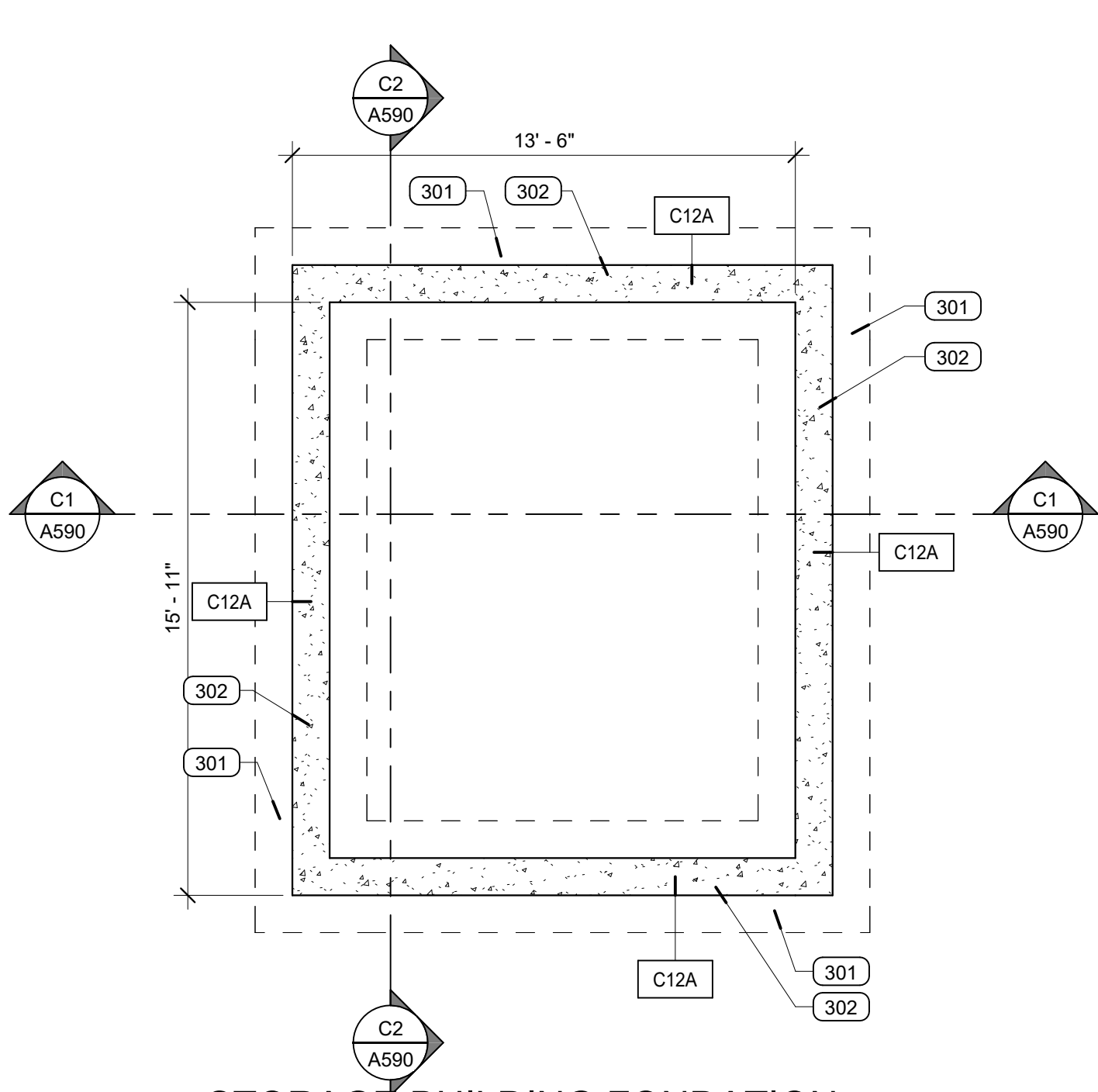
B2 STORAGE BUILDING SOUTH ELEVATION
1/4" = 1'-0"



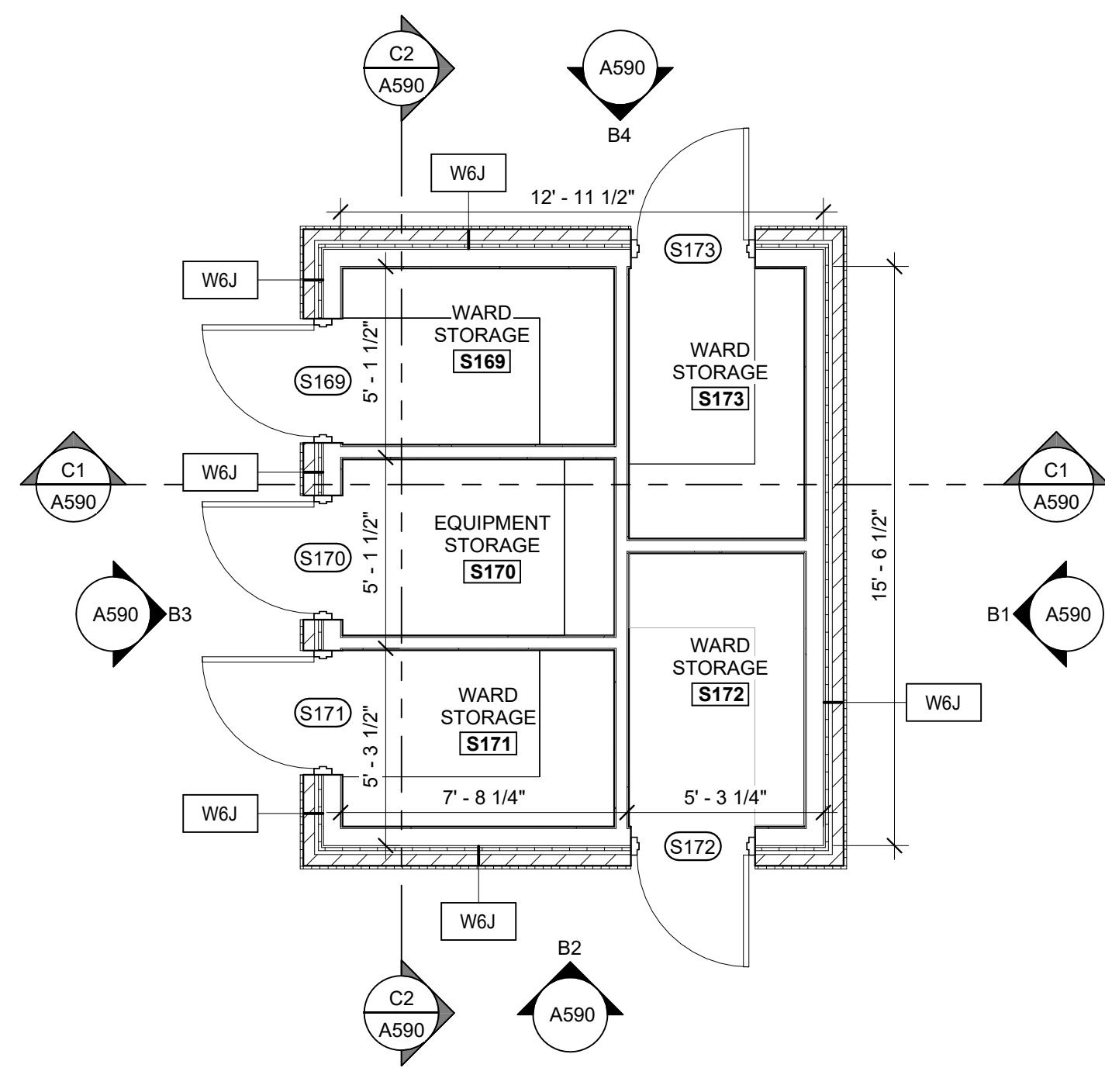
B3 STORAGE BUILDING WEST ELEVATION
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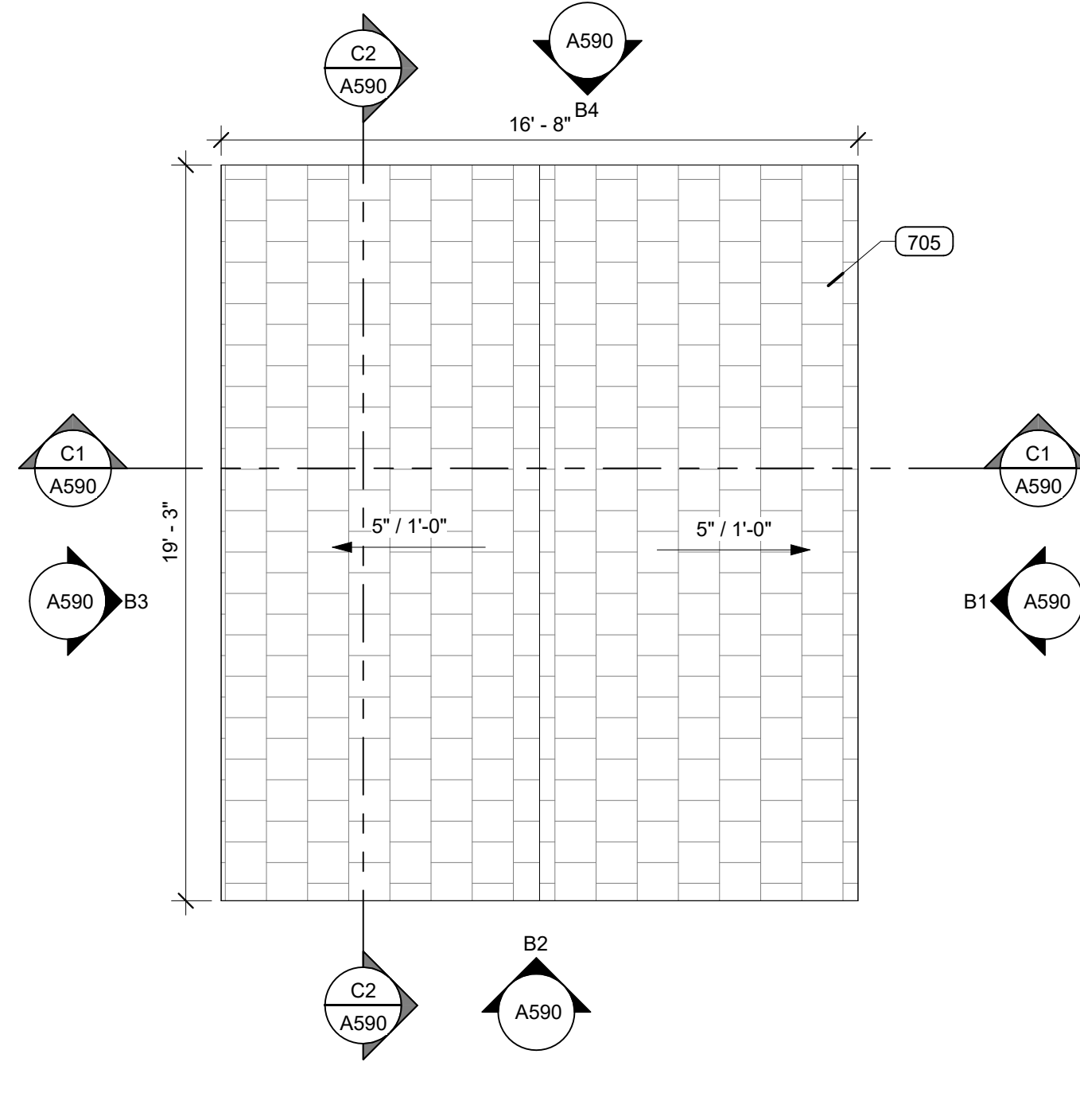
B4 STORAGE BUILDING NOTRH ELEVATION
1/4" = 1'-0"



A1 STORAGE BUILDING FONDATION PLAN
1/4" = 1'-0"



A2 STORAGE BUILDING FLOOR PLAN
1/4" = 1'-0"



A4 STORAGE BUILDING ROOF PLAN
1/4" = 1'-0"

KEYED NOTE

- 301 REINFORCED CONCRETE FOOTING. SEE STRUCTURAL.
- 302 CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 402 BRICK, RUNNING BOND. SEE EXTERIOR MATERIALS LEGEND.
- 404 BRICK TRIM. SEE EXTERIOR ELEVATIONS FOR BOND PATTERN. SEE EXTERIOR MATERIALS LEGEND.
- 405 TEXTURED BRICK, RUNNING BOND. SEE EXTERIOR MATERIALS LEGEND.
- 705 COMPOSITE ASPHALT SHINGLES ROOF. SEE EXTERIOR MATERIALS LEGEND.



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684 W Center St
Midvale UT 84047

uncommonarch.com
(801) 417-0951



OWNER /
DEVELOPER:

Church of Jesus Christ of Latter Day
Saints

CONTACT INFO:

James J. Mano
(801) 240-5174
jmano@churchofjesuschrist.org
506 North Temple St Salt Lake City UT
84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER:

501-2698

OWNER:

Church of Jesus Christ of Latter Day
Saints

DATE:

02.09.2024

REV DATE DESCRIPTION

STORAGE
BUILDING
DETAILS

A590