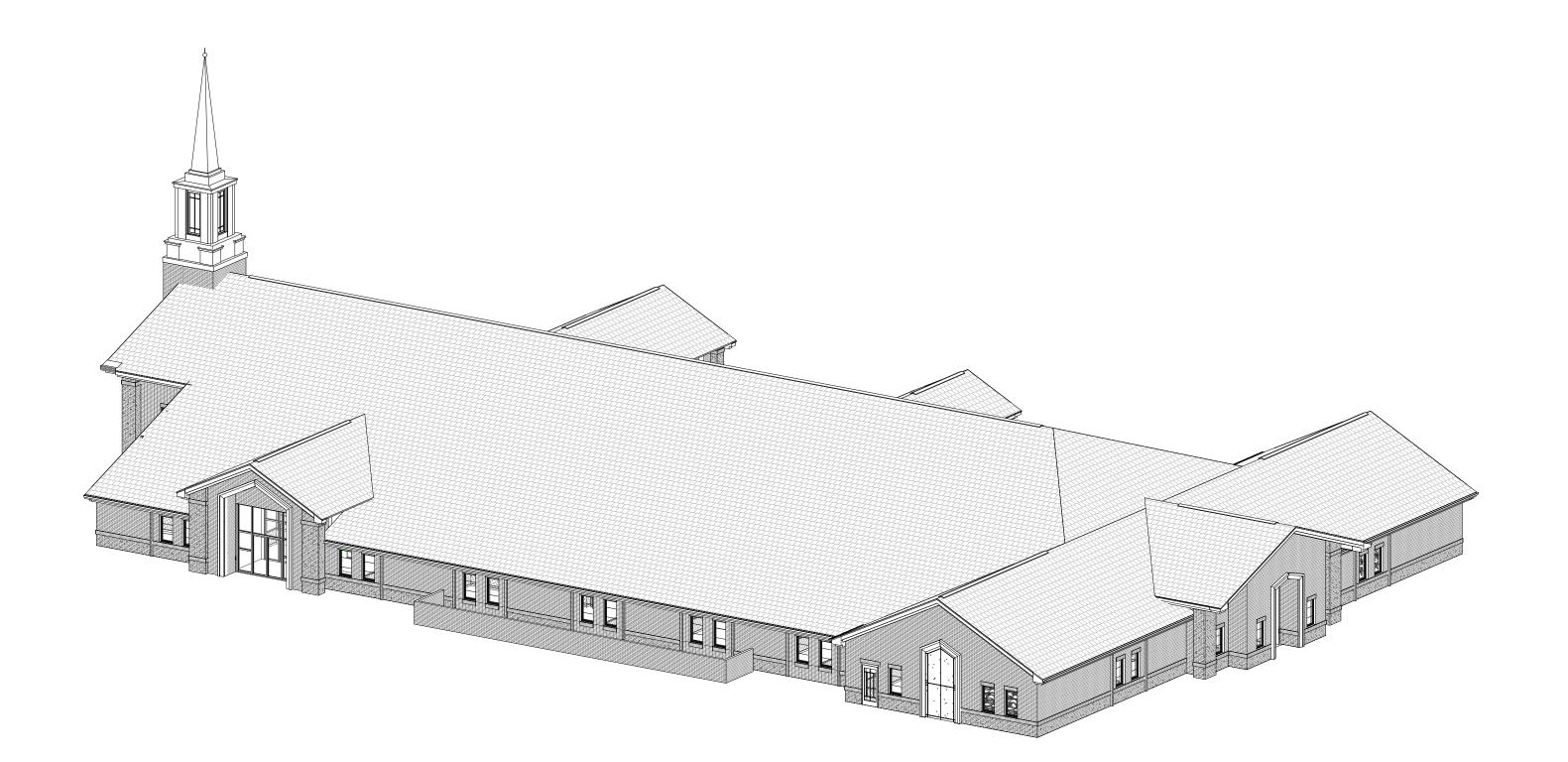
# **ELK RIDGE UT HERITAGE 23-2**

CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS PROJECT NUMBER: #501-2698



# VICINITY MAP



# SHEET INDEX

GENERAL CV	COVER	C813 C814	SECTION AND DETAIL VIEWS ROOF WIES AND DETAILS
SERVEY		ARCHITEC	TURAL
C103	SITE SERVEY	A100	ARCHITECTURAL SITE PLAN
		A110.1	ANNOTATED PLAN - LEVEL 01
CIVIL		A201	EXTERIOR ELEVATION
C0.00	CIVIL COVER	A202	EXTERIOR ELEVATION
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS	A590	STORAGE BUILDING DETAILS
C1.01	CIVIL SITE PLAN	Grand total:	30
C2.01	GRADING AND DRAINAGE PLAN		
C3.01	EROSION CONTROL PLAN		
C4.01	SITE UTILITY PLAN		
C5.01	CIVIL DETAILS		

# LANDSCAPE

C5.02

C5.03

C5.04

L111 OVERALL LANDSCAPE PLANTING PLAN LANDSCAPE PLANTING PLAN L121 OVERALL LANDSCAPE IRRIGATION PLAN LANDSCAPE IRRIGATION PLAN L122 L501 LANDSCAPE DETAILS LANDSCAPE IRRIGATION DETAILS L503 LANDSCAPE IRRIGATION DETAILS

LANDSCAPE IRRIGATION DETAILS

CIVIL DETAILS

CIVIL DETAILS

CIVIL DETAILS

CIVIL DETAILS

**PAVILION** 

L504

C811 PLAN VIEWS C812 PLAN VIEWS

# SITE INFORMATION

PROJECT NAME: ELK RIDGE UT HERITAGE 23-2 ADDRESS: 1120 ROCKY MOUNTAIN WAY ELK RIDGE, UT 84651 PARCEL #: 30:074:0281 ENTRY#: 114226-2017 SIZE: 4.13 ACRES (179902.8 SQ FT)

OWNER: CORP OF PRES BISHOP CHURCH OF JESUS CHRIST OF LDS ZONE: PUBLIC FACILTY

**SPECTRUM ENGINEERS** 324 S State St Suite 400, Salt Lake

City, UT 84111 **DAVID HINCKLEY** (800) 678-7077

# <u>OWNER</u>

**CHURCH OF JESUS CHRIST OF** LETTER DAY SAINTS 50 E North Temple St Salt Lake City

JDzhineku@churchofjesuschrist.org

**JAMES DZINEKU** (801) 240-5174

UT 84150

# **ARCHITECTURE**

**UNCOMMON ARCHITECTS** 684 W Center St Midvale UT 84047

**DARIN MANO** (801) 633-5273 darin@uncommonarch.com

# <u>CIVIL</u>

MCNEIL ENGINEERING 8610 Sandy Pkwy Suite 200, Sandy, UT 84070

DANIEL CANNING (801) 255-7700 daniel@mcneileng.com

# **STRUCTURAL**

**FOCUS ENGINEERING** 6949 High Tech Dr Suite 200, Midvale, UT 84047

**ADAM EASTMAN** (801)-352-0075 aeastman@focusutah.com

# **LANDSCAPE**

MCNEIL ENGINEERING 8610 Sandy Pkwy Suite 200, Sandy, UT 84070

SCOTT "SKIP" SCHOONOVER (801) 255-7700 scotts@mcneileng.com

# **MECHANICAL**

**SPECTRUM ENGINEERS** 324 S State St Suite 400, Salt Lake City, UT 84111

**CARL GATRELL** (800) 678-7077 Carl.gatrell@speceng.com

# **ELECTRICAL**

David.Hinckley@speceng.com



COVER

uncommon architects

CONTACT INFO

HERITA

RIDGE

EL X

JOB NUMBER:

REV DATE

OWNER:

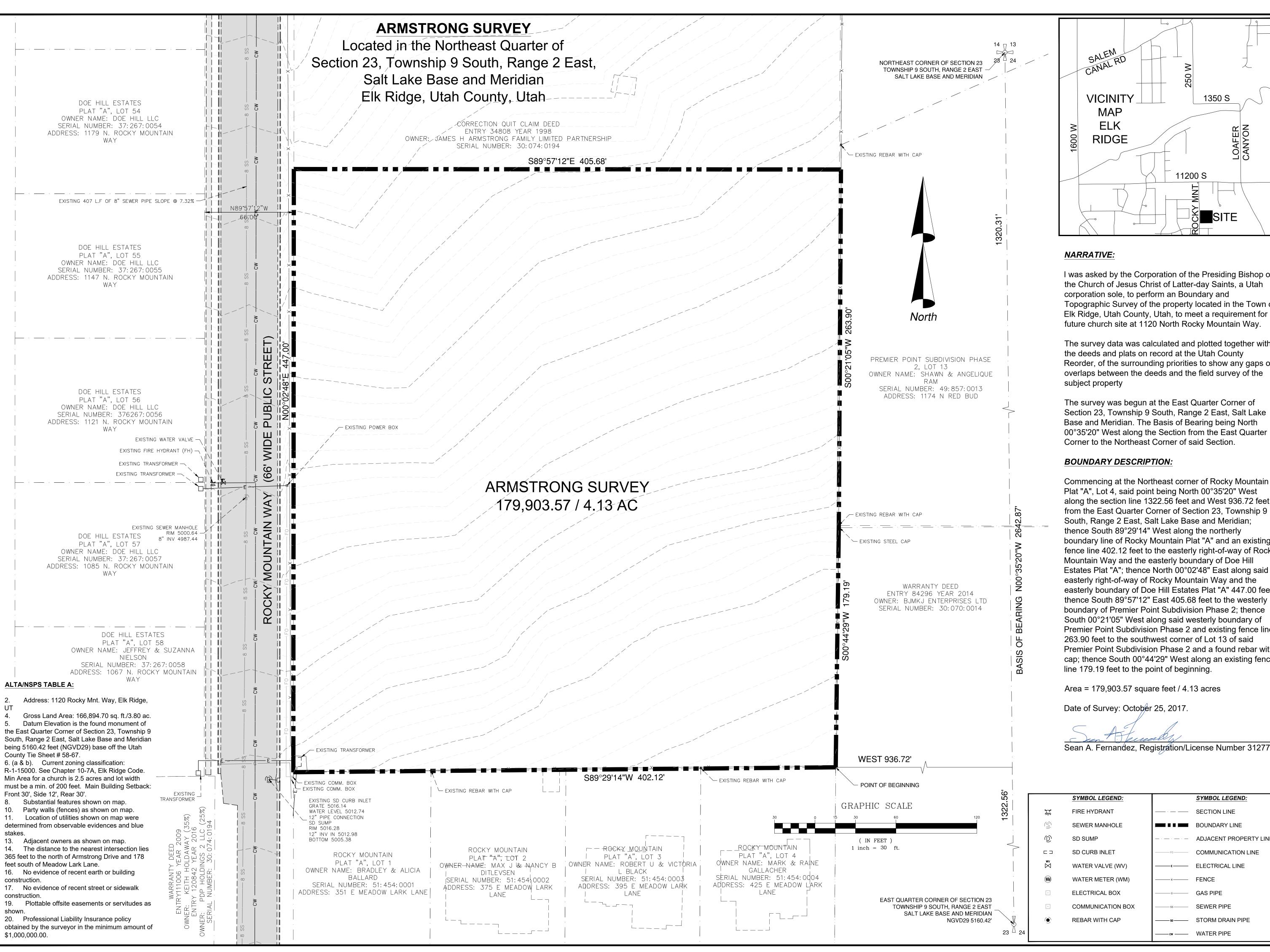
1120 ROCKY MOUNTAIN WAY ELK RIDGE, UTAH COUNTY, UTAH

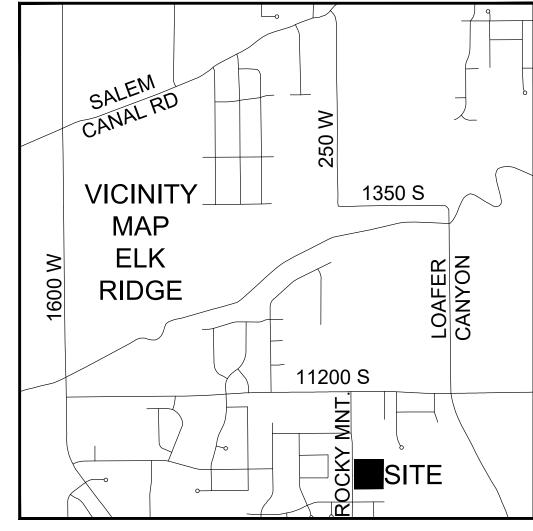
501-2698

02.09.2024

DESCRIPTION

Church of Jesus Christ of Latter Day Saints





## NARRATIVE:

I was asked by the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints, a Utah corporation sole, to perform an Boundary and Topographic Survey of the property located in the Town of Elk Ridge, Utah County, Utah, to meet a requirement for a future church site at 1120 North Rocky Mountain Way.

The survey data was calculated and plotted together with the deeds and plats on record at the Utah County Reorder, of the surrounding priorities to show any gaps or overlaps between the deeds and the field survey of the subject property

The survey was begun at the East Quarter Corner of Section 23, Township 9 South, Range 2 East, Salt Lake Base and Meridian. The Basis of Bearing being North 00°35'20" West along the Section from the East Quarter Corner to the Northeast Corner of said Section.

## **BOUNDARY DESCRIPTION:**

Plat "A", Lot 4, said point being North 00°35'20" West along the section line 1322.56 feet and West 936.72 feet from the East Quarter Corner of Section 23, Township 9 South, Range 2 East, Salt Lake Base and Meridian; thence South 89°29'14" West along the northerly boundary line of Rocky Mountain Plat "A" and an existing fence line 402.12 feet to the easterly right-of-way of Rocky Mountain Way and the easterly boundary of Doe Hill Estates Plat "A"; thence North 00°02'48" East along said easterly right-of-way of Rocky Mountain Way and the easterly boundary of Doe Hill Estates Plat "A" 447.00 feet; thence South 89°57'12" East 405.68 feet to the westerly boundary of Premier Point Subdivision Phase 2; thence South 00°21'05" West along said westerly boundary of Premier Point Subdivision Phase 2 and existing fence line 263.90 feet to the southwest corner of Lot 13 of said Premier Point Subdivision Phase 2 and a found rebar with cap; thence South 00°44'29" West along an existing fence line 179.19 feet to the point of beginning.

Area = 179,903.57 square feet / 4.13 acres

Date of Survey: October 25, 2017.

Sean A. Fernandez, Registration/License Number 31277

SYMBOL LEGEND: **SYMBOL LEGEND:** FIRE HYDRANT —·— — SECTION LINE SEWER MANHOLE ■■■■ BOUNDARY LINE ADJACENT PROPERTY LINE SD CURB INLET **COMMUNICATION LINE** WATER VALVE (WV) — ELECTRICAL LINE ---×--- FENCE WATER METER (WM) ELECTRICAL BOX GAS PIPE **COMMUNICATION BOX** SEWER PIPE REBAR WITH CAP —so—— STORM DRAIN PIPE

——cw ——— WATER PIPE

**FERNANDE** 

SURVEY STAKE MSTRONG ELK RIDG

> SE JESU(

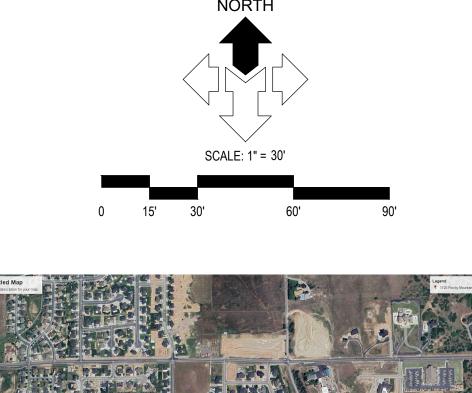
October 25, 2017 Serial Number: 30:074:0194

Site Survey

C103

# ELK RIDGE, UTAH LDS STAKE CENTER

1120 ROCKY MOUNTAIN WAY, ELK RIDGE, UTAH COUNTY 84651



# DRAWING INDEX

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS
C5.04	CIVIL DETAILS
C5.05	CIVIL DETAILS

ALL WORK AND MATERIALS FOR WATER MUST CONFORM TO CITY OF ELK RIDGE PUBLIC WORKS STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER MUST CONFORM TO ELK RIDGE UTILITY SERVICES STANDARDS AND **SPECIFICATIONS** 

ALL WORK AND MATERIALS MUST CONFORM TO APWA STANDARDS AND **SPECIFICATIONS** 



DEVELOPER:

CONTACT INFO: 50E North Temple St Salt Lake City UT

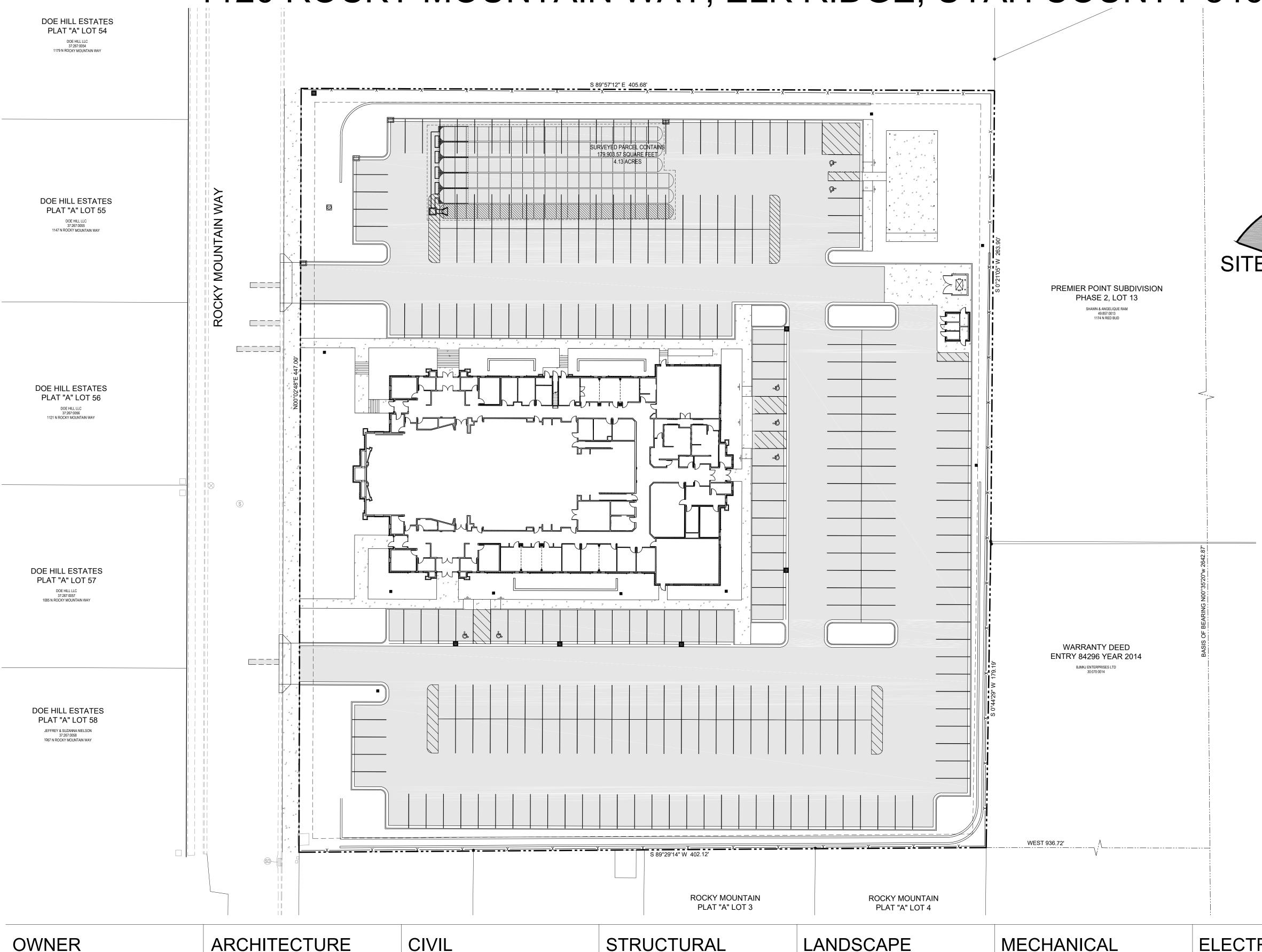
里 RIDGE

Church of Jesus Christ of Latter Day 04.05.2024

DESCRIPTION REV DATE

CIVIL COVER

C0.00



**UNCOMMON ARCHITECTS** 4040 W Daybreak Parkway #110

**BRITTANY WHITE JOHNSON** (801) 417-9951 brittany@uncommonarch.com

South Jordan, UT 84009

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**DANIEL CANNING** (801) 255-7700 daniel@mcneileng.com **STRUCTURAL** 

**FOCUS ENGINEERING** 6949 High Tech Dr Suite 200, Midvale, UT 84047

**ADAM EASTMAN** (801)-352-0075 aeastman@focusutah.com LANDSCAPE

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**MECHANICAL** 

**SPECTRUM ENGINEERS** 324 S State St Suite 400, Salt Lake City, UT 84111

JAMIE MCCULLOCH (800) 678-7077 XXXXXXXXXXXXXXXXXXXXXXXXXXXX **ELECTRICAL** 

**SPECTRUM ENGINEERS** 324 S State St Suite 400, Salt Lake City, UT 84111

**DAVID HINCKLEY** (800) 678-7077 David.Hinckley@speceng.com T.B.D.

CONTRACTOR

## **GENERAL NOTES**

## 1.1 COMPLIANCE

- 1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY
- GUIDELINES. 3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

### 1.2 PERMITTING AND INSPECTIONS

- 1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE
- 2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF
- CONSTRUCTION REQUIRING OBSERVATION. 3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE

## 1.3 COORDINATION & VERIFICATION

- 1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT
- BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. 2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S). MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
- 4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE. GAS SERVICE. CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

## 1.4 SAFETY AND PROTECTION

- 1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, 2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS
- 3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR
- 4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT
- HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS. 5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING,
- MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". LATEST EDITION.
- 8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS. 9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY
- 10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED. 11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT
- DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC 12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS
- BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION 13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE
- OWNER OR GOVERNING AGENCY 14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE

# 1.5 MATERIALS

- 1. SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4500 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
- B. CONCRETE WATERWAYS, CURBWALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET. C. UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN
- EDGE TO HELP CONTROL FROST HEAVE D. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4"
- GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE. E. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY
- "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN". F. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION). 2. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 8" OF COMPACTED (95%) ROAD
- BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL 'D1' SHEET C5.01 A. ASPHALT COMPACTION SHALL BE A MINIMUM 96% (MARSHALL DESIGN).
- B. SURFACE COARSE SHALL BE ½ " MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE. C. AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
- D. THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

# 1.6 GRADING / SOILS

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED 3. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR
- MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. 4. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED
- BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS

SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE

- 5. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS,
- PIPES. VALVES. ETC. 6. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

## GENERAL NOTES: CONTINUED

- 1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 2. CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED
- 3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 4. CONTRACTOR IS TO VERIFY LOCATION. DEPTH. SIZE. TYPE. AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD, PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS. 6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL
- GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS. 7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX. 10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR
- WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY. 11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

## 1.8 SURVEY CONTROL

- 1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS
- 2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES. 3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

## 1.9 AMERICAN DISABILITIES ACT

SLOPE IN ANY DIRECTION.

- 1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS: \*ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM CROSS SLOPE.
- \*ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE. \*RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE. 2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM SURFACE
- 3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

# LEGEND

**EXISTING** 

				A	
		MONUMENT LINE		lack	SECTION CORNER (FOUND)
		CENTER LINE		<b>V</b>	
		SUBJECT PROPERTY LINE			SECTION CORNER (NOT FOUND)
		ADJACENT PROPERTY LINE	<b>A</b>	V	OTDEET MONUMENT
		EASEMENT LINE	<b>*</b>	•	STREET MONUMENT
		DITCH FLOWLINE	•	•	BRASS CAP MONUMENT
x	X	FENCE LINE	$\Theta$	<del>+</del>	POWER POLE
ATMS	atms	ATMS CABLE	$\Theta$	$\leftrightarrow$	UTILITY POLE
TV	tv	CABLE TV LINE	GUY	GUY	GUY ANCHOR
c	c	COMMUNICATIONS LINE	TRANS	TRANS	POWER TRANSFORMER
CW	cw	CULINARY WATER LINE			TRAFFIC SIGNAL CABINET
F0	fo	FIBER-OPTIC CABLE	*	*	LIGHT POLE
F	f	FIRE LINE	□ <sub>TR</sub>	□ <sub>TR</sub>	TELEPHONE RISER
IRR	irr	IRRIGATION LINE	T	T	TELEPHONE MANHOLE
G	g	NATURAL GAS LINE			TRAFFIC SIGNAL BOX
OHC	ohc	OVERHEAD COMMUNICATIONS	W	W	WATER MANHOLE
OHP	ohp	OVERHEAD POWER LINE	$\otimes$	$\otimes$	WATER VALVE
—— OHT ———	oht	OVERHEAD TELEPHONE LINE	•	(MM)	WATER METER
OHTV	ohtv	OVERHEAD TELEVISION LINE	<u></u>		FIRE HYDRANT
P	p	POWER LINE	S	S	SANITARY SEWER MANHOLE
—— P/C ———	p/c	POWER/COMMUNICATIONS LINE	°ssco	°ssco	SANITARY SEWER CLEANOUT
—— P/T ———	p/t	POWER/TELEPHONE LINE	<b>SD</b>	(SD)	STORM DRAIN MANHOLE
	·				STORM DRAIN CURB INLET
— P/T/C ——	——— p/t/c ———				STORM DRAIN CATCH BASIN
	rd	ROOF DRAIN LINE	<b>SD</b>	(SD)	STORM DRAIN CLEANOUT
SW	SW	SECONDARY WATER LINE			STORM DRAIN COMBO BOX
s	s	SANITARY SEWER LINE	MB	MB	MAILBOX
ST	st	STEAM LINE	d	d	SIGN
SD	sd	STORM DRAIN LINE	<b>▽</b>		FLOW DIRECTION
——т——	t	TELEPHONE LINE	44.00	44.00	0007 51 51 (47)011
T/C	t/c	TELEPHONE/COMM LINE	TOC	EX TOC	SPOT ELEVATION
——— UD ————	ud	UNDERDRAIN	grilling and a second a second and a second	and the second	CONIFEROUS TREE
—— UGC ———	ugc	UNDERGROUND COMMUNICATIONS	my	mme	
—— UGP ———	ugp	UNDERGROUND POWER LINE			DECIDUOUS TREE
—— UGT ———	——— ugt ———	UNDERGROUND TELEPHONE LINE	* Land	W. Joseph	
—— UGTV ———	ugtv	UNDERGROUND TELEVISION			
W	W	WATER LINE			
.721	1570	CONTOLID LINE			

# **ABBREVIATIONS**

POINT OF COMPOUND CURVE

SOLID WHITE LINE

TOWNSHIP

- \_ \_4572 - CONTOUR LINE

CURB & GUTTER (STD)

CURB & GUTTER (OUTFALL)

<del>1</del> C	ACRE	DIP	DUCTILE IRON PIPE	GIVI	GAS METER	PUU	POINT OF COMPOUND CORVE	l l	TOWNSHIP
\DA	AMERICANS WITH DISABILITIES ACT	DTREE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION	TBC	TOP BACK OF CURB
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	DYL	DOUBLE YELLOW LINE	GUY	GUY WIRE	PM	PARKING METER	TELE	TELEPHONE
3&C	BAR & CAP	E	EAST	GV	GAS VALVE	PP	POWER POLE	TFC	TOP FACE OF CURB
3C	BUILDING CORNER	EB	ELECTRIC BOX	HDPE	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE	TFG	TOP FINISH GRADE
3FG	BOTTOM FINISH GRADE	EGL	ENERGY GRADE LINE	HG	HEADGATE	PRK	PARKING STRIPE	TL	TREE LINE
BLUE	BLUE STAKED ELECTRIC	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	POC	POINT OF CONNECTION	TMH	TELEPHONE MANHOLE
BLUFO	BLUE STAKED FIBER OPTIC	EM	ELECTRIC METER	HP	HIGH POINT	PT	POINT OF TANGENCY	TOA	TOP OF ASPHALT
BLUG	BLUE STAKED NATURAL GAS	EMH	ELECTRIC MANHOLE	HW	HEADWALL or HIGH WATER	PWR	POWER	TOC	TOP OF CONCRETE
BLUIRR	BLUE STAKED IRRIGATION	EOA	EDGE OF ASPHALT	HWY	HIGHWAY	PVC	POLYVINYL CHLORIDE PIPE	TOF	TOP OF FOOTING
BLUSD	BLUE STAKED STORM DRAIN	EOC	EDGE OF CONCRETE	ICO	IRRIGATION CLEANOUT	R	RANGE	TOG	TOP OF GRATE
BLUSS	BLUE STAKED SANITARY SEWER	EOG	EDGE OF GRAVEL	ICV	IRRIGATION CONTROL VALVE	RCP	REINFORCED CONCRETE PIPE	TOE	TOE OF SLOPE
BLUT	BLUE STAKED TELEPHONE	EOL	EDGE OF LAWN	ΙE	INVERT ELEVATION	RD	ROOF DRAIN	TOP	TOP OF SLOPE or TOP OF PIPE
BLUW	BLUE STAKED WATER	EX or EXIST	EXISTING	IRR	IRRIGATION	REV	REVISION	TOW	TOP OF WALL
3M	BENCHMARK	F	FIRE	LF	LINEAR FEET	ROW	RIGHT-OF-WAY	TR	TELEPHONE RISER
3OF	BOTTOM OF FOOTING	FC	FOUNDATION CORNER	LIP	LIP OF GUTTER	RR	RAILROAD	TV	TELEVISION
BOB	BOTTOM OF BOX	FD	FOUND or FOUNDATION DRAIN	LP	LOW POINT or LIGHT POLE	S	SOUTH	TW	FINISH GRADE AT TOP OF WALL
BOL	BOLLARD	FDC	FIRE DEPT. CONNECTION	MAX	MAXIMUM	SAD	SEE ARCHITECTURAL DRAWINGS	TRANS	TRANSFORMER
BOT	BOTTOM	FDMN	FOUND MONUMENT	MIN	MINIMUM	SD	STORM DRAIN	TSP	TRAFFIC SIGNAL POLE
BOV	BLOW-OFF VALVE	FDSC	FOUND SECTION CORNER	MON	MONUMENT	SDCB	STORM DRAIN CATCH BASIN	TSB	TRAFFIC SIGNAL BOX
3OW	BACK OF WALK	FFE	FINISHED FLOOR ELEVATION	MP	METAL PIPE	SDCO	STORM DRAIN CLEOUNOUT BOX	UD	UNDERDRAIN
3W	FINISH GRADE AT BOTTOM OF WALL	FG	FINISHED GRADE	MW	MONITORING WELL	SDMH	STORM DRAIN MANHOLE	UGC	UNDERGROUND COMMUNICATIONS
i	CENTERLINE	FH	FIRE HYDRANT	N	NORTH	SEC	SECTION	UGP	UNDERGROUND POWER
CATV	CABLE TELEVISION	FL	FLOW LINE	NG	NATURAL GROUND	SPECS	SPECIFICATIONS	UGT	UNDERGROUND TELEPHONE
CBR	CONCRETE BARRIER	FNC	FENCE	NGRET	NG AT RETAINING WALL	SLB&M	SALT LAKE BASE & MERIDIAN	UGTV	UNDERGROUND TELEVISION
DBK CC	CURB CUT	FNCCL	CHAIN LINK FENCE	NR	NAIL & RIBBON	SQ	SQUARE	U.N.O.	UNLESS NOTED OTHERWISE
COL	COLUMN	FNCIRN	IRON FENCE	NW	NAIL & WASHER	SQFT	SQUARE FEET	UP	UTILITY POLE
COMM	COMMUNICATIONS	FNCVYL	VINYL FENCE	NTS	NOT TO SCALE	SQYD	SQUARE YARD	VCP	VITRIFIED CLAY PIPE
CONC	CONCRETE	FNCWD	WOOD FENCE	OG	ORIGINAL GROUND	SS	SANITARY SEWER	VP	VERTICAL PIPE
CONST	CONCRETE	FNCWR	WIRE FENCE	OH	OVERHANG	SSCO	SANITARY SEWER CLEANOUT	W	WEST or WATER
CMP	CORRUGATED METAL PIPE	FO	FIBER OPTIC	OHC	OVERHEAD COMMUNICATIONS	SSMH	SANITARY SEWER MANHOLE	WM	WATER METER
DIVIP	CONTROL POINT	FOW	FRONT OF WALK	OHP	OVERHEAD POWER	ST	STEAM	WMH	WATER MANHOLE
,	CONTROL POINT CONIFEROUS TREE	FT	FEET	OHT	OVERHEAD TELEPHONE	STA	STATION	WS	WATER SURFACE
CTREE	CUBIC FOOT	G	NATURAL GAS	OHTV	OVERHEAD TELEVISION	STD	STANDARD	WTR	WATER
CUYD	CUBIC YARD	GAR	GARAGE	P	PROPERTY LINE	STM	STORM	WV	WATER VALVE
)FI	DELINEATOR	GB	GRADE BREAK	PR PR	POWER BOX	SYL	SOLID YELLOW LINE	WW	WATERWAY

POINT OF CURVATURE

GAS METER

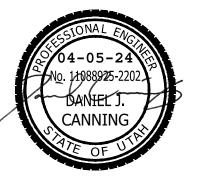
DUCTILE IRON PIPE

GROUND LIGHT

DELINEATOR

DIA or Ø DIAMETER

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OWNER / Church of Jesus Christ of Latter Day **DEVELOPER:** 

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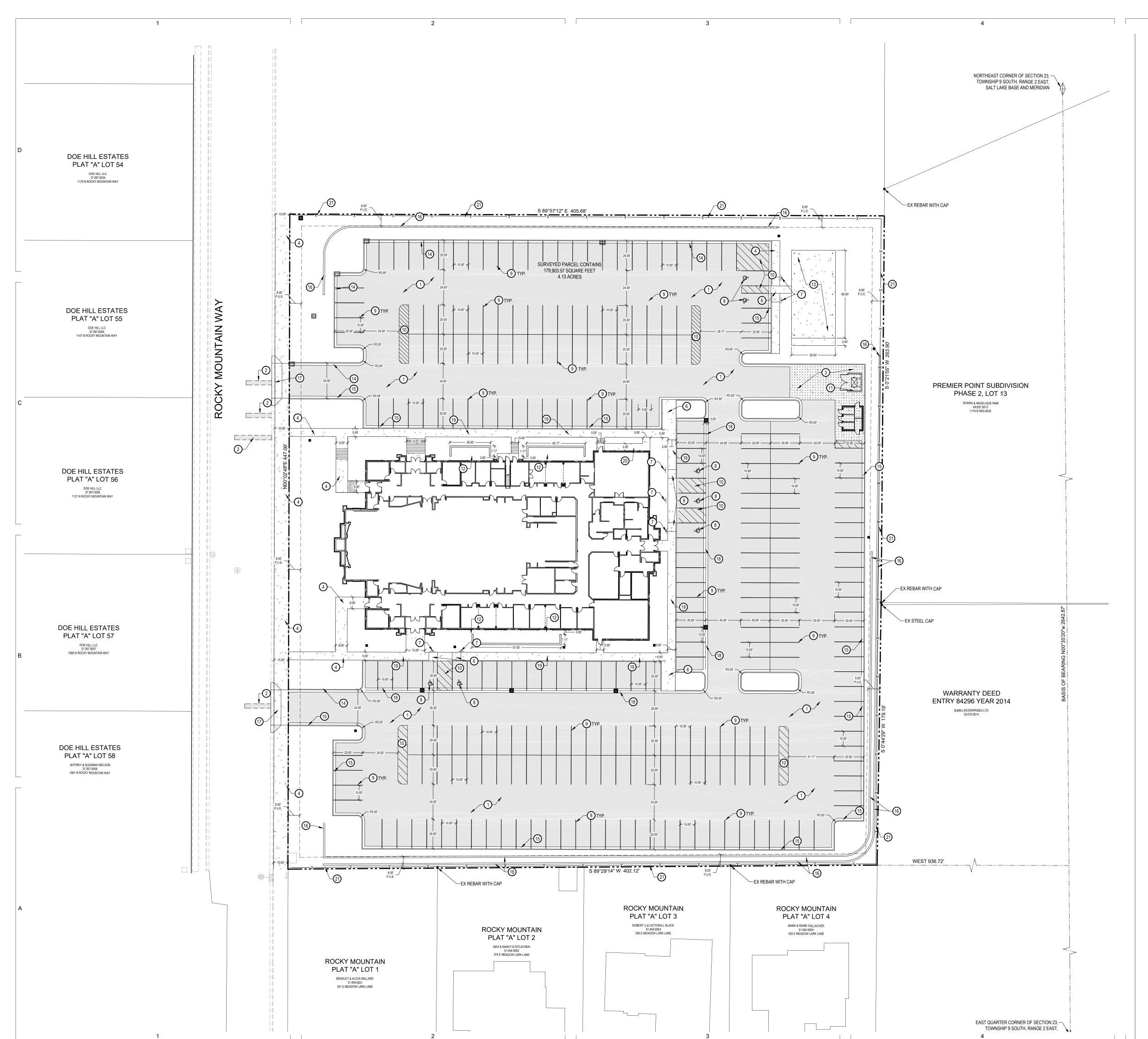
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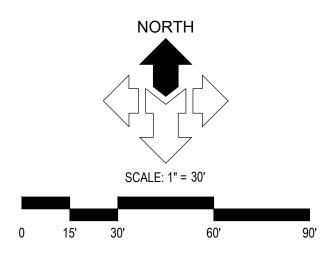
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ELK

JOB NUMBER: 501-2698 Church of Jesus Christ of Latter Day OWNER: 04.05.2024 DESCRIPTION REV DATE

> GENERAL NOTES, LEGEND AND **ABBREVIATIONS**





DESCRIPTION	AREA	%
HARDSCAPE	104,350 SQFT	58%
LANDSCAPE	51,478 SQFT	29%
BUILDINGS	24,075 SQFT	13%
TOTAL	179,903 SQFT	100%

**GENERAL NOTES:** 

ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED

SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION

SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING

ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS

ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C5.01.

2 ASPHALT T-PATCH, PER APWA PLAN NO. 255.

CONCRETE PAVEMENT WITH GRANULAR BASE PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C5.01.

CONCRETE SIDEWALK, PER STANDARD CHURCH DETAIL, SEE DETAILS 'C AND D',

ADA RAMP ACCESSIBLE WALK, PER STANDARD CHURCH DETAILS, SEE DETAIL 'D' AND SPECIFIC TYPE IN DETAIL, SHEET C5.02.

6 ADA ACCESSIBLE RAMP, PER APWA STANDARD PLAN 236.1 EXAMPLE 1.

7) ADA ACCESSIBLE PARKING STALL SIGN, PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C5.02.

8 PAINTED ADA ACCESSIBLE PARKING SYMBOL, PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C5.02.

9 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.

(10) 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.

DUMPSTER ENCLOSURE, PER STANDARD CHURCH DETAIL, SEE DETAILS 'B, C, D, AND E', SHEET C5.03. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.

MECHANICAL ENCLOSURE, PER STANDARD CHURCH DETAIL, SEE DETAILS 'F, G, H, AND J', SHEET C5.03. SEE ARCHITECTURAL, AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.

(13) RECREATIONAL PAVILLION, SEE ARCHITECTURAL PLANS FOR DETAILS.

24" CONCRETE CURB AND GUTTER - IN FLOW STYLE PER STANDARD CHURCH DETAIL, SEE DETAIL 'E', SHEET C5.01.

24" CONCRETE CURB AND GUTTER - OUT FLOW STYLE PER STANDARD CHURCH DETAIL, SEE DETAIL 'F', SHEET C5.01.

NEW BLOCK RETAINING WALL, WALL TO BE VERTI-BLOCK WALL. WALL DESIGN, DETAILS, AND 16 REINFORCEMENT BY GSH, SEE 'REPORT VERTI-BLOCK WALL DESIGN AND SLOPE STABILITY ANALYSIS PROPOSED ELKRIDGE MEETINGHOUSE RETAINING WALLS' PROVIDED BY GSH. WALL TO HAVE 4" PERFORATED PVC DRAINAGE PIPE INSTALLED AT BASE OF WALL PER DETAIL 'A', SHEET C5.03. SEE GRADING PLAN SHEET C2.01 FOR ELEVATIONS.

17) NEW DRIVE APPROACH PER APWA STANDARD PLAN 222.

(18) 36" WIDE CONCRETE WATERWAY, PER STANDARD CHURCH DETAIL, SEE DETAIL 'H', SHEET C5.01.

19 INTEGRAL CONCRETE SIDEWALK AND CURB, PER STANDARD CHURCH DETAIL, SEE DETAILS 'G', SHEET C5.01.

20 ADA ACCESSIBLE RAMP.

21) NEW BLACK CHAIN LINK.

PARKING STALL COUNT: 272 STALLS PROVIDED 7 OF 272 STALLS ARE ADA STALLS



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DEVELOPER:

James dzineku (801) 240-5174

CONTACT INFO:

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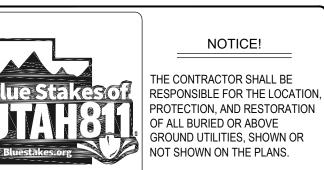
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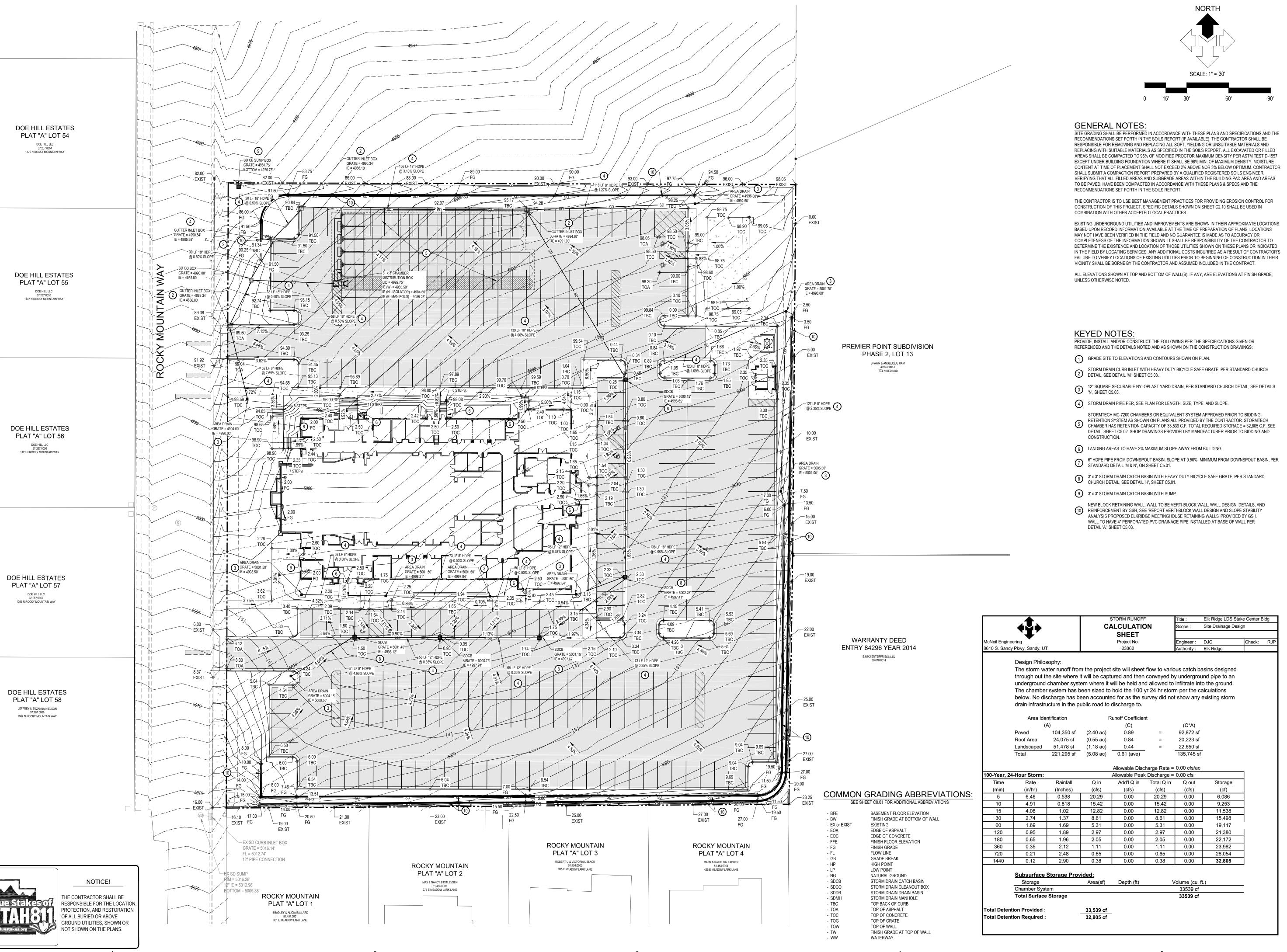
JOB NUMBER: Church of Jesus Christ of Latter Day 04.05.2024

1120 ROCKY MOUNTAIN WAY ELK RIDGE, UTAH COUNTY, L

REV DATE DESCRIPTION

> CIVIL SITE PLAN







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REV DATE

DATE:

DRAINAGE PLAN

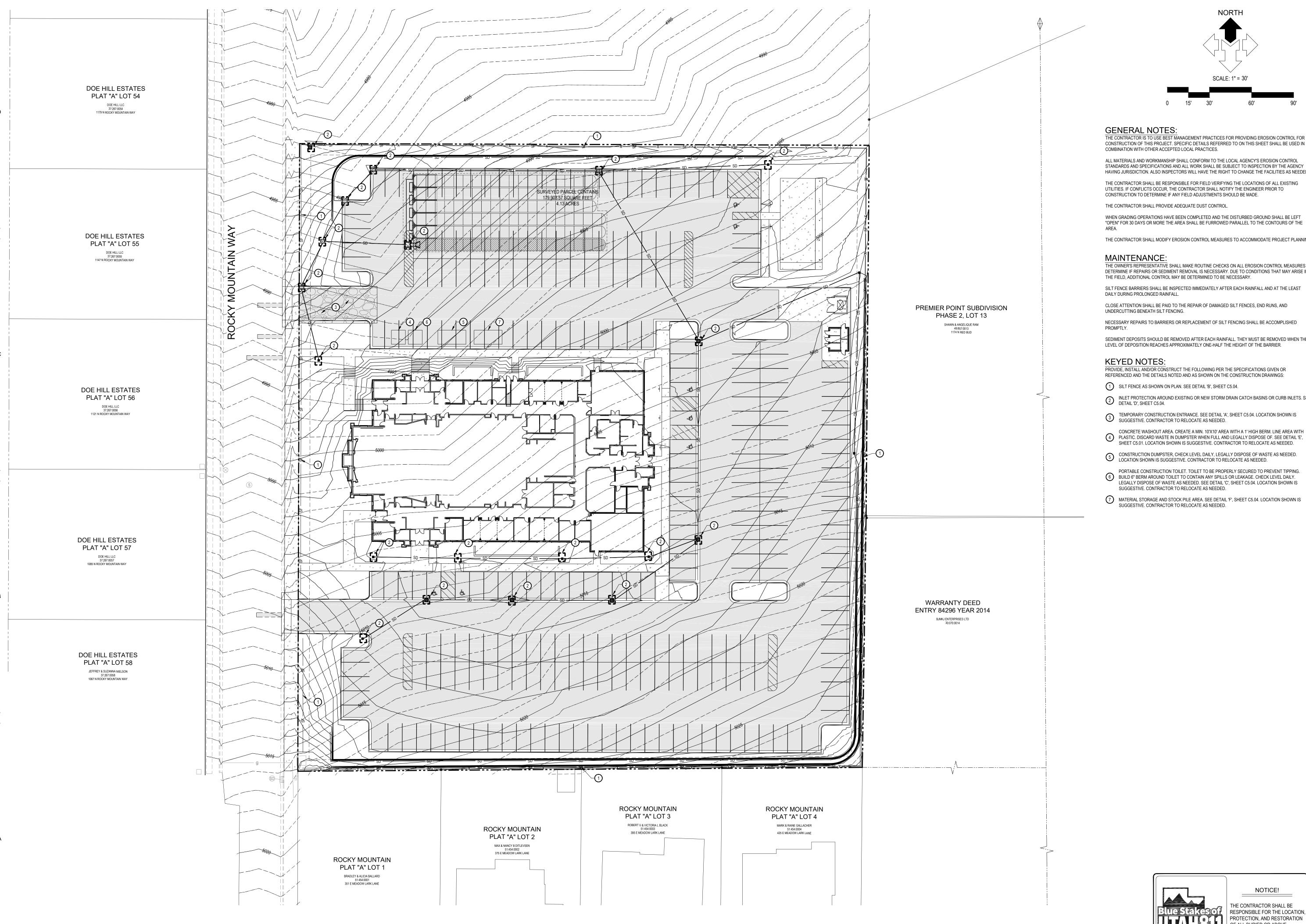
**GRADING AND** 

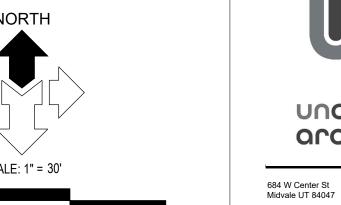
501-2698

04.05.2024

DESCRIPTION

Church of Jesus Christ of Latter Day





GENERAL NOTES:

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.

WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:

THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND

UNDERCUTTING BENEATH SILT FENCING. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

## **KEYED NOTES:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'B', SHEET C5.04.

2 INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'D', SHEET C5.04.

TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'A', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

CONCRETE WASHOUT AREA. CREATE A MIN. 10'X10' AREA WITH A 1' HIGH BERM. LINE AREA WITH

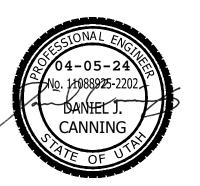
SHEET C5.01. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

© CONSTRUCTION DUMPSTER, CHECK LEVEL DAILY, LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

PORTABLE CONSTRUCTION TOILET. TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING.
BUILD 6" BERM AROUND TOILET TO CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL 'C', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

MATERIAL STORAGE AND STOCK PILE AREA. SEE DETAIL 'F', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

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OWNER / Church of Jesus Christ of Latter Day DEVELOPER:

**CONTACT INFO:** 

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ELK

REV DATE

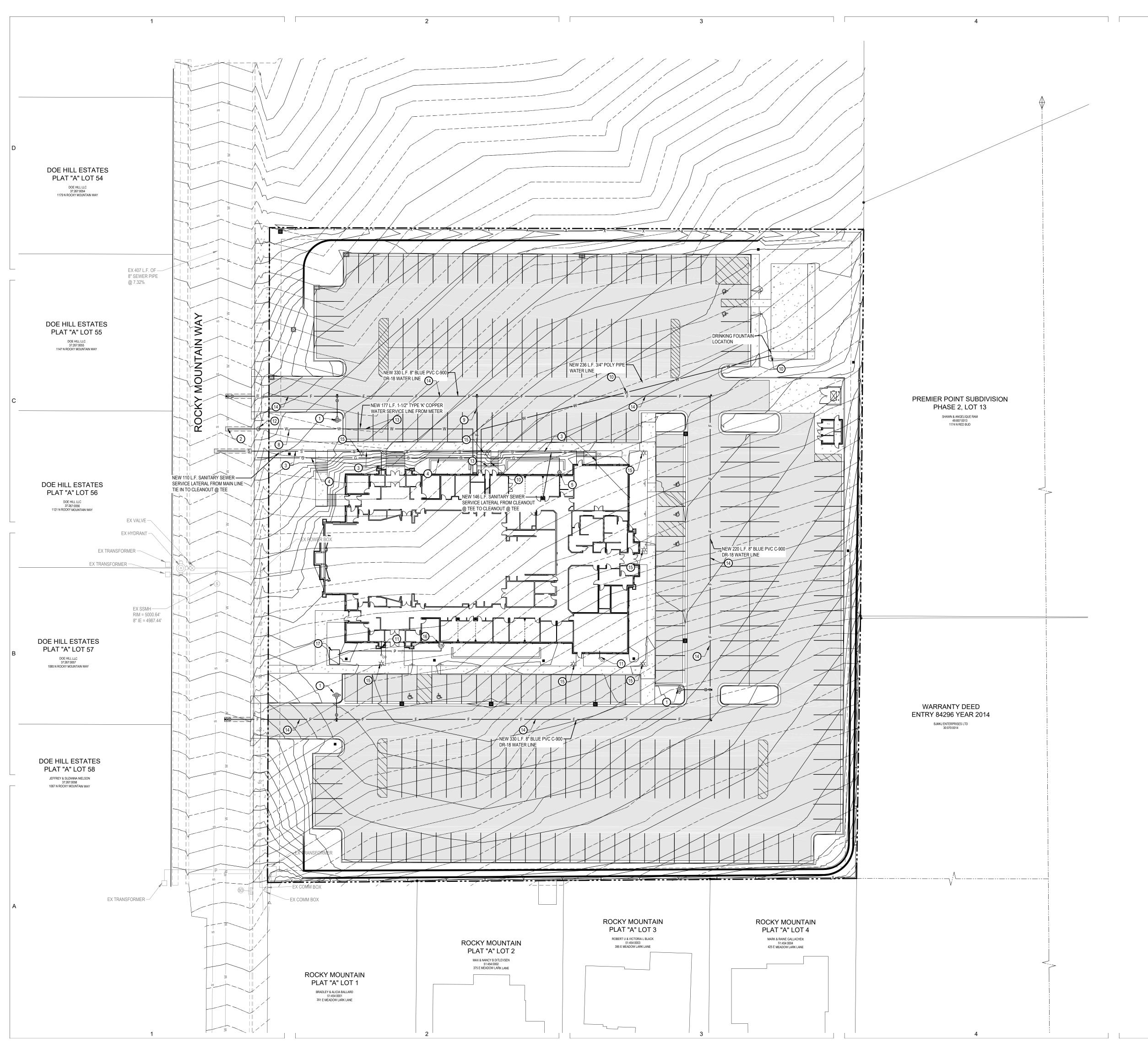
JOB NUMBER: Church of Jesus Christ of Latter Day 04.05.2024

DESCRIPTION

**EROSION** CONTROL PLAN

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.





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**KEYED NOTES:** 

VERSUS DOMINION ENERGY LIMITS.

UTILITY ALERT PHONE NUMBERS WATER: ELK RIDGE CITY SEWER: ELK RIDGE CITY NATURAL GAS: DOMINION ENERGY ELECTRICAL POWER: POWER TELEPHONE: CENTURY LINK

**GENERAL NOTES:** 

STANDARDS & SPECIFICATIONS.

MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.

OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.

PROPERTY, COORDINATE SIZES AND LOCATION WITH CENTURY LINK.

CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND

CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY

LINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH

CONTRACTOR IS TO SUBMIT SITE PLAN TO DOMINION ENERGY FOR DESIGN OF GAS LINE SERVICE TO

BUILDING. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY FOR CONTRACTOR LIMITS OF WORK

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO

VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

INSTALL NEW FIRE HYDRANT.

CONNECT NEW 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE TO EXISTING WATER MAIN.

6" PVC SDR-35 SANITARY SEWER LATERAL @ 1.00% MINIMUM SLOPE, INCLUDING NEW CLEANOUTS .

APPROXIMATE LOCATION OF NEW NATURAL GAS LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY DOMINION ENERGY WITH OTHER CONSTRUCTION.

APPROXIMATE LOCATION OF NEW NATURAL GAS METER(S). CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION WITH DOMINION ENERGY AND WITH MECHANICAL PLANS.

UNDERGROUND CABLE AND POWER LINES. CONTRACTOR TO COORDINATE WITH COMCAST AND

ROCKY MOUNTAIN POWER. SEE ELECTRICAL SITE PLAN FOR POWER CONNECTIONS.

TELEPHONE LINE. CONTRACTOR TO PROVIDE TRENCHING 30" DEEP X 24" WIDE FOR CENTURY LINK AND THEN BACKFILL AS REQUIRED. SEE ELECTRICAL SITE PLAN FOR COMMUNICATIONS

INSTALL 1-1/2" IRRIGATION STUB, SEE IRRIGATION PLANS FOR STOP AND WASTE.

9 6" PVC C-900 FIRE SERVICE WATER LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING. 3/4" POLY PIPE WATER LINE FROM PROPOSED BUILDING TO THE PROPOSED PAVILION DRINKING

FOUNTAIN. SEE PLUMBING PLANS FOR COORDINATION AND FOR DETAILS.

SEWER CLEANOUT AND 6" PVC SEWER LINE FOR USE IN CLEARING SEWER LINES WITHIN THE BUILDING FROM OUTSIDE (TYPICAL CHURCH DESIGN) SEE STANDARD CHURCH DETAIL 'C'

1-1/2" WATER SERVICE METER SET

1-1/2" TYPE 'K' COPPER WATER SERVICE LINE

8" BLUE PVC C-900 DR-18 WATER LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE APWA PLAN NO. 561 FOR THRUST BLOCKING.

PARKING LOT LIGHT LOCATIONS. SEE ELECTRICAL PLANS FOR DETAILS.

APPROXIMATE ELECTRICAL METER LOCATION. SEE ELECTRICAL PLANS FOR DETAILS.

APPROXIMATE TRANSFORMER LOCATION. SEE ELECTRICAL PLANS FOR DETAILS.

## **COMMON UTILITY ABBREVIATIONS:** SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

PROPOSED WATER LINE

CLEANOUT **CULINARY WATER LINE** PROPOSED FIRE LINE EXISTING FIBER OBTIC LINE EXISTING GAS LINE PROPOSED GAS LINE EXISTING POWER LINE PROPOSED POWER LINE EXISTING SEWER LINE PROPOSED SEWER LINE SANITARY SEWER MAN HOLE EXISTING WATER LINE

> THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

NOTICE!

JOB NUMBER: 501-2698 Church of Jesus Christ of Latter Day 04.05.2024 REV DATE DESCRIPTION

SITE UTILITY

PLAN

ASPHALT PAVING

SCALE: N.T.S.

# - 5.5" THICK CONCRETE PAVING PER GEOTECHNICAL REPORT 8" THICK AGGREGATE BASE -PREPARED SUBGRADE

2'-0"

- 3/4" RADIUS

CONCRETE CURBAND GUTTER

1 3/4"

B CONCRETE PAVING
SCALE: N.T.S.

3/4" RADIUS -

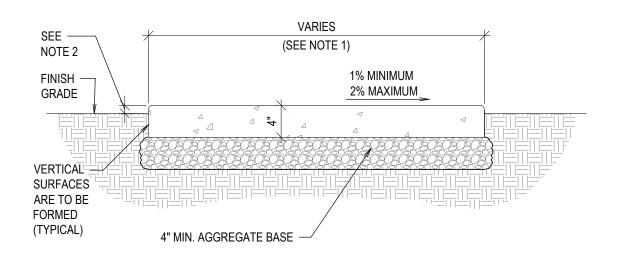
TOOLED EDGE

SEE NOTE 2 -

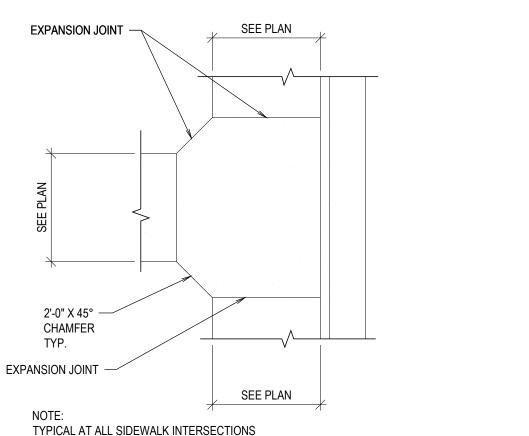
FINISH GRADE

PREPARED SUBGRADE -

AGGREGATE BASE

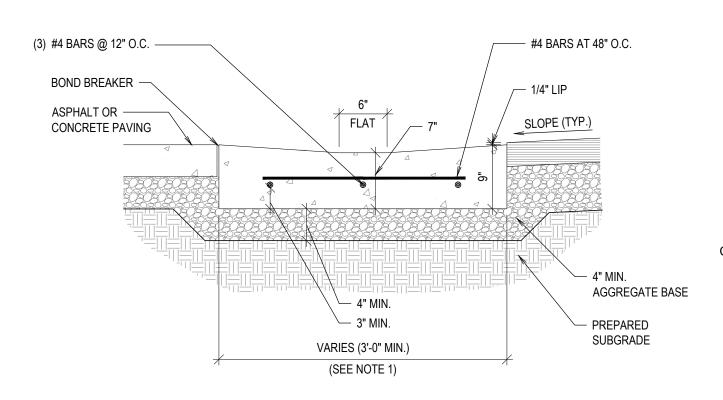


SIDEWALK DETAIL
SCALE: N.T.S.



TYPICAL AT ALL SIDEWALK INTERSECTIONS SIDEWALK DETAIL

SCALE: N.T.S.



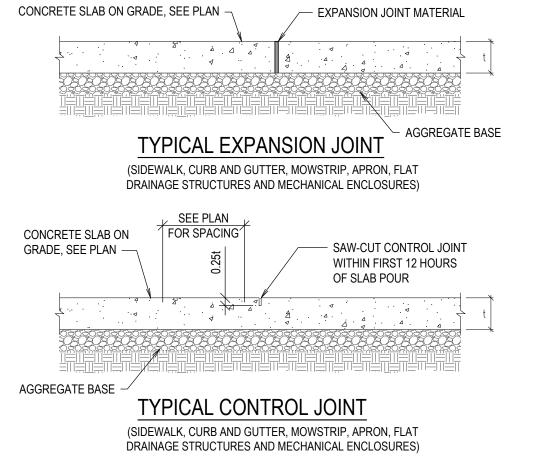
CONCRETE WATERWAY -FLAT DRAINAGE STRUCTURE

SCALE: N.T.S.

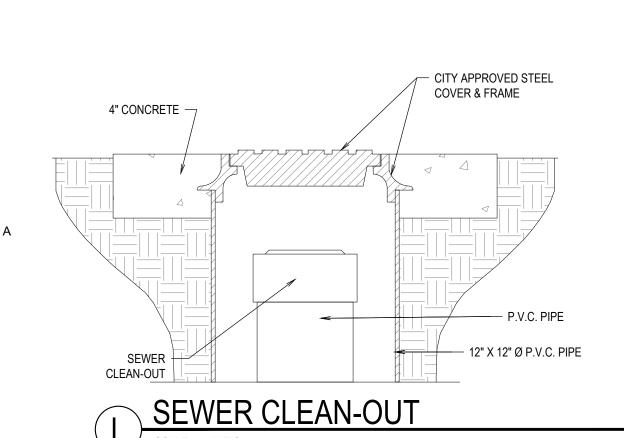
- 1/4" LIP 3/4" RADIUS -1 3/4" TOOLED EDGE - ASPHALT OR SEE NOTE 2 -CONCRETE PAVING **RADIUS** FINISH GRADE PREPARED SUBGRADE CONCRETE CURB 4" MIN. -AND GUTTER AGGREGATE BASE

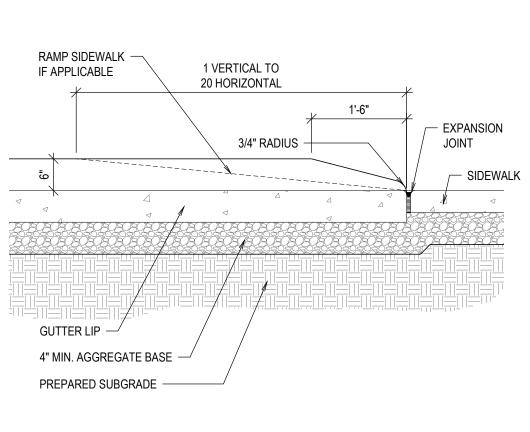
FOR USE WHERE WATER DRAINS TOWARD CURB

E CURB AND GUTTER - IN FLOW SCALE: N.T.S.



**EXPANSION AND CONTROL JOINT** 

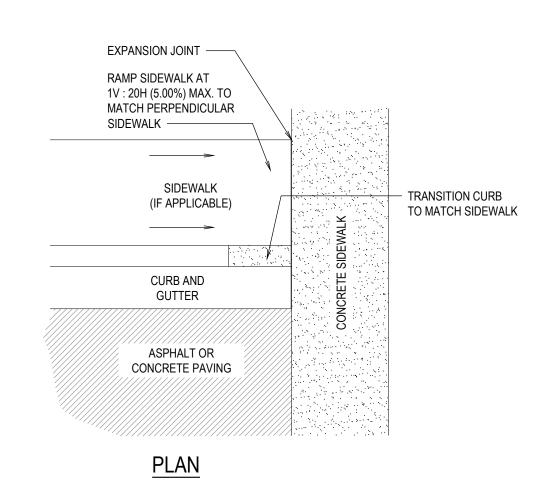




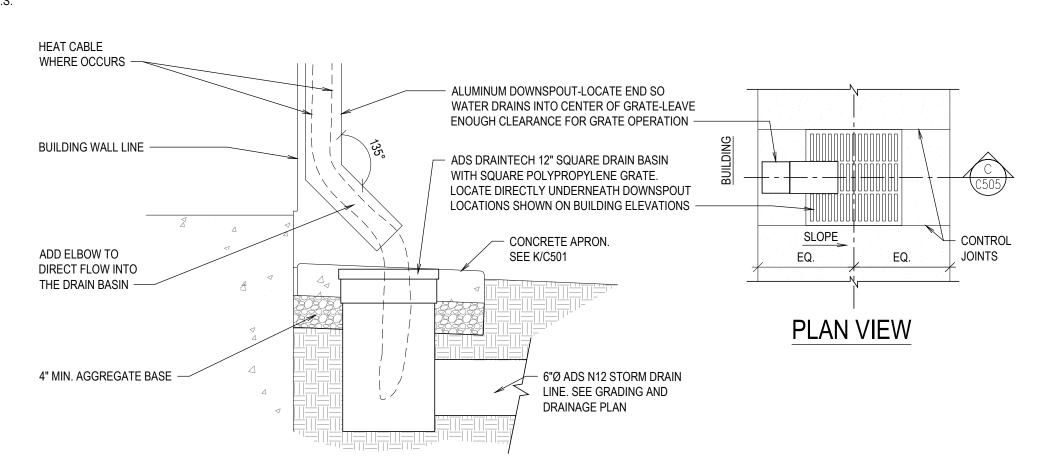
FOR USE WHERE WATER DRAINS AWAY FROM CURB

CURB AND GUTTER - OUT FLOW

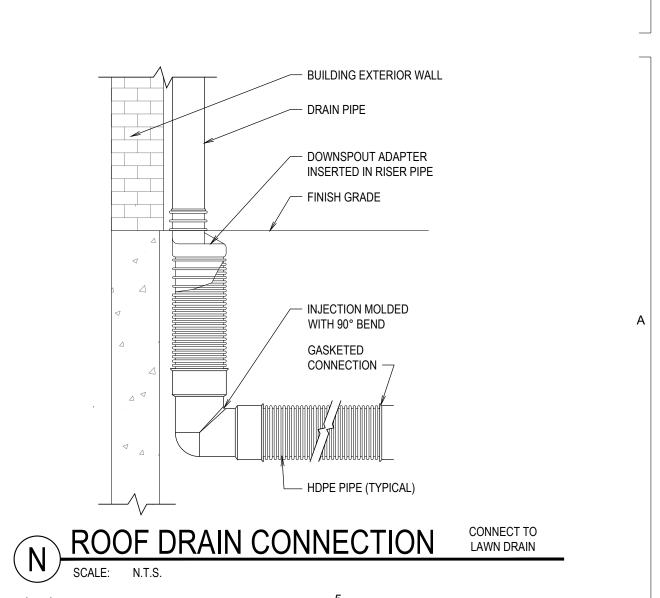
SECTION



**CURB TRANSITION** 

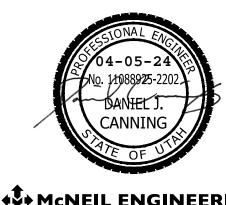


M DOWNSPOUT AND CATCH BASIN DETAIL



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uncommonarch.com (801) 417-9951 684 W Center St Midvale UT 84047



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**OWNER /** Church of Jesus Christ of Latter Day DEVELOPER: CONTACT INFO:

James dzineku (801) 240-5174 JDzhineku@churchofjesuschrist.org 50E North Temple St Salt Lake City UT

2 3 2 GE HERITA RIDGE

ELK

REV DATE

JOB NUMBER: 501-2698 Church of Jesus Christ of Latter Day 04.05.2024

DESCRIPTION

CIVIL DETAILS

C5.01

JOB NUMBER: 501-2698 Church of Jesus Christ of Latter Day OWNER: 04.05.2024

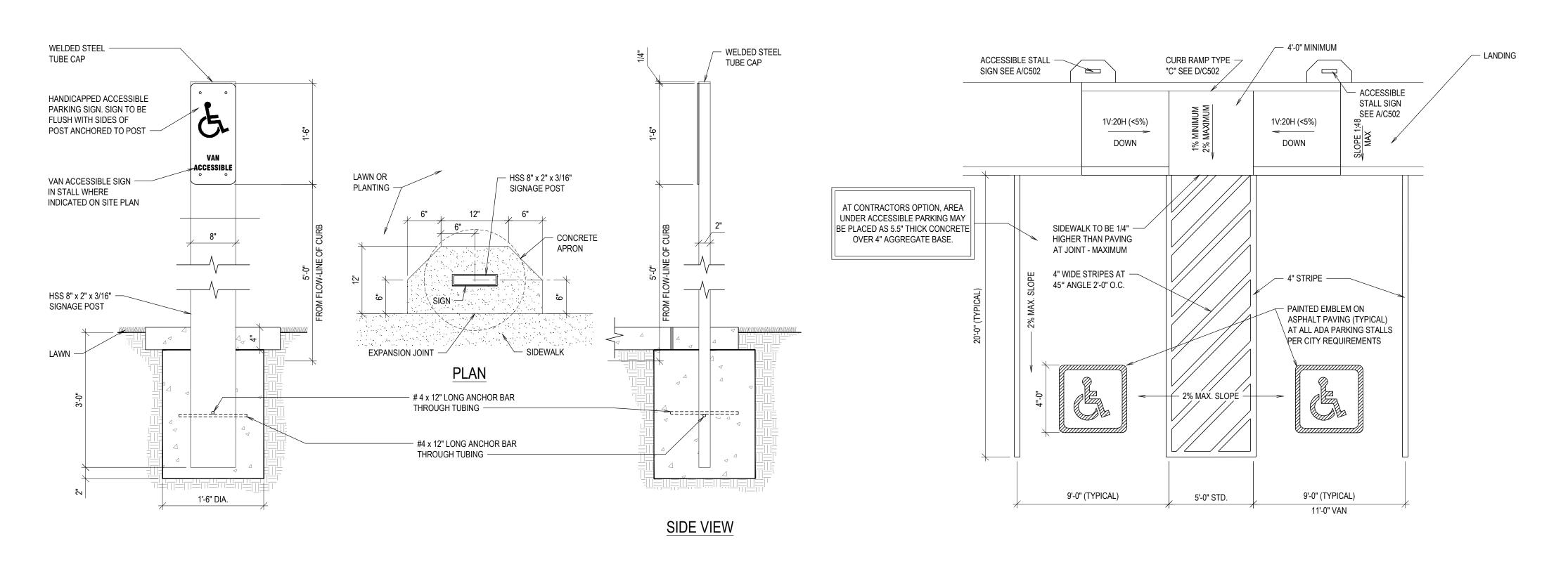
DESCRIPTION

REV DATE

1120 ROCKY MOUNTAIN WAY ELK RIDGE, UTAH COUNTY, U

CIVIL DETAILS

C5.02

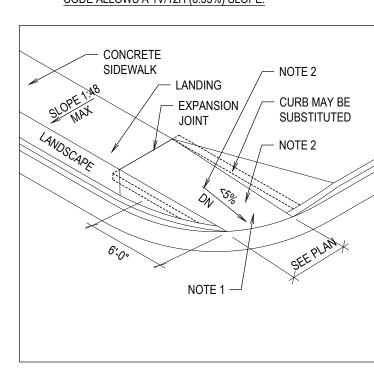


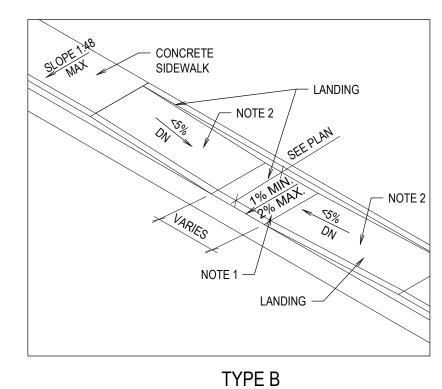


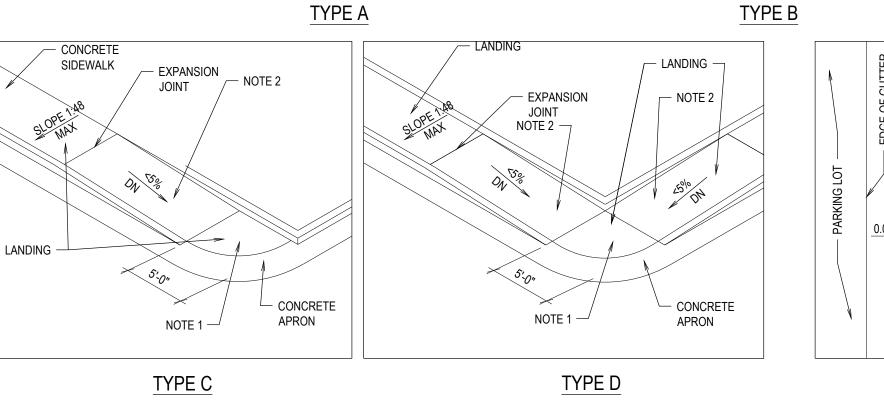
STEEL PER DIVISION 05 INSTALL PER DIVISION 03

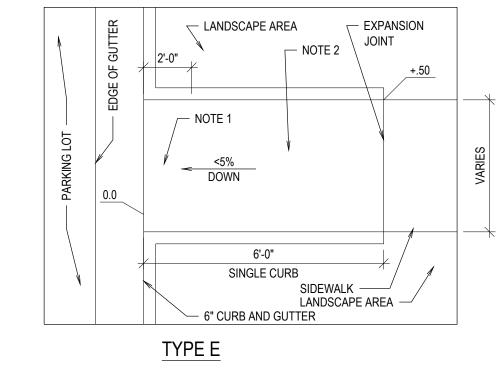
1. PROVIDE DETECTABLE WARNING PANELS PER ADA REQUIREMENTS AT PUBLIC RIGHT-OF-WAYS (MINIMUM OF 2' DEEP BY THE WIDTH OF RAMP).

- 2. UNLESS REQUIRED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION, USE A LIGHT BROOM FINISH ON RAMPS AND LANDINGS TO MATCH THE FINISHES ON THE SIDEWALKS.
- 3. 5% (MAXIMUM) IN DIRECTION OF TRAVEL. LIMIT CROSS SLOPE ON SIDEWALKS 2%.
- 4. ALL LANDINGS MUST HAVE 1:48 CROSS SLOPE AND RUNNING SLOPE. LANDING MUST BE AS WIDE AS THE RAMP.
- 5. CROSS SLOPE ON RAMP MUST BE 1:48 OR LESS.
- 6. COUNTER SLOPES OF ADJOINING GUTTERS AND PAVING ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%), ALTHOUGH CODE ALLOWS A 1V/12H (8.33%) SLOPE.









ACCESSIBLE SLOPED WALK DETAILS

SCALE: NTS

STEEL PER DIVISION 05 INSTALL PER DIVISION 03

Chamber Model:	MC-7200
Outlet Control Structure:	No
Project Name:	Elk Ridge Stake Cen- ter
Engineer:	Daniel Canning
Project Location:	Utah
Measurement Type:	Imperial
Required Storage Volume:	32805 cubic ft.
Stone Porosity:	40%
Stone Foundation Depth:	9 in.
Stone Above Chambers:	12 in.
Average Cover Over Chambers:	24 in.
Design Constraint Dimensions:	(60 ft. x 185 ft.)

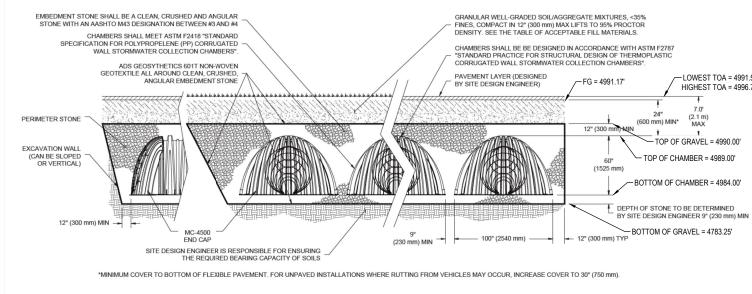
<u>Results</u> System Volume and Bed Size Installed Storage Volume: 33539.54 cubic ft. **Storage Volume Per Chamber:** 175.90 cubic ft. **Number Of Chambers Required: Number Of End Caps Required: Chamber Rows: Maximum Length:** 170.15 ft. **Maximum Width:** 46.67 ft. Approx. Bed Size Required: 7760.88 square ft. System Components Amount Of Stone Required: 1164 cubic yards

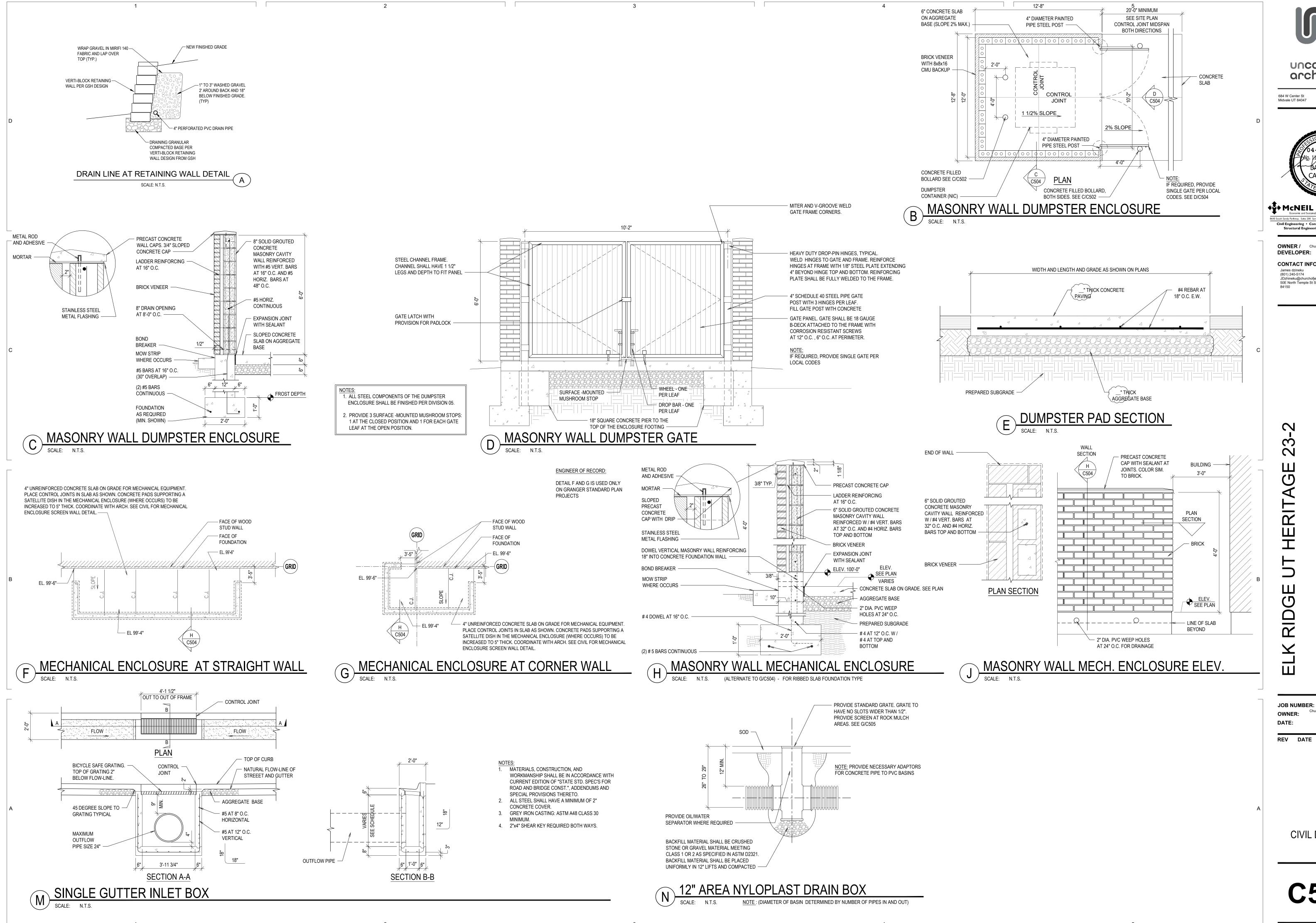
**Volume Of Excavation (Not Including** 1941 cubic yards **Total Non-woven Geotextile Required:**2460 square yards Woven Geotextile Required (excluding 85 square yards

Isolator Row): Woven Geotextile Required (Isolator 382 square yards **Total Woven Geotextile Required:** 467 square yards

0 square yards

Impervious Liner Required:





nucommon architects

684 W Center St Midvale UT 84047 (801) 417-9951



**♦** McNEIL ENGINEERING

Civil Engineering • Consulting & Landscape Architectu Structural Engineering • Land Surveying & HDS

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1120 ROCKY MOUNTAIN WAY ELK RIDGE, UTAH COUNTY, L

JOB NUMBER: 501-2698 Church of Jesus Christ of Latter Day 04.05.2024

DESCRIPTION

CIVIL DETAILS

C5.03

A STABILIZED PAD OF CRUSHED STONE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE FROM OR TO PAVED SURFACE.

UNDER GRAVEL

AT ANY POINT OF INGRESS OR EGRESS AT A CONSTRUCTION SITE WHERE ADJACENT TRAVELED WAY IS PAVED. GENERALLY APPLIES TO SITES OVER 2 ACRES UNLESS SPECIAL CONDITIONS EXIST.

INSTALLATION/APPLICATION CRITERIA: CLEAR GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.

 COMPACT SUB GRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS.

PLACE COARSE AGGREGATE, 1 TO 2-1/2 INCHES IN SIZE, TO A MINIMUM DEPTH OF 8

 REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC

GOOD WORKING CONDITION.

 INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR

REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN

 EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

WIRES OR HOG RINGS SECURE FABRIC TO MESH WITH TWINE, STAPLES, WIRE MESH OR SIMILAR ROCKS OR DIRT TOE DETAIL

TARGETED POLLUTANTS

SEDIMENT

OBJECTIVES

CONTAIN WASTE

□ MINIMIZE DISTURBED AREA

STABILIZE DISTURBED AREA

□ CONTROL SITE PERIMETER

□ PROTECT SLOPES/CHANNELS

CONTROL INTERNAL EROSION

 NUTRIENTS □ TOXIC MATERIALS

OIL & GREASE

□ FLOATABLE MATERIALS OTHER WASTE

HIGH IMPACT

MEDIUM IMPACT

□ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS CAPITAL COSTS

O & M COSTS

 MAINTENANCE □ TRAINING

STABILIZED CONSTRUCTION ENTRANCE

# FILTERSOCK SPECIFICATION:

# FILTREXX FILTERSOCK INSTALLATION AND MAINTENANCE

1.0 DESCRIPTION:

THIS WORK SHALL CONSIST OF FURNISHING, INSTALLING, MAINTAINING AND DISPERSING (IF NEEDED) A WATER PERMEABLE COMPOST FILTER SOCK (FILTREXX FILTERSOCK) TO CONTAIN SOIL EROSION AND SEDIMENT BY REMOVING SOIL PARTICLES FROM WATER MOVING OFF SITE INTO ADJACENT WATERWAYS OR STORM WATER DRAINAGE SYSTEMS. FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION FOR OPERATIONAL STORM DRAINAGE SYSTEMS.

2.0 COMPOST PRODUCTS USED TO FILL FILTREXX FILTERSOCKS 1. COMPOST: COMPOST USED FOR FILTREXX FILTERSOCKS SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOST SHALL BE PRODUCED USING AN AEROBIC COMPOSTING PROCESS MEETING CFR 503 REGULATIONS, INCLUDING TIME AND TEMPERATURE DATA INDICATING EFFECTIVE WEED SEED, PATHOGEN AND INSECT LARVAE KILL. THE COMPOST SHALL BE FREE OF ANY REFLISE CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USCC TMECC GUIDELINES FOR LABORATORY PROCEDURES:

A. PH - 5.0-8.0 IN ACCORDANCE WITH TMECC 04.11-A, "ELECTROMETRIC PH DETERMINATIONS B. PARTICLE SIZE - 99% PASSING A 1" SIEVE, 90% PASSING A 1/2" SIEVE AND A MINIMUM OF 70% GREATER THAN THE 3/8" SIEVE. A TOTAL OF 98 % SHALL NOT EXCEED 3 INCHES IN

LENGTH, IN ACCORDANCE WITH TMECC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE

CLASSIFICATION" C. MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST

METHODS FOR MOISTURE DETERMINATION. D. MATERIAL SHALL BE RELATIVELY FREE (<1% BY DRY WEIGHT) OF INERT OR FOREIGN MAN MADE MATERIALS.

E. A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. 3.0 CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS:

1. FILTREXX FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION ON CONSTRUCTION SITES WHICH REQUIRE PROTECTION AGAINST SEDIMENT LADEN WATER AFTER STORM DRAINS BECOME OPERATIONAL. 2. FILTREXX FILTERSOCKS WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED

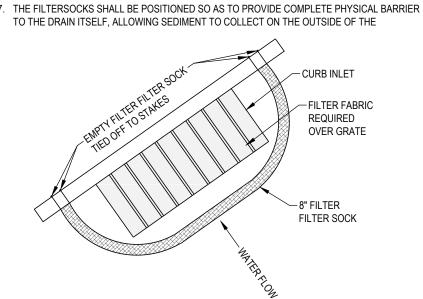
BY THE ENGINEER. FILTERSOCKS SHOULD BE INSTALLED IN A PATTERN THAT ALLOWS COMPLETE PROTECTION OF THE INLET AREA . INSTALLATION OF FILTREXX FILTERSOCKS WILL ENSURE A MINIMAL OVERLAP OF AT LEAST

ONE FOOT ON EITHER SIDE OF THE OPENING BEING PROTECTED. THE FILTERSOCKS WILL BE ANCHORED TO THE SOIL BEHIND THE CURB USING STAPLES, STAKES OR OTHER DEVICES CAPABLE OF HOLDING THE FILTERSOCK IN PLACE.

4. STANDARD SIZES OF FILTERSOCKS FOR INLET PROTECTION WILL BE 8" DIAMETER PRODUCTS. IN SEVERE FLOW SITUATIONS, LARGER FILTERSOCKS MAY BE RECOMMENDED BY THE FNGINFFR

5. FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2. 6. IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE

MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCK MAY BE ACCEPTABLE IN ORDER TO KEEP THE AREA FROM FLOODING.



FILTERSOCKS. SEE BELOW SCHEMATIC FOR FILTREXX FILTERSOCK INSTALLATION. 8. FOR AREAS WHERE FILTERSOCKS ARE TO BE LEFT AS A PERMANENT PART OF THE LANDSCAPE, FILTERSOCKS MAY BE SEEDED DURING TIME OF MANUFACTURE TO CREATE A LIVING SOCK. FOR SEEDING OPTIONS, THE ENGINEER MAY SIMPLY REPLACE ALL LANGUAGE ABOVE WITH "LIVING FILTREXX FILTERSOCKS"

4.0 MAINTENANCE: THE CONTRACTOR SHALL MAINTAIN FILTREXX FILTERSOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.

2. WHERE THE FILTERSOCK REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED. 3. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTERSOCK WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE FILTERSOCK, OR AS DIRECTED BY THE ENGINEER.

4. THE FILTREXX FILTERSOCK WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER. THE NETTING MATERIAL WILL BE DISPOSED OF IN NORMAL TRASH CONTAINERS OR REMOVED BY THE CONTRACTOR.

5. REGULAR MAINTENANCE INCLUDES LIFTING THE FILTREXX FILTERSOCKS AND CLEANING UNDER THEM AS SEDIMENT COLLECTS. 5.0 METHOD OF MEASUREMENT:

OR PER INLET, AS SPECIFIED BY THE ENGINEER. 1. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A WORKING EROSION CONTROL SYSTEM

AND MAY, WITH APPROVAL OF THE ENGINEER, WORK OUTSIDE THE MINIMUM CONSTRUCTION REQUIREMENTS AS NEEDED. 2. WHERE THE FILTERSOCK DETERIORATES OR FAILS. IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.

BID ITEMS SHALL SHOW MEASUREMENT AS 'FILTREXX FILTERSOCK' PER LINEAR FOOT, INSTALLED

3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

7.0 APPLICATION GUIDELINES: 1. FILTREXX FILTERSOCKS SHALL EITHER BE MADE ON SITE OR DELIVERED TO THE JOBSITE

SEDIMENT BARRIER / FILTER SOCK PROTECTION

USING A 3 MIL TUBULAR HDPE KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS AS OUTLINED IN 2.0. 2. FILTREXX FILTERSOCKS NETTING MATERIALS ARE AVAILABLE ONLY FROM FILTREXX INTERNATIONAL, LLC AND ARE THE ONLY CERTIFIED MESH MATERIALS ACCEPTED IN CREATING FILTREXX PRODUCTS ON SITE OR AS DELIVERED TO THE JOB SITE. STANDARD FILTREXX COLOR CODING SYSTEMS INCLUDE YELLOW AND BLACK STRIPED MESH NETTING WITH 3/8" MESH OPENINGS FOR INLET PROTECTION. OTHER COLORS ARE ONLY ACCEPTABLE AS APPROVED BY BOTH THE ENGINEER AND FILTREXX INTERNATIONAL, LLC.

3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

8.0 AVAILABLE VENDORS FILTREXX FILTERSOCKS MAY BE PURCHASED FROM THE FOLLOWING CERTIFIED FILTREXX INSTALLERS:

WINDSWEPT ORGANIX INC. WORK: 480-963-4638 FAX: 408-940-4261 850 SOUTH BOGLE AVE, SUITE 2 CHANDLER, AZ 85225 AREA INLET FILTER FABRIC -REQUIRED OVER GRATE FILTER SOCK

SECURE MESH TO POSTS WITH

WIRE STAPLES 1" LONG OR TIE

A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC

PLACE POSTS 6' ON CENTER

(2X4 WOOD POSTS OR STEEL

UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS  $\bullet$   $\;\;$  SECURE WIRE MESH (14 GAGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG

 CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH

BACKFILL OVER FILTER FABRIC TO ANCHOR.

RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.

DRAINAGE AREA

DESCRIPTION:

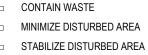
APPLICATIONS:

MANAGEMENT

PROLONGED RAINFALL. LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.

REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED

REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.



HOUSEKEEPING PRACTICES

PROTECT SLOPES/CHANNELS

□ CONTROL SITE PERIMETER

TARGETED POLLUTANTS

SEDIMENT

NUTRIENTS

TOXIC MATERIALS

FLOATABLE MATERIALS

□ OIL & GREASE

OTHER WASTE

HIGH IMPACT

MEDIUM IMPACT

□ CAPITAL COSTS

○ & M COSTS

MAINTENANCE

□ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

□ CONTROL INTERNAL EROSION

STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.

 PERIMETER CONTROL: PLACE BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE SEDIMENT BARRIER: PLACE BARRIER AT TOE OF SLOPE OR SOIL STOCKPILE.

 PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS

INSTALLATION/APPLICATION CRITERIA: PLACE POSTS 6 FEET APART ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED)

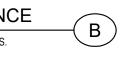
TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.

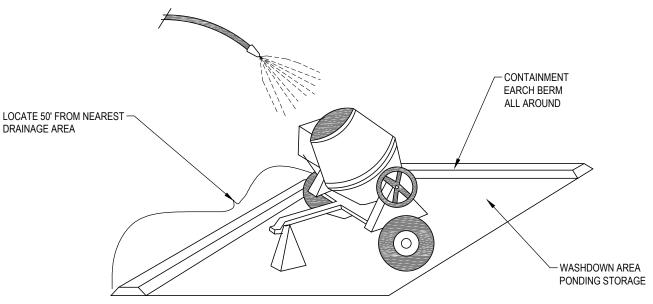
• RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE. RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET. RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%).

PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.

• INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING

REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.





**OBJECTIVES** 

□ HOUSEKEEPING PRACTICES CONTAIN WASTE

□ MINIMIZE DISTURBED AREA □ STABILIZE DISTURBED AREA

□ CONTROL SITE PERIMETER CONTROL INTERNAL EROSION

□ PROTECT SLOPES/CHANNELS

TARGETED POLLUTANTS

NUTRIENTS

□ OIL & GREASE

INSTALLATION/APPLICATION CRITERIA: OTHER WASTE STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS. AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.

 PERFORM WASHOUT OF CONCRETE TRUCKS OFF-SITE OR IN DESIGNATED AREAS DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM

IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

THIS TECHNIQUE IS APPLICABLE TO ALL TYPES OF SITES.

CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT

 WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER WITHIN A BERMED OR LEVEL AREA (SEE EARTH BERM BARRIER INFORMATION SHEET.) TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER CONCRETÉ WASTE

DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED

OFF-SITE WASHOUT OF CONCRETE WASTES MAY NOT ALWAYS BE POSSIBLE.

MAINTENANCE: INSPECT SUBCONTRACTORS T ENSURE THAT CONCRETE WASTES ARE BEING • IF USING A TEMPORARY PIT, DISPOSE HARDENED CONCRETE ON A REGULAR BASIS.

□ SEDIMENT

TOXIC MATERIALS

□ FLOATABLE MATERIALS

HIGH IMPACT

 MEDIUM IMPACT □ LOW OR UNKNOWN IMPACT

# IMPLEMENTATION REQUIREMENTS

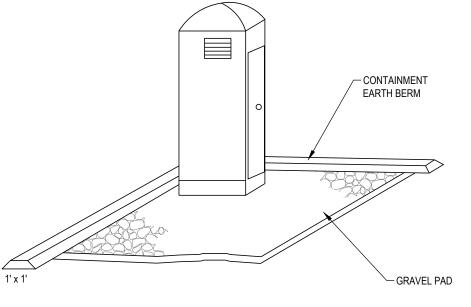
 CAPITAL COSTS □ O & M COSTS

MAINTENANCE

▼ TRAINING

■ HIGH 🗵 MEDIUM 🗆 LOW

CONCRETE WASTE MANAGEMENT



TEMPORARY ON-SITE SANITARY FACILITIES FOR CONSTRUCTION PERSONNEL.

FACILITY IS TO FAR FROM ACTIVITIES.

INSTALLATION/APPLICATION CRITERIA:

LIMITATIONS:

NO LIMITATIONS

FOR SERVICING AND FOR ON-SITE PERSONNEL

WITH APPROPRIATE AGENCY APPROVAL.

SHEET), CONTROL FOR SPILL/PROTECTION LEAK.

SERVICE WITH DAILY OBSERVATION FOR LEAK DETECTION.

ALL SITES WITH NO PERMANENT SANITARY FACILITIES OR WHERE PERMANENT

• LOCATE PORTABLE TOILETS IN CONVENIENT LOCATIONS THROUGHOUT THE SITE.

PREPARE LEVEL, GRAVEL SURFACE AND PROVIDE CLEAR ACCESS TO THE TOILETS

CONSTRUCT EARTH BERM PERIMETER (SEE EARTH BERM BARRIER INFORMATION

PORTABLE TOILETS SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY LICENSED

REGULAR WASTE COLLECTION SHOULD BE ARRANGED WITH LICENSED SERVICE.

ALL WASTE SHOULD BE DEPOSITED IN SANITARY SEWER SYSTEM FOR TREATMENT

## **OBJECTIVES**

HOUSEKEEPING PRACTICES

CONTAIN WASTE MINIMIZE DISTURBED AREA STABILIZE DISTURBED AREA

□ PROTECT SLOPES/CHANNELS CONTROL SITE PERIMETER CONTROL INTERNAL EROSION

# TARGETED POLLUTANTS

SEDIMENT

 NUTRIENTS TOXIC MATERIALS OIL & GREASE

> □ FLOATABLE MATERIALS OTHER WASTE

HIGH IMPACT

 MEDIUM IMPACT LOW OR UNKNOWN IMPACT

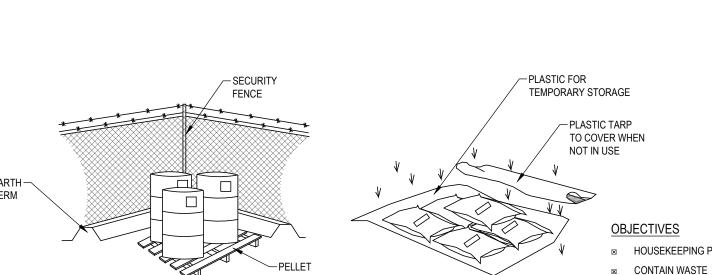
# IMPLEMENTATION REQUIREMENTS

CAPITAL COSTS

■ O & M COSTS MAINTENANCE

TRAINING

PORTABLE TOILETS



FOR STORAGE

### ► BERMED PERIMETER IMPOUNDMENT STORAGE OFF GROUND COVER WHEN NOT IN USE

■ CONTROLLED STORAGE LOCATION

DESCRIPTION: CONTROLLED STORAGE OF ON-SITE MATERIALS.

APPLICATIONS: • STORAGE OF HAZARDOUS, TOXIC, AND ALL CHEMICAL SUBSTANCES.

 ANY CONSTRUCTION SITE WITH OUTSIDE STORAGE OF MATERIALS. INSTALLATION/APPLICATION CRITERIA:

 DESIGNATE A SECURED AREA WITH LIMITED ACCESS AS THE STORAGE LOCATION. ENSURE NO WATERWAYS OR DRAINAGE PATHS ARE NEARBY. CONSTRUCT COMPACTED EARTHEN BERM (SEE EARTH BERM BARRIER INFORMATION SHEET), OR SIMILAR PERIMETER CONTAINMENT AROUND STORAGE LOCATION FOR

IMPOUNDMENT IN THE CASE OF SPILLS. ENSURE ALL ON-SITE PERSONNEL UTILIZE DESIGNATED STORAGE AREA. DO NOT STORE EXCESSIVE AMOUNTS OF MATERIAL THAT WILL NOT BE UTILIZED ON SITE. FOR ACTIVE USE OF MATERIAL AWAY FROM THE STORAGE AREA ENSURE MATERIALS

ARE NOT SET DIRECTLY ON THE GROUND AND ARE COVERED WHEN NOT IN USE.

PROTECT STORM DRAINAGE DURING USE. LIMITATIONS:

 DOES NOT PREVENT CONTAMINATION DUE TO MISHANDLING OF PRODUCTS. SPILL PREVENTION AND RESPONSE PLAN STILL REQUIRED. ONLY EFFECTIVE IF MATERIALS ARE ACTIVELY STORED IN CONTROLLED LOCATION.

MAINTENANCE: INSPECT DAILY AND REPAIR ANY DAMAGE TO PERIMETER IMPOUNDMENT OR SECURITY FENCING.

 CHECK MATERIALS ARE BEING CORRECTLY STORED (I.E. STANDING UPRIGHT, IN LABELED CONTAINERS, TIGHTLY CAPPED) AND THAT NO MATERIALS ARE BEING STORED AWAY FROM THE DESIGNATED LOCATION.

uncommon

Midvale UT 84047 (801) 417-9951



Structural Engineering • Land Surveying & HDS OWNER / Church of Jesus Christ of Latter Day

Civil Engineering • Consulting & Landscape Architecture

**CONTACT INFO:** 

DEVELOPER:

James dzineku (801) 240-5174 JDzhineku@churchofjesuschrist.o 50E North Temple St Salt Lake City UT

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JOB NUMBER:

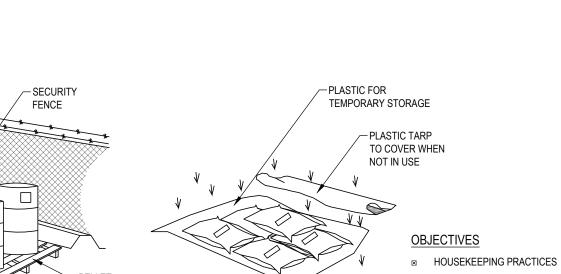
REV DATE

501-2698

04.05.2024

DESCRIPTION

Church of Jesus Christ of Latter Day



□ MINIMIZE DISTURBED AREA

STABILIZE DISTURBED AREA

□ PROTECT SLOPES/CHANNELS

CONTROL INTERNAL EROSION

□ CONTROL SITE PERIMETER

TARGETED POLLUTANTS SEDIMENT

NUTRIENTS

OTHER WASTE

 TOXIC MATERIALS □ OIL & GREASE □ FLOATABLE MATERIALS

 HIGH IMPACT MEDIUM IMPACT

□ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

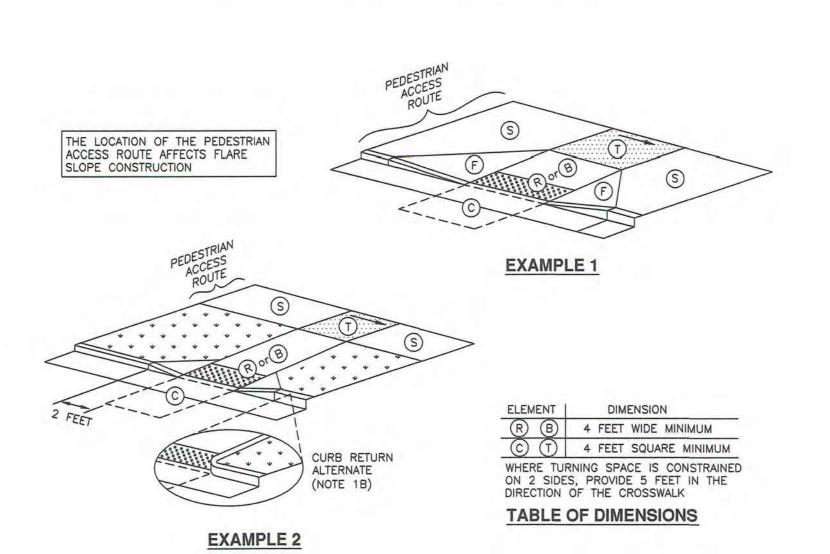
CAPITAL COSTS O & M COSTS

MAINTENANCE

■ TRAINING 

CIVIL DETAILS

# TURNING SPACE AT SIDEWALK LEVEL



4'-0"	DETECTABLE WARNING SURFA

		SLOPE (%) MAXIMUM	SLOPE (%) MAXIMUM
	TURNING SPACE T	STREET GRADE	2
DETECTABLE  WARNING SURFACE	CURB RAMP R	8.33	2 (c)
MINIMUM (PLAN 238)	BLENDED TRANSITION B	5	2 (c)
6" GUTTER COUNTER SLOPE = 5% MAX	CLEAR SPACE C	5	2 (c)
3201 E = 370 MINUS	SIDEWALK S	STREET GRADE	2
	FLARE F	10	
6" BASE COURSE	(a) RUNNING SLOPE PEDESTRIAN TRAV FLARE IS PARALL	EL. RUNNING SL	OPE OF CURB

**MATERIALS** 

Mid-block curb cut assembly

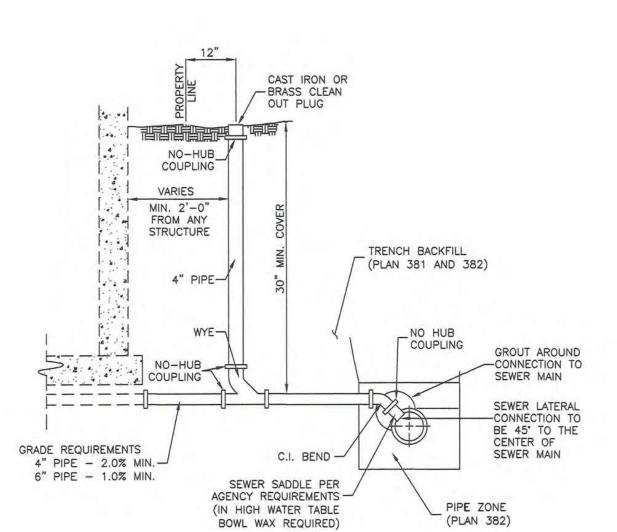
CROSS

RUNNING

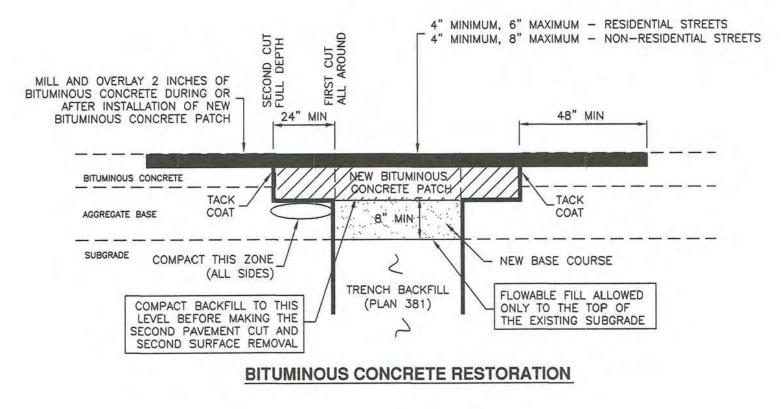
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

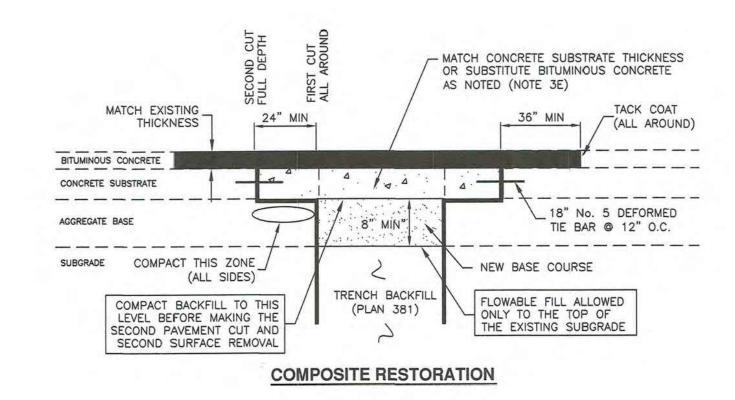
SLOPE TABLE

Plan September 2011





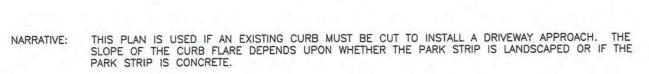


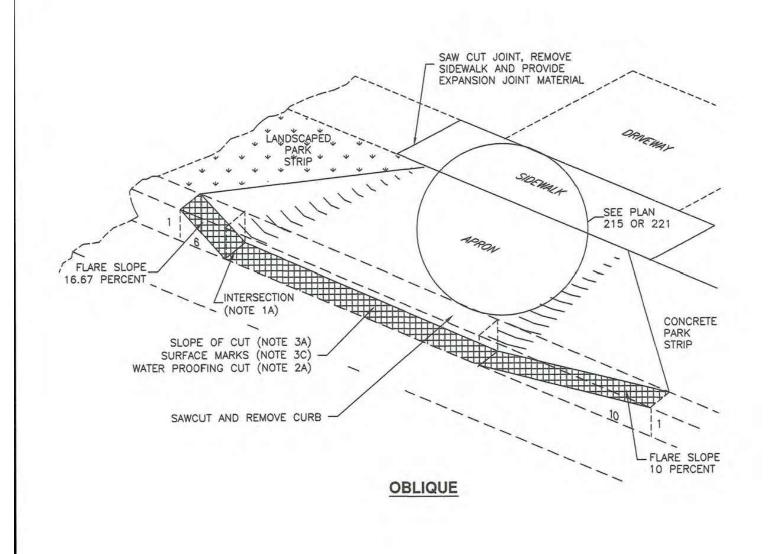






Plan November 2015

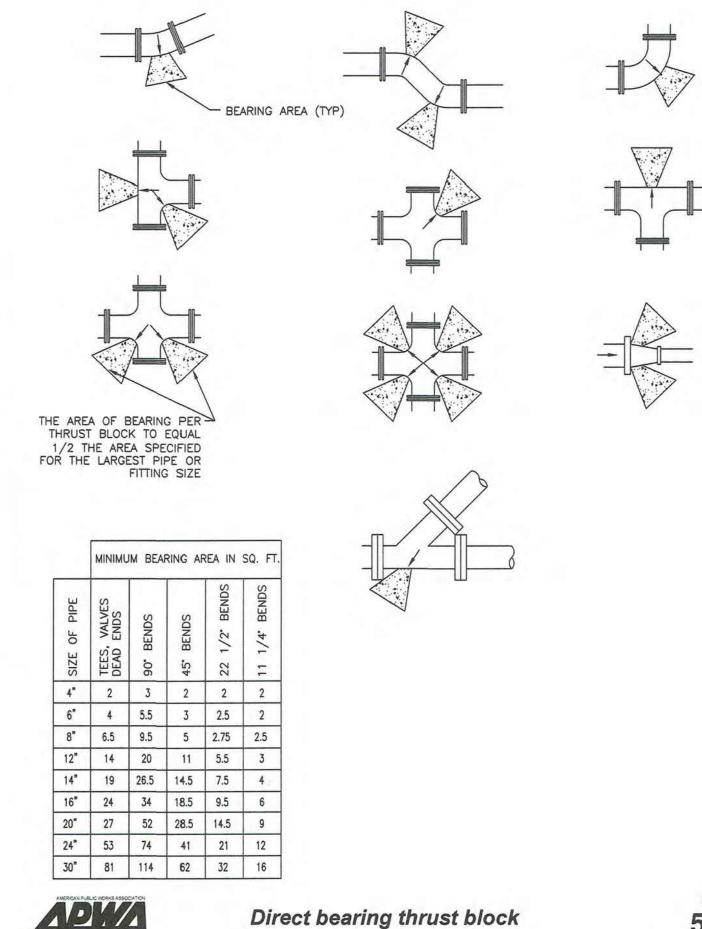






Saw-cut driveway approach

222 February 2011





684 W Center St Midvale UT 84047 (801) 417-9951



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OWNER / Church of Jesus Christ of Latter Day **DEVELOPER:** 

**CONTACT INFO:** James dzineku (801) 240-5174 JDzhineku@churchofjesuschrist.org 50E North Temple St Salt Lake City UT

561

August 2010

HERITA GE GE RD ELK

(「)

JOB NUMBER: 501-2698 Church of Jesus Christ of Latter Day 04.05.2024 REV DATE DESCRIPTION

1120 ROCKY MOUNTAIN ELK RIDGE, UTAH COUN

CIVIL DETAILS

C5.05



# **ELK RIDGE CITY DATA**

TITLE 10: DEVELOPMENT CODE

CH. 1	1: OTHER ZONES		
ZONED AS		PUBLIC FACILITY	
TOTAL SITE	AREA	179,738 S.F.	
ON-SITE LA	NDSCAPE AREA	43,383 S.F. = 24%	
		REQUIRED	PROVIDED
GENERAL:			
LAWN	N AREA - 35% MAX. OF LANDSCAPE AREA		8,391 S.F. =190%
PLAN	IT COVERAGE IN PLANTING BED AREAS		43%
SETBACKS:			
FROM	NT YARD	30'	YES
SIDE	YARD (PARKING LOTS MAY BE LOCATED WITHIN SIDE YARD)	75'	YES
REAF	R YARD (PARKING LOTS MAY BE LOCATED WITHIN REAR YARD)	75'	YES
ROCKY MO	UNTAIN WAY STREETSCAPE:		
STRE	EET TREES - 1 PER 50' (IN LANDSCAPE FRONT YARD)	392' / 50 = 8	8

# **DRAWING INDEX**

SHEET DESCRIPTION	וכ

OVERALL LANDSCAPE PLANTING PLAN

LANDSCAPE PLANTING PLAN

OVERALL LANDSCAPE IRRIGATION PLAN

LANDSCAPE IRRIGATION PLAN

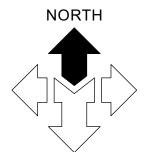
LANDSCAPE DETAILS

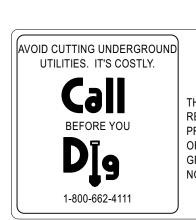
LANDSCAPE IRRIGATION DETAILS

LANDSCAPE IRRIGATION DETAILS LANDSCAPE IRRIGATION DETAILS

LANDSCAPI	E SCHE	EDULE				
SYMBOL DECIDUOUS TREES	QTY.	COMMON NAME	BOTANICAL NAME	SIZE		DETAIL
DECIDOOOS TREES						
	4	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL		D/L501
•	7	CORAL SUN GOLDEN RAIN TREE	KOELREUTERIA PANICULATA 'CORAL SUN'	2" CAL		D/L501
•	13	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL		D/L501
EVERGREEN TREES						
	7	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN'	6' MIN. HT.		E/L501
•	1	HOOPSII BLUE SPRUCE	PICEA PUNGENS 'HOOPSII'	6' MIN. HT.		E/L501
•	3	BRISTLECONE PINE	PINUS ARISTATA	6' MIN. HT.		E/L501
SHRUBS	122	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.		B/L501
	107	SAND SAGEBRUSH	ARTEMISIA FILIFOLIA	5 GAL.		B/L501
	77	FOURWING SALTBUSH	ATRIPLEX CANESCENS	5 GAL.		B/L501
	40	CURL-LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	5 GAL.		B/L501
	80	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	5 GAL.		B/L501
•	41	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	5 GAL.		B/L501
	40	HILLSIDE CREEPER SCOTCH PINE	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	5 GAL.		B/L501
	103	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.		B/L501
•	3	TIGER EYES SUMAC	RHUS TYPHINA 'BAILTIGER'	5 GAL.		B/L501
RNAMENTAL GRASSES	161	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.		A/L501
•	269	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	1 GAL.		A/L501
0	109	PINK MUHLY	MUHLENBERGIA CAPILLARIS	1 GAL.		A/L501
SYMBOL Lawn	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE	DETAIL
LAWN	6,976 S.F.	"IMPERIAL BLUE" LAWN SOD	INSTALL OVER MINIMUM 5" TOPSOIL LAYER.		CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL	H/L501
BOULDERS					BOULDERS FROM BROWN'S	
	92	"BROWN'S CANYON RED VEIN" BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS	2'-4' DIAMETER IN ALL DIRECTIONS	CANYON QUARRY. CONTACT ONE SOURCE MATERIALS,	G/L501
CRUSHED ROCK	13,042 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1-1/2" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L501
	6,766 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	2"-4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L501
	9,880 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	3/4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L501







OVERALL LANDSAPE NOTICE! PLANTING PLAN THE CONTRACTOR SHALL BE
RESPONSIBLE FOR THE LOCATION,
PROTECTION, AND RESTORATION
OF ALL BURIED OR ABOVE
GROUND UTILITIES, SHOWN OR
NOT SHOWN ON THE PLANS.

11200 ROCKY MOUNELK RIDGE, UTAH

LDS CHURCH OCTOBER 2023

DESCRIPTION ADDENDUM #2

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2

HERITAG

ELK RIDGE

JOB NUMBER:

REV DATE

1 03/22/24

120 FT



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3-2 HERITAGE ELK RIDGE

LDS CHURCH OCTOBER 2023

11200 ROCKY MOUN ELK RIDGE, UTAH

DESCRIPTION ADDENDUM #2 03/22/24

LANDSCAPE PLANTING PLAN

L112

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR THE LOCATION,
PROTECTION, AND RESTORATION
OF ALL BURIED OR ABOVE
GROUND UTILITIES, SHOWN OR
NOT SHOWN ON THE PLANS. BEFORE YOU 1-800-662-4111

NOTICE!

11200 ROCKY MOUN ELK RIDGE, UTAH LDS CHURCH OCTOBER 2023 DESCRIPTION

03/22/24 ADDENDUM #2

OVERALL LANDSCAPE IRRIGATION PLAN

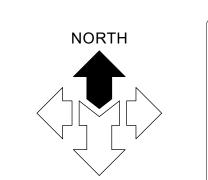
L121

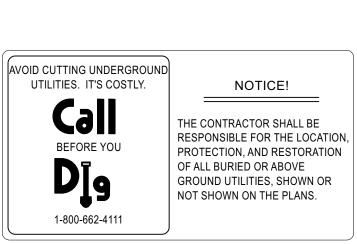
IDDICATION SCHEDITIE

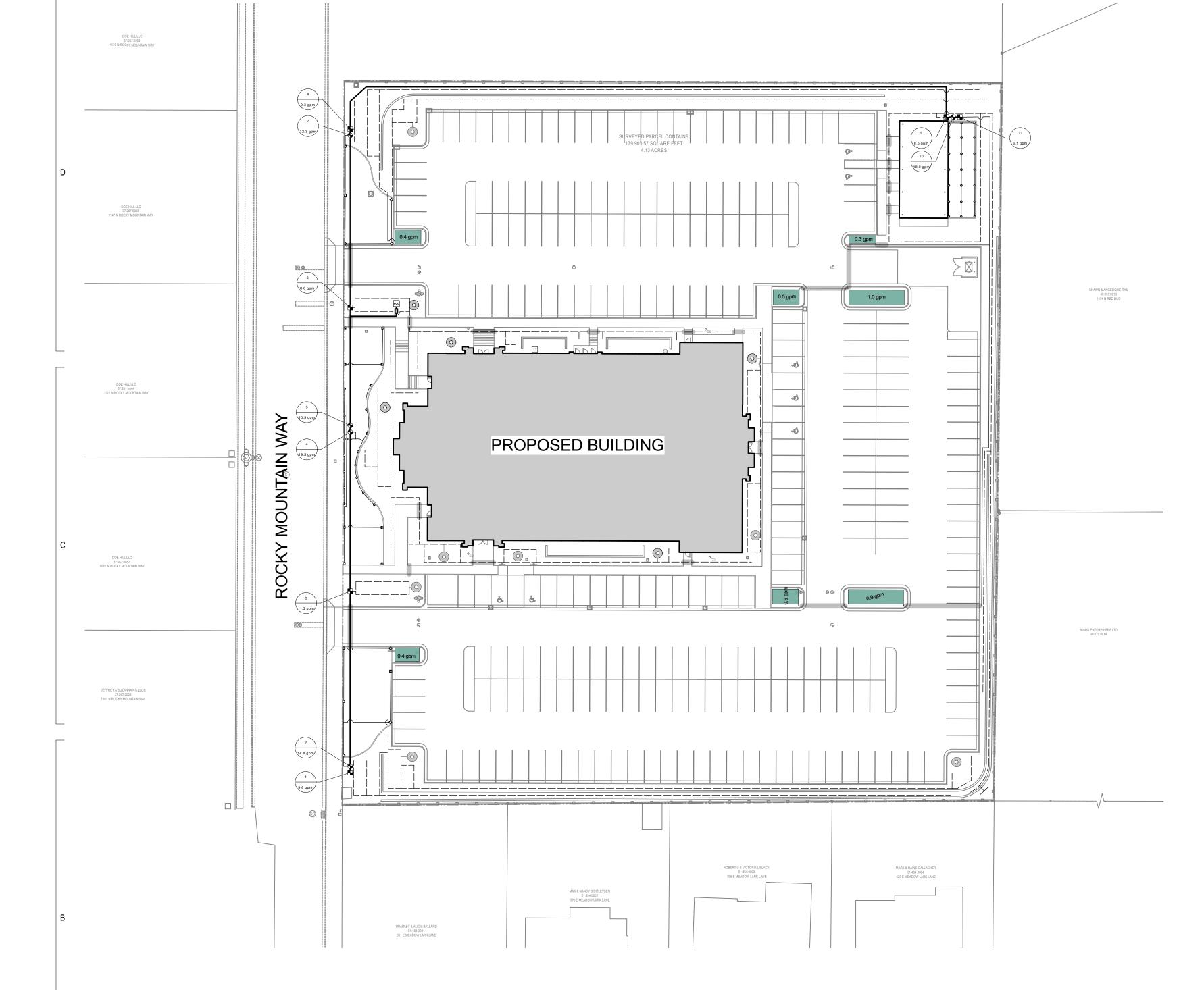
SYMBOL	TYPE	MANUFACTURER	MODEL	ARC	DETAI
OUTLETS					
•	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10F	360°	A/L50
•	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10H	180°	A/L50
0	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10Q	90°	A/L50
•	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-15H	225°	A/L50
•	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-15H	180°	A/L50
◘	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-25H	180°	C/L50
	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-25Q	90°	C/L50-
	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-35H	180°	C/L50
<b>♦</b>	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-35Q	90°	C/L50
DRIP AREAS					
	TREE DRIPPER LINE RING SPACED @ 24" O.C.	NETAFIM	TLCV9-12		I/L502
	DIPPER LINE IN PLANTING BED SPACED @ 18" O.C.	Netafim (r)	TLCV4-18		C/L5.0
SYMBOL VALVES	ТҮРЕ	MANUFACTURER	DESCRIPTION		DETAI
<b>5</b>	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV		F/L50:
•	LAWN CIRCUIT CONTROL VALVE	RAIN BIRD	150-PEB		E/L50
THER EQUIPMENT					
С	SMART CONTROLLER	HYDROPOINT	WEATHERTRAK ET PRO3		D & E/L
РОС	POINT OF CONNECTION				A/L50
	CONCRETE PAD FOR BACKFLOW PREVENTER				C/L50
SYMBOL PIPE	ТҮРЕ		MATERIAL		DETAI
	1" DRIP SUPPLY LINE. 1/2" FUNNY PIPE AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.		SCHEDULE 40 PVC PIPE & FITTINGS.		C/L50:
	1-1/2" MAIN LINE		SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.		C/L50:
	3/4" - 1-1/2" LATERAL LINE		SCHEDULE 40 PVC PIPE & FITTINGS.		C/L50:
	PIPE SLEEVE UNDER NEW		SCHEDULE 40 PVC		D/L50

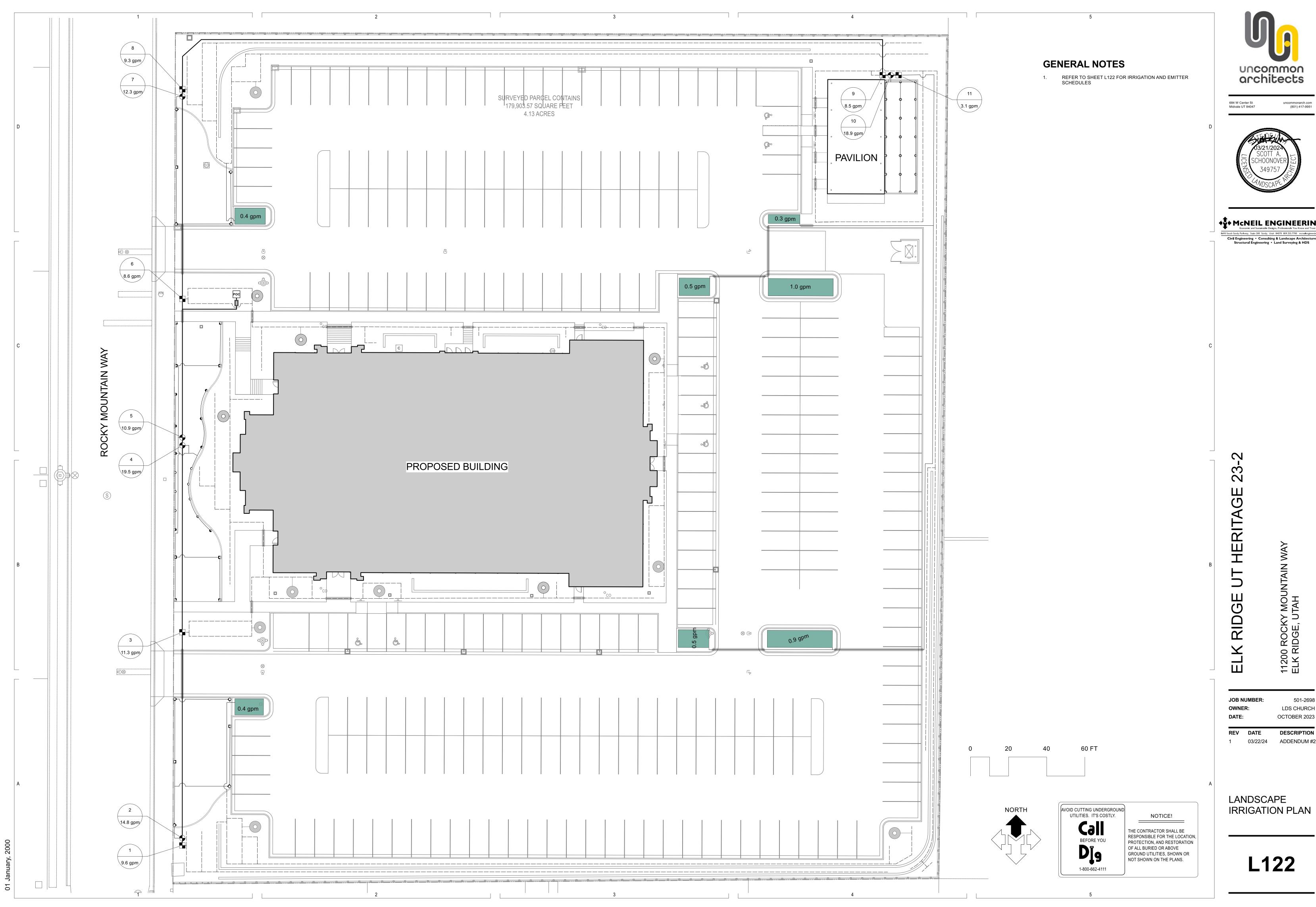
—VALVE NUMBER ---VALVE FLOW

EMITTER SCHEDULE								
PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL				
AUTUMN BRILLIANCE SERVICEBERRY	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502				
BRISTLECONE PINE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502				
COLOGREEN JUNIPER	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
CORAL SUN GOLDEN RAIN TREE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502				
GREEN VASE ZELKOVA	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502				
HOOPSII BLUE SPRUCE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502				
ALPINE CARPET JUNIPER	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
BLONDE AMBITION BLUE GRAMA GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
CURL-LEAF MOUNTAIN MAHOGANY	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
FOURWING SALTBUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
HILLSIDE CREEPER SCOTCH PINE	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
PANCHITO MANZANITA	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
PAWNEE BUTTES WESTERN SAND CHERRY	* *	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
PINK MUHLY	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
SAND SAGEBRUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
SAPPHIRE BLUE OAT GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
TIGER EYES SUMAC	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				
WICHITA BLUE JUNIPER	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504				









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> LDS CHURCH OCTOBER 2023

DESCRIPTION

03/22/24 ADDENDUM #2

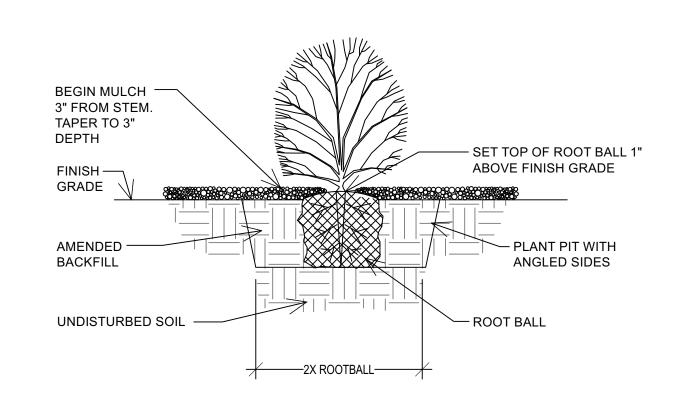
ORNAMENTAL GRASSES PLANTING

FLEX STRAP TREE TIE - 1

ROOFING-

CONTINUOUS PIECE

STAKES



1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND

WEED BARRIER FABRIC AND MULCH.

APPROVED EQUAL.

CONCRETE PAVING

COMPACTED OR

UNDISTURBED SUB-GRADE

BARK OR STONE MULCH (SEE

WALKS, AND CONCRETE PADS

PLANT SCHEDULE FOR TYPE). HOLD DOWN 1" FROM TOP OF WALLS,

WEED BARRIER FABRIC (REFER TO PLANT SCHEDULE FOR TYPE)

GROUND COVER PLANTING AREAS AND GRASS-FREE

AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF

2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY

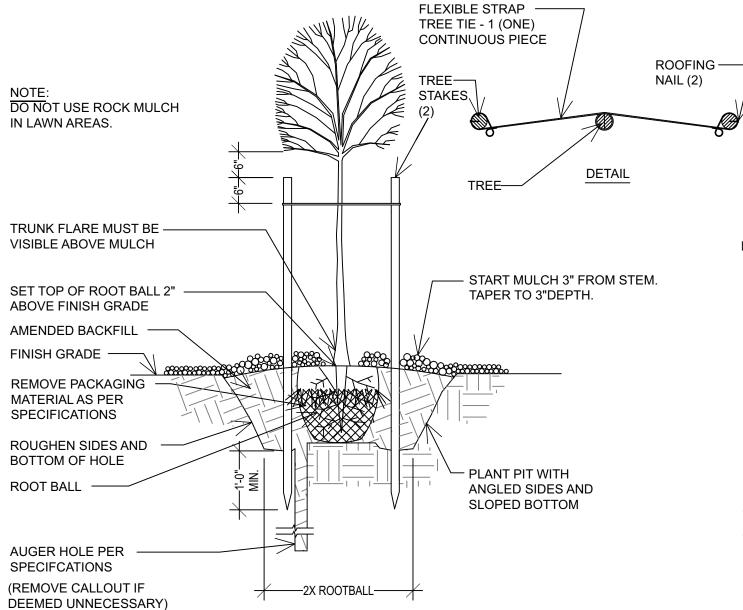
UNITED PHOSPHORUS INC, TRENTON, NJ, OR

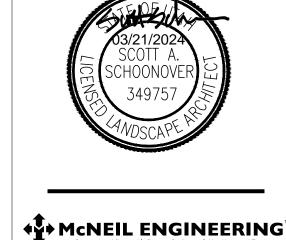
3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO

NEAT FINISHED APPEARANCE FREE OF HUMPS AND

SHRUB PLANTING

# EXISTING SLOPE -BEGIN MULCH 3" FROM STEM TAPER TO 3" DEPTH WATER RETENTION BERM 2:1 TRANSITION SLOPE PLANT PIT WITH ANGLED SIDES ROOT BALL UNDISTURBED SOIL AMENDED BACKFILL ----2X ROOTBALL---





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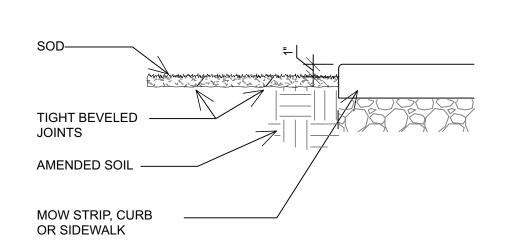
2

HERITAG

RIDGE

# TREE PLANTING AND STAKING

- A. LAYING OF SOD: 1. LAY SOD DURING GROWING SEASON AND WITHIN 48 HOURS OF BEING LIFTED.
- 2. LAY SOD WHILE TOP 6 INCHES OF SOIL IS DAMP, BUT NOT MUDDY. SODDING DURING FREEZING TEMPERATURES OR OVER FROZEN SOIL IS NOT ACCEPTABLE.
- 3. LAY SOD IN ROWS PERPENDICULAR TO SLOPE WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- 4. LAY SOD FLUSH WITH ADJOINING EXISTING SODDED SURFACES. 5. DO NOT SOD SLOPES STEEPER THAN 3:1. CONSULT WITH ARCHITECT FOR ALTERNATE TREATMENT.
- B. AFTER LAYING OF SOD IS COMPLETE: 1. ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER.
- 2. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT I
- RREGULARITIES IN GRADE WILL NOT BE PERMITTED. 3. WATER SODDED AREAS IMMEDIATELY AFTER LAYING SOD TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 6 NCHES OF TOPSOIL.





# PLANTING ON SLOPE

# MULCH FINISH GRADE

# **BOULDER PLACEMENT** DETAIL

## TRUNK FLARE MUST BE VISIBLE ABOVE MULCH START MULCH 3" FROM STEM. SET TOP OF ROOT BALL 2" TAPER TO 3"DEPTH. ABOVE FINISH GRADE AMENDED BACKFILL FINISH GRADE REMOVE PACKAGING MATERIAL AS PER SPECIFICATIONS ROUGHEN SIDES AND PLANT PIT WITH BOTTOM OF HOLE ANGLED SIDES AND SLOPED BOTTOM ROOT BALL -UNDISTURBED SOIL

CONIFER PLANTING AND STAKING

1. MOW STRIP TO BE 4,500 PSI CONCRETE WITH 6% AIR  $\pm$  1 1/2.

EFFECT WITH PLACEMENT OF MOW STRIP.

6. RAISE THE LAWN GRADE 1" WHEN SEEDING.

4. MAXIMUM 1/2" WIDTH VARIATION.

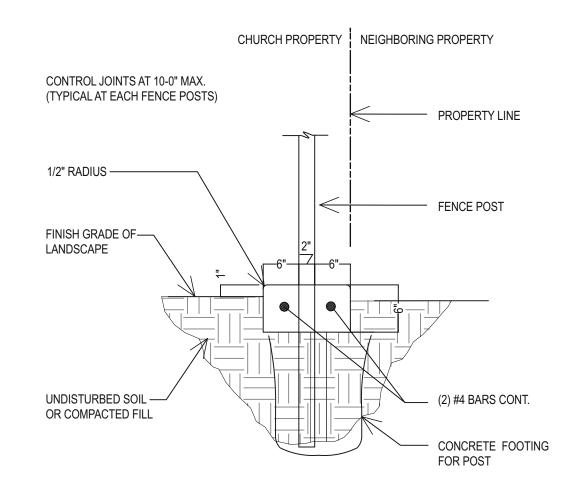
DIMENSION PLAN.

2. INSTALL EXPANSION AND CONTROL JOINTS AS PER SPECIFICATIONS.

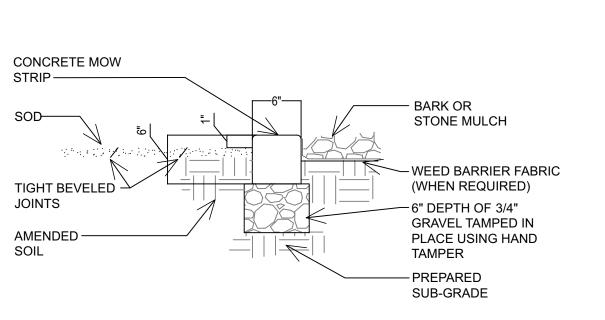
5. FOLLOW LAYOUT PLAN PRECISELY AS SHOWN ON MOW STRIP/EDGING

3. PROVIDE POSITIVE DRAINAGE AROUND MOW STRIPS. DO NOT CREATE A DAM

——2x ROOTBALL——







- SET TREE STAKE 12" INTO UNDISTURBED SOIL,

MINIMUM

CONCRETE MOWSTRIP AT @ FENCE

JOB NUMBER: 501-2698 OWNER: LDS CHURCH OCTOBER 2023 REV DATE DESCRIPTION

11200 ROCKY MOU ELK RIDGE, UTAH

LANDSCAPE **DETAILS** 

L501

NOTE: DO NOT USE ROCK MULCH

C IN LAWN AREAS.

TREE STAKES ----

AUGER HOLE PER

(REMOVE CALLOUT IF DEEMED

NOTES:

SPECIFCATIONS

UNNECESSARY)

∠ PVC LATERAL LINE

(PVC MANIFOLD LINE FOR VALVE

CLUSTERS)

AUTOMATIC VALVE

PVC SCH. 80 'ACTION'

UNION (BOTH SIDES)

(BOTH SIDES)

(OR SSS 相色)

CLEARANCE

BETWEEN GRAVEL

AND VALVE

SCH. 80 PVC CUT TO FIT

PVC SCH. 80 SSS TEE

INSIDE OF VALVE BOX

PVC SCHI 80 SS COUPLER

PVC SCH. 0 SS ELBOW

POLYETHYLENE PIPE

14" LONG MINIMUM

24" LONG MAXIMUM

SPRAY HEAD ASSEMBLY

2. 10" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.

**AUTOMATIC VALVE WITH** 

C 3. PROVIDE MIN. 2" CLEARANCE BETWEEN WIRE AND CMU BLOCK.

VALVE ID TAG -

CONNECTORS

OF WIRE, COILED

LANDSCAPE

SURFACING -

FINISH GRADE

STANDARD

LATERAL PIPE

WEED BARRIER

WASHED GRAVEL

L502

VALVE BOX 12" DEEP

√сми—

5" MIN. DEPTH OF 3/4-INCH

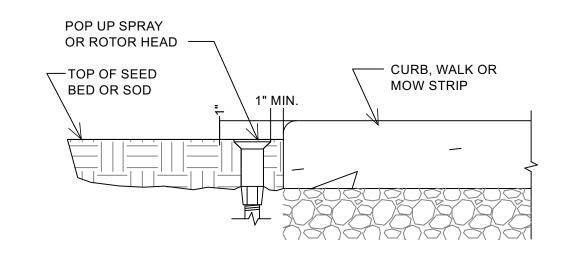
24" COILED EXTRA WIRE

COIL IN EACH VALVE BOX

(DIFFERENT COLOR) INSTALL

WATERPROOF WIRE

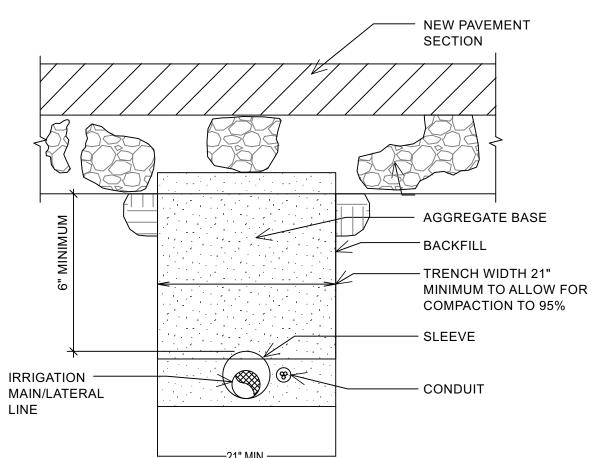
24-INCH LINEAR LENGTH

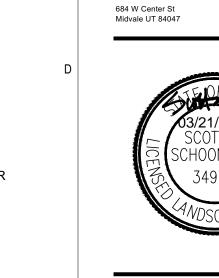


SPRINKLER HEAD OR ROTOR

NEXT TO CURB OR WALK

# 2" HORIZONTAL **TOPSOIL** SEPARATION - FINISH GRADE LATERAL **PVC LINE** SAND OR **ROCK FREE PVC MAINLINE** TAPE CONTROL, COMMON AND SPARE WIRES TO SIDE OF MAIN LINE AT 10'-0" O.C.





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2

HERITA

ELK RIDGE

REV DATE

LANDSCAPE

**IRRIGATION** 

**DETAILS** 

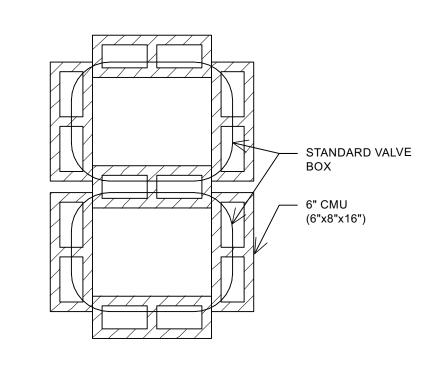
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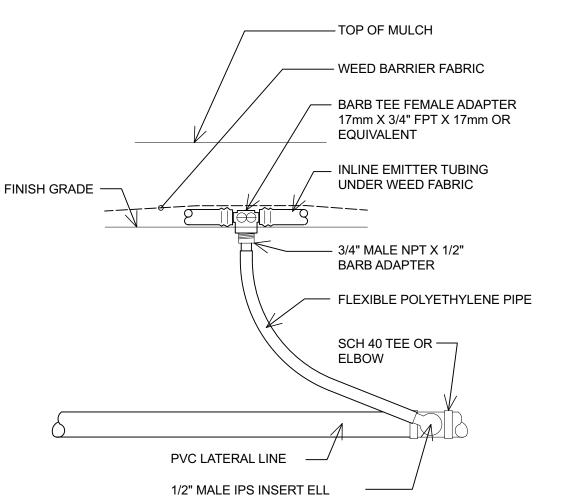
# MISC. PIPE TRENCH DETAIL NEW PAVEMENT AREAS

SICASCEALE

1. VALVE BOX TO REST ON (4) CMU BLOCKS (ONE FOR EACH SIDE) 2. CLUSTERED VALVE BOXES MAY SHARE A CMU BLOCK.

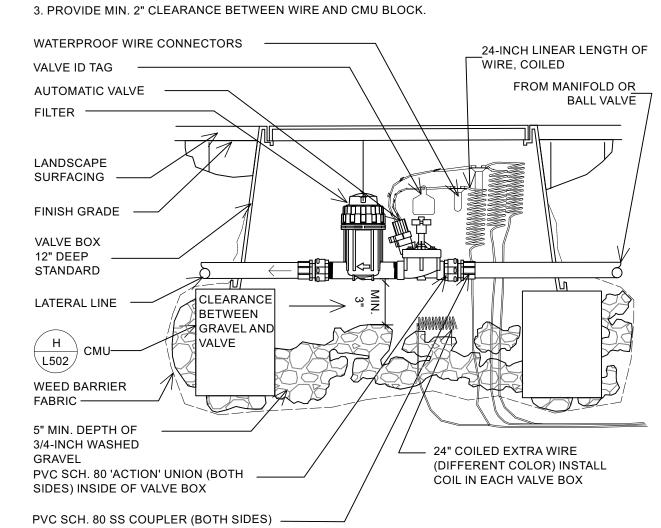


# CMU PLACEMENT

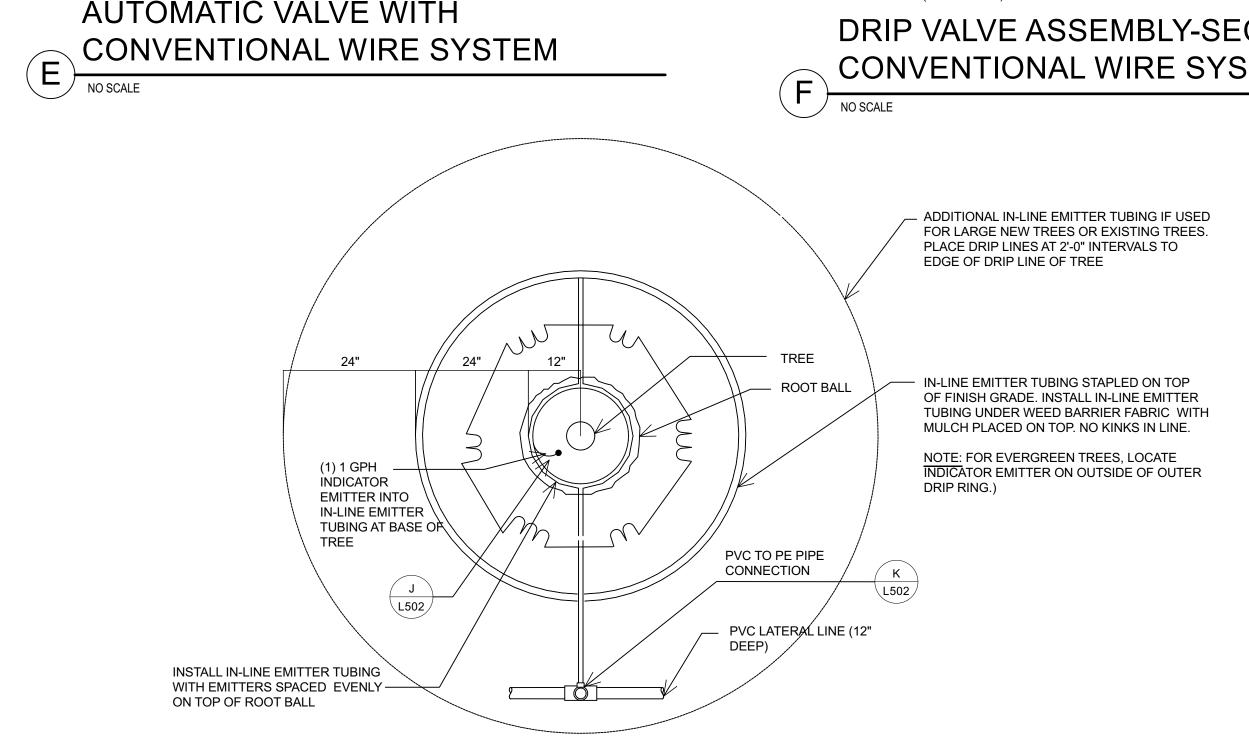


1. USE AT TREE RINGS AND AS CONNECTION FROM SUPPLY AND 2. DO NOT EXCEED (3) GPM FLOW THROUGH SINGLE CONNECTION

NOTES: 1. LIMIT 1 VALVE PER BOX. 2. 10" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.



DRIP VALVE ASSEMBLY-SECTION CONVENTIONAL WIRE SYSTEM



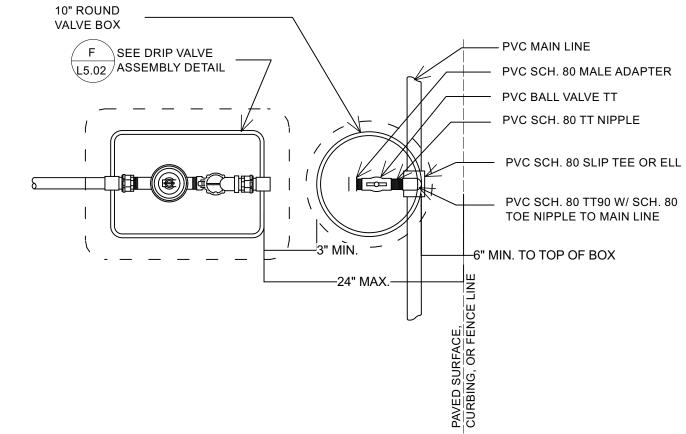
TREE DRIP - PLAN VIEW (Planter Areas)

NOTE: FITTINGS TO INLINE DRIP TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.

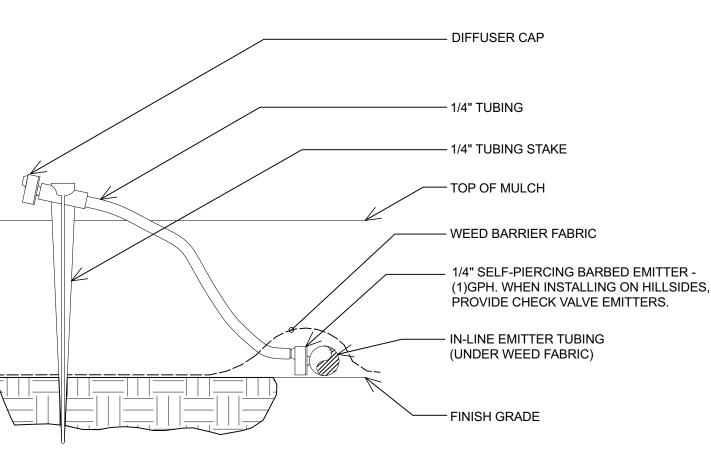
TRENCH SECTION -CONVENTIONAL WIRE SYSTEM

1. IF BALL VALVE IS INCLUDED WITH DRIP ZONE KIT, INCLUDE ENTIRE KIT WITHIN ONE BOX. REMOVE ROUND BOX. IF BALL VALVE IS PURCHASED SEPARATELY, INSTALL AS SHOWN, OR AS PER C/L502 FOR MULTIPLE DRIP VALVE ASSEMBLY.

2. WIRING NOT SHOWN. INSTALL AS PER CONVENTIONAL OR TWO-WIRE AUTOMATIC VALVE SECTIONS



G DRIP VALVE ASSEMBLY



1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING. 2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED. 3. 1/4" TUBING LENGTH: MINIMUM 14", MAXIMUM 24".

INDICATOR EMITTER

PVC TO IN-LINE EMITTER

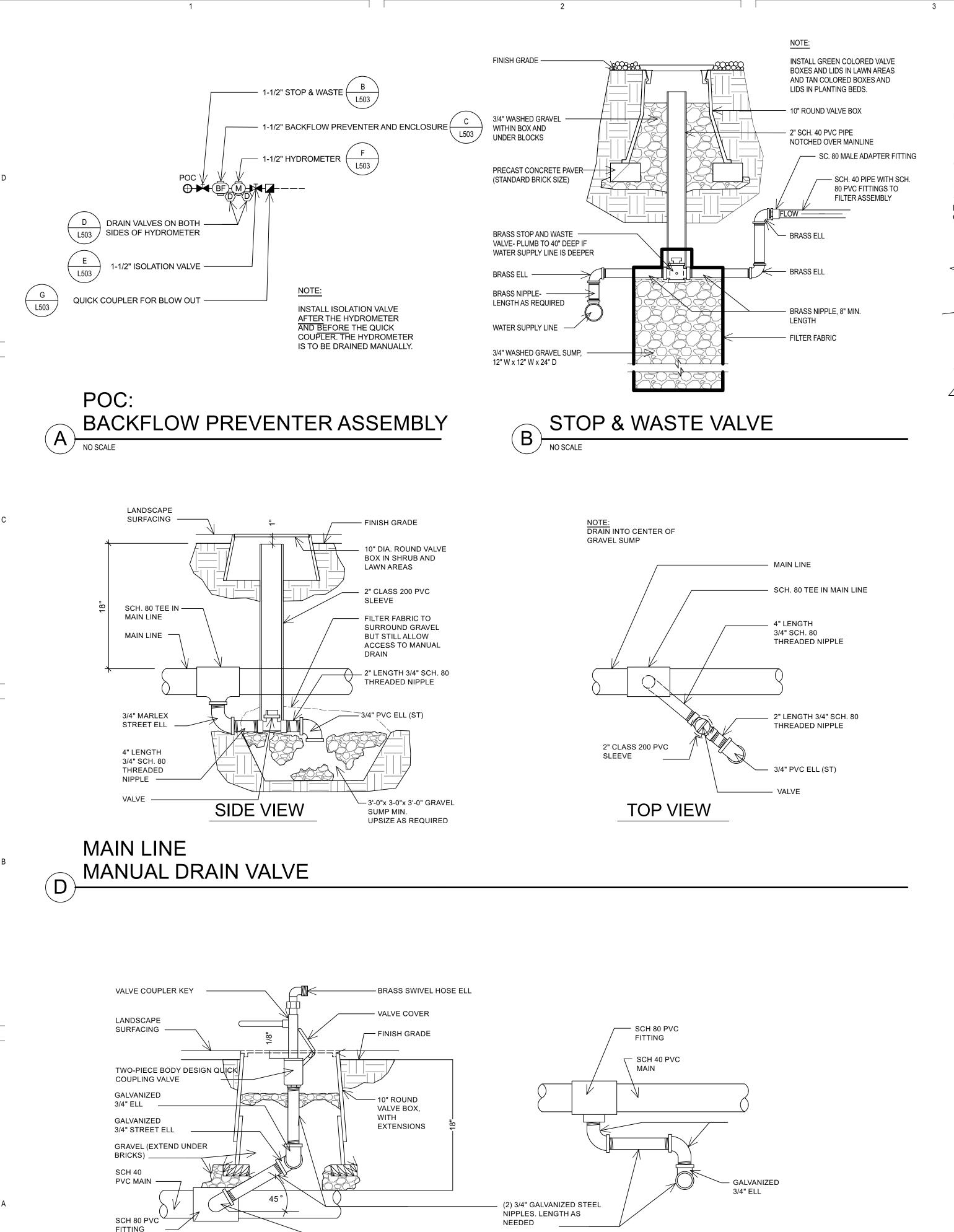
L502

501-2698

LDS CHURCH

OCTOBER 2023

DESCRIPTION



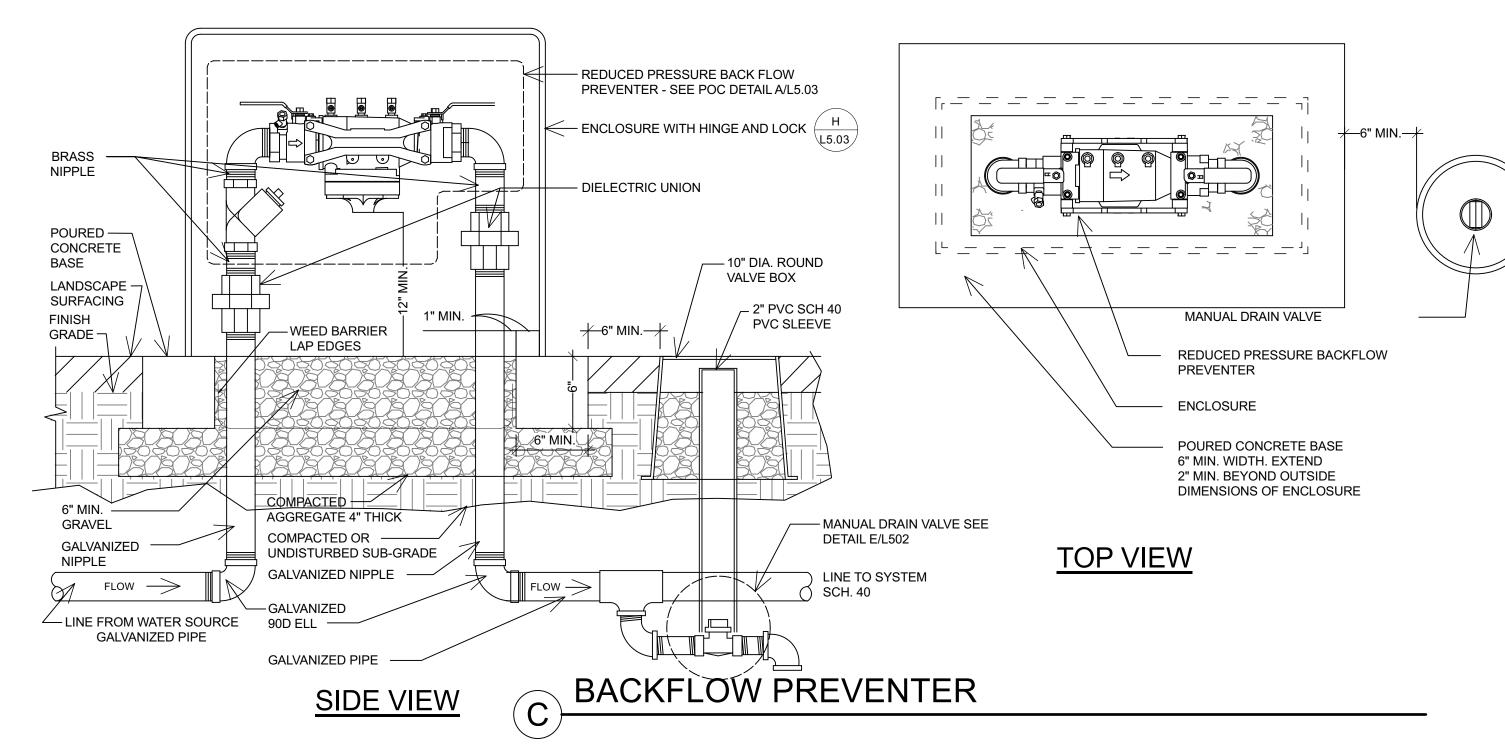
GALVANIZED

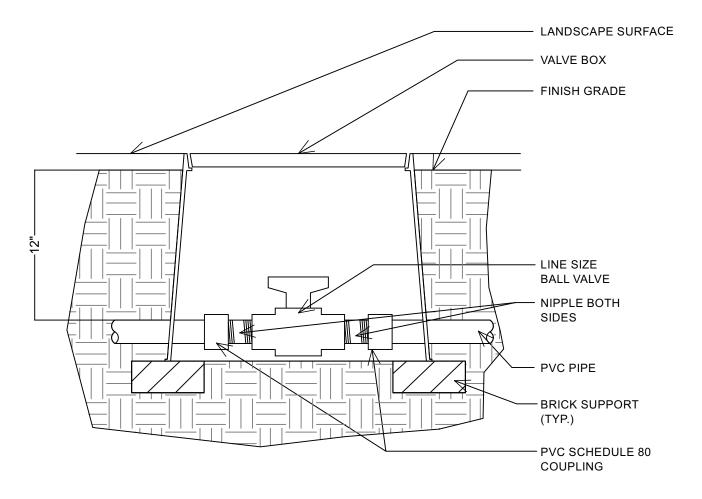
SIDE VIEW

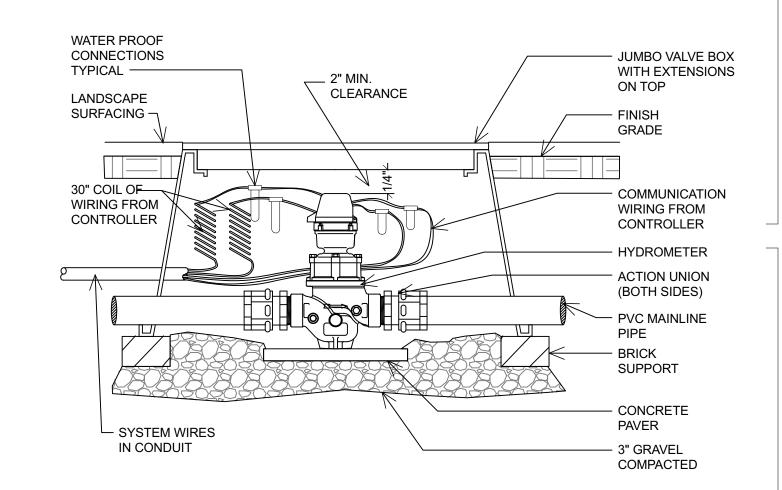
QUICK COUPLING VALVE

3/4" STREET ELL

**TOP VIEW** 

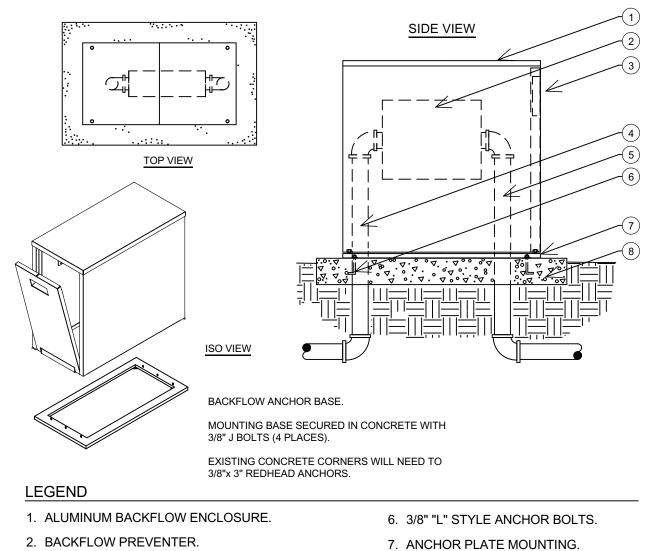








E ISOLATION VALVE



2. BACKFLOW PREVENTER.

- 3. HINGED DROP DOWN DOOR, PADLOCK AT TOP 4. WATER SERVICE INLET PIPING.
- 8. POURED CONCRETE BASE 6"
  MIN. THICKNESS EXTEND 4"
  BEYOND OUTSIDE DIMENSIONS OF
  ENCLOSURE. 5. WATER SERVICE OUTLET PIPING.

BACKFLOW ENCLOSURE

11200 ROCKY MOU ELK RIDGE, UTAH ELK RIDGE JOB NUMBER: 501-2698 OWNER: LDS CHURCH OCTOBER 2023

DESCRIPTION

uncommon

architects

**♦** McNEIL ENGINEERING

0 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.co

Civil Engineering • Consulting & Landscape Architecture

684 W Center St Midvale UT 84047

3

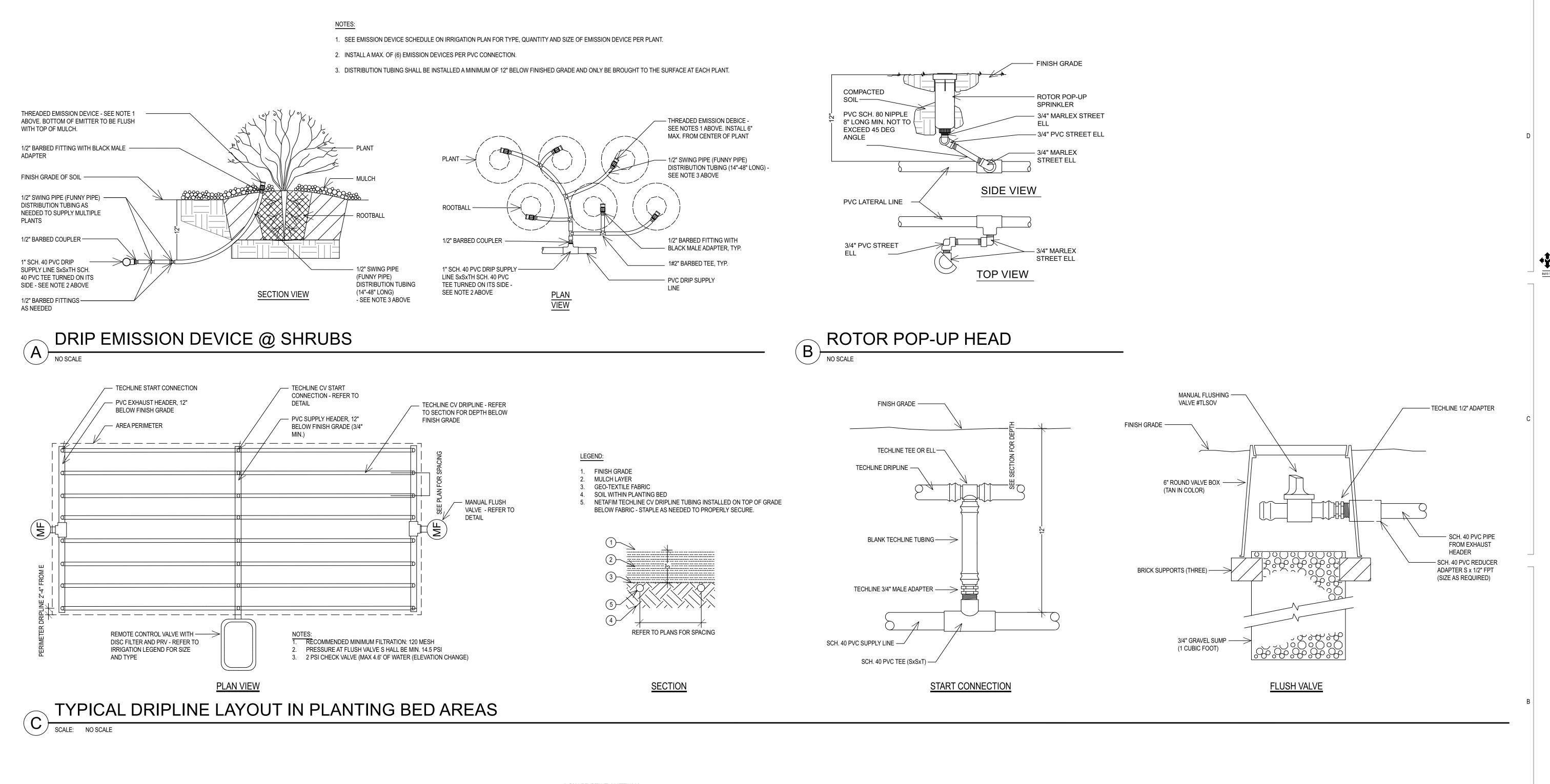
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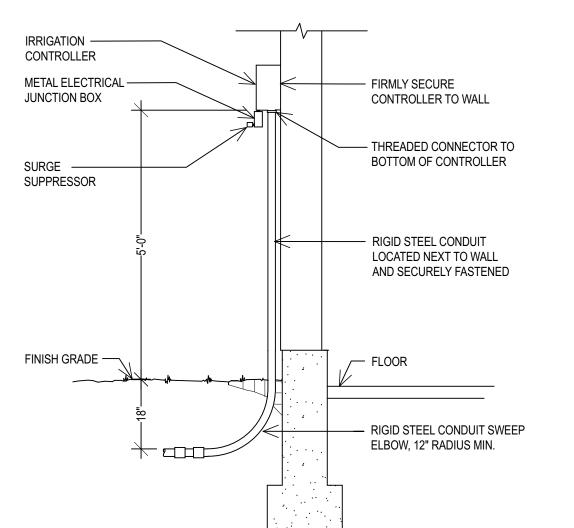
HERITA

LANDSCAPE **IRRIGATION DETAILS** 

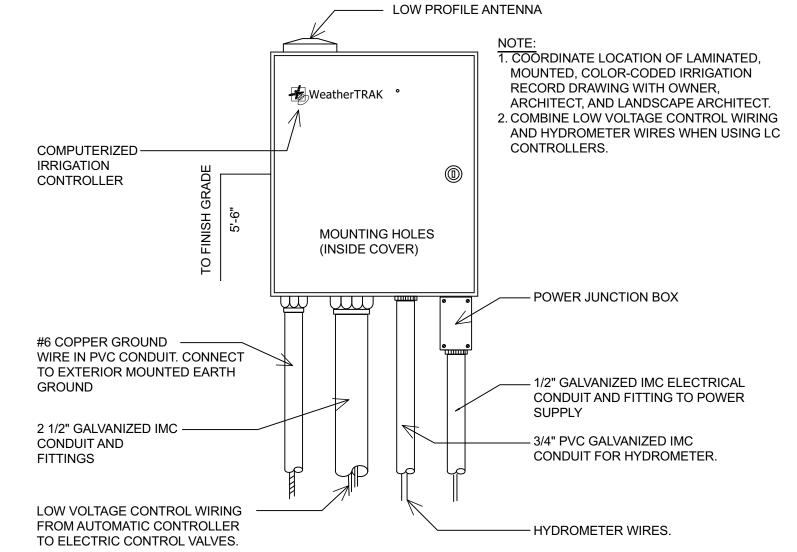
REV DATE

L503

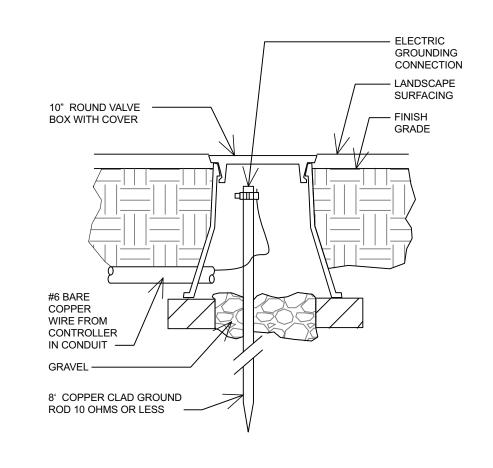




CONTROLLER







LIGHTNING GROUNDING ROD

uncommon architects

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 $\mathcal{C}$ 2 GE GE **HERITA** ELK RIDGE

OWNER:

JOB NUMBER: 501-2698 LDS CHURCH OCTOBER 2023

11200 ROCKY MOU ELK RIDGE, UTAH

DESCRIPTION REV DATE

LANDSCAPE **IRRIGATION DETAILS** 

L504

Cs = 0.7813. ALLOWABLE SOIL BEARING PRESSURE:

SEISMIC DESIGN CATEGORY: D

R: 1.25 (CANTILEVERED STEEL COLUMNS)

EQUIVALENT LATERAL FORCE PROCEDURE

SITE CLASS: D

1500 PSF ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC). USE CONSTRAINED CONDITIONS FOR CONCRETÉ PIERS

d. COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

## PAVILION CONSTRUCTION SEQUENCE NOTES:

1. VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.

a. BUILDING PERMIT PLANNING OR CONDITIONAL USE PERMIT

OBTAIN REQUIRED USE PERMIT

REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL. 3. LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.

4. DIG COLUMN CAISSONS. 5. PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL

6. SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY. 7. PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE

PLATE. LET CONCRETE CURE 7 DAYS. 8. SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO

RECEIVE GLU-LAM BEAMS. 9. AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS. TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.

10. THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.

11. NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH. 12. LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.

13. ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS. 14. ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT

BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE. 15. SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS'

16. INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING. 17. INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF

DIAPHRAGM DETAIL. 18. LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID UP TO RIDGE.

19. INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF. 20. INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE—FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.

21. PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES. 22. PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING

ARE SECURELY IN PLACE.

23. FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH. 24. AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.

25. INSTALL MEMBRANE CURING ON CONCRETE SLAB. 26. ALLOW CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK. 27. ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS. 28. STAIN ALL EXPOSED WOOD.

## **SITE PREPARATION:**

1. REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED. NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS

2. PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL

3. COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED

OTHERWISE BY GEOTECHNICAL REPORT).

4. INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

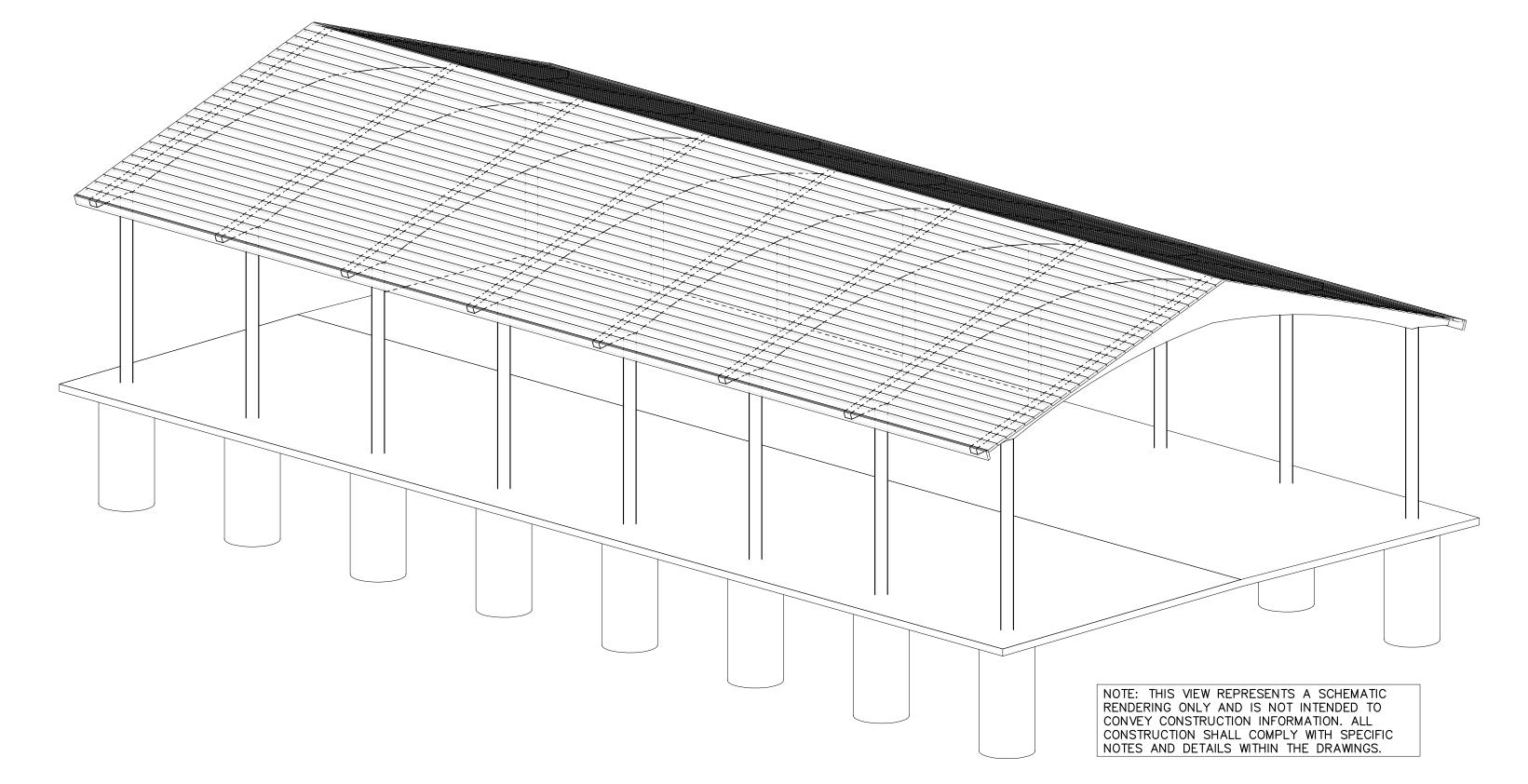
# **UTILITIES: (BY OTHERS)**

1. INSTALL PLUMBING LINE FOR COLD WATER.

2. INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SCOPE- ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.



### CONCRETE:

- 1. CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- 2. EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES
- 3. PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- 4. MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
- a. COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS
- b. MAX W/C: 0.45 c. 6% (+/-1.5%) AIR ENTRAINMENT.
- d. CEMENT TYPE II/V e. DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
- e.a. F2, S1 (PER ACI 318 TABLEL 4.2.1)
- f. LIMIT SLUMP TO 4" (+/-1")VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318. 7. SLAB TO BE SEALED WITH WEATHERWORKER J—29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION.
- INSTALL AS PER MANUFACTURERS INSTRUCTIONS. 8. MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

## STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, Fy = 46,000 PSI 3. ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL
- WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- 4. ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 55. 5. ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- 6. ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE
- 7. ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

## WOOD:

- GLU-LAM BEAMS:
  - SOUTHERN YELLOW PINE
  - 24F-V3 STRESS COMBINATION 2-INCH NOMINAL THICK LAMINATIONS
  - 5" MINIMUM WIDTHS
- RESORCINOL ADHESIVE
- DOUBLE PITCHED AND TAPERED
- ARCHITECTURAL APPEARANCE GRADE STAIN AND SEAL FINISH
- ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
- MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS — STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
- m. MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
- FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION. TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS
- FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER. USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
- PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED. 2. ROOF FRAMING
- USE GALVANIZED NAILS.
  - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS. MITER ENDS OF FASCIA AT CORNERS
  - BUTT FASCIA ONLY AT BEAM ENDS
  - 3) FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE. c. 2x8 ROOF DECK:
  - DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED, AND STAINED - NO. 2 GRADE.
  - 2) DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
  - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL
  - DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
  - 4) INSTALL WITH TONGUES UP ON SLOPED ROOFS.
- 3. ROOF SHEATHING:
- a. 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/O SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
- b. INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH 3 STAPLES PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH
- (2) ROWS OF STAPLES AT 8" O.C. c. PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

# ROOF SYSTEM

- 1. 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- 2. PROFILE NOMINAL SIZE: 13"x 39 3/8"
- 3. EXPOSURE: 5 5/8"
- 4. COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- 5. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 6. PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

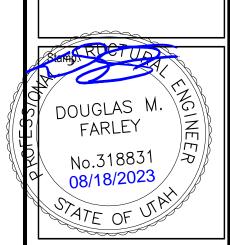
1. BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY

# **ELASTOMERIC JOINT SEALANTS:**

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT. CLEAN AND PREPARE SURFACES.
- 4. USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS. 5. PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- 6. INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

# PLUMBING AND ELECTRICAL: (BY OTHERS)

1. COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.



 $\nabla$ lulam Optic 0

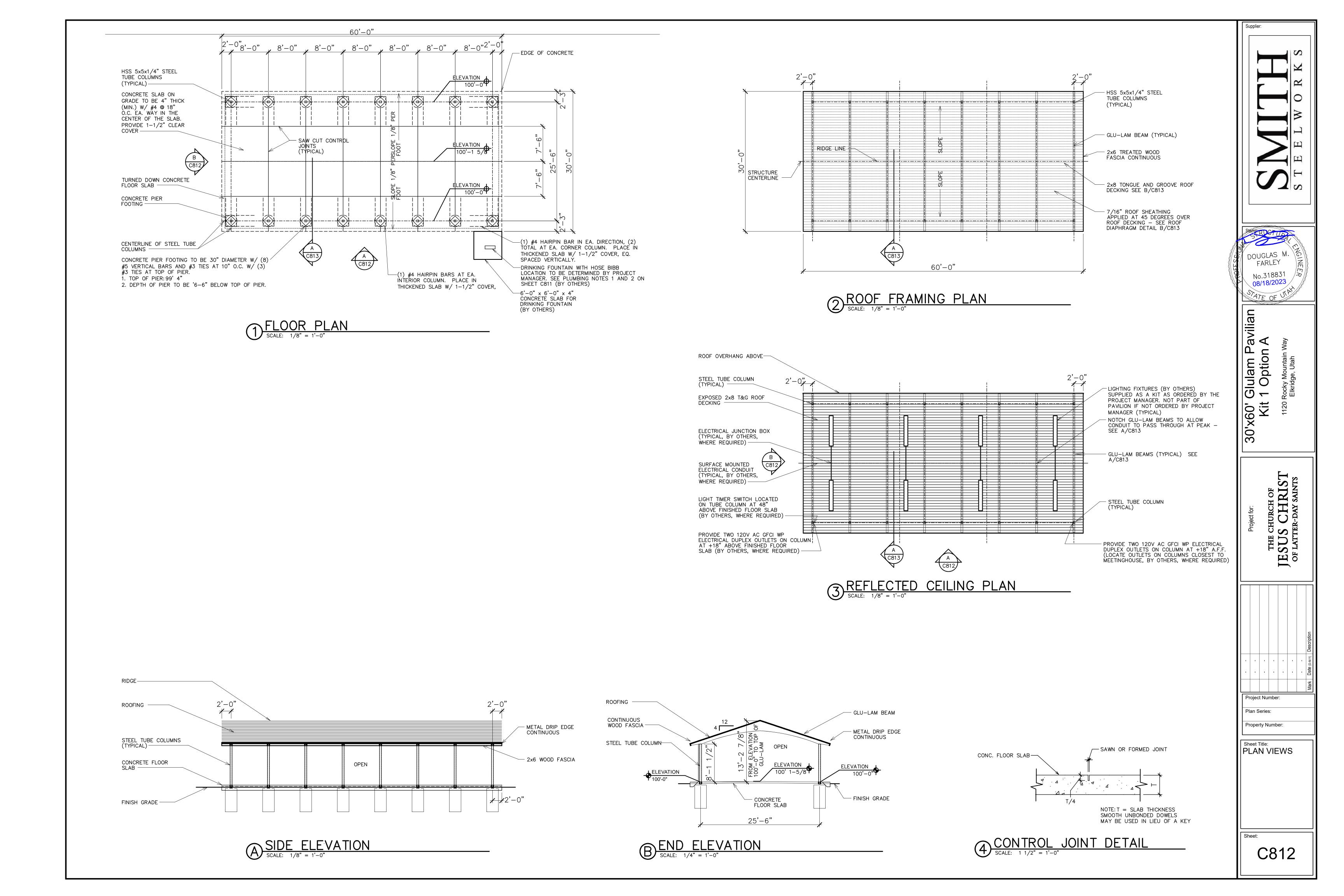
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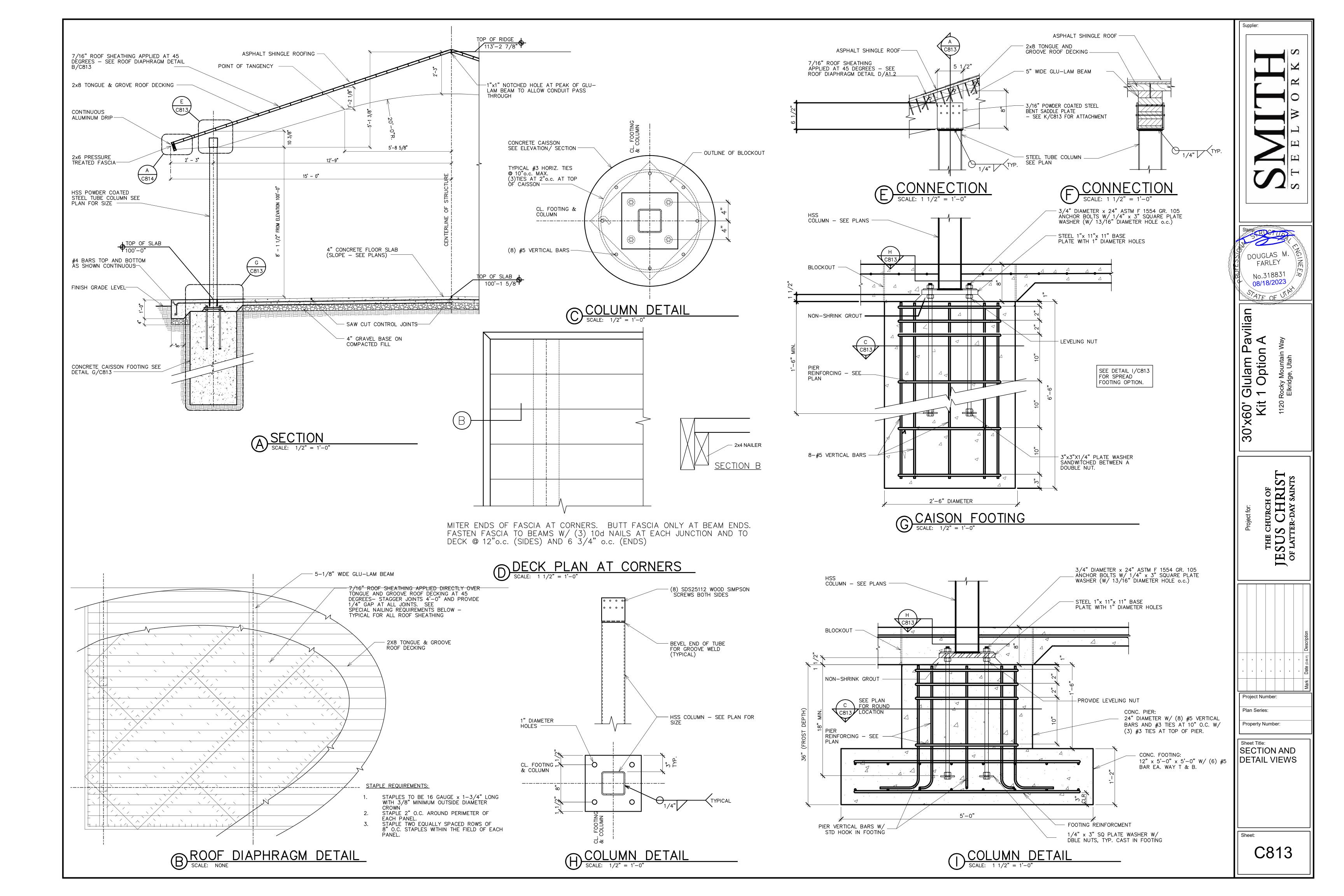
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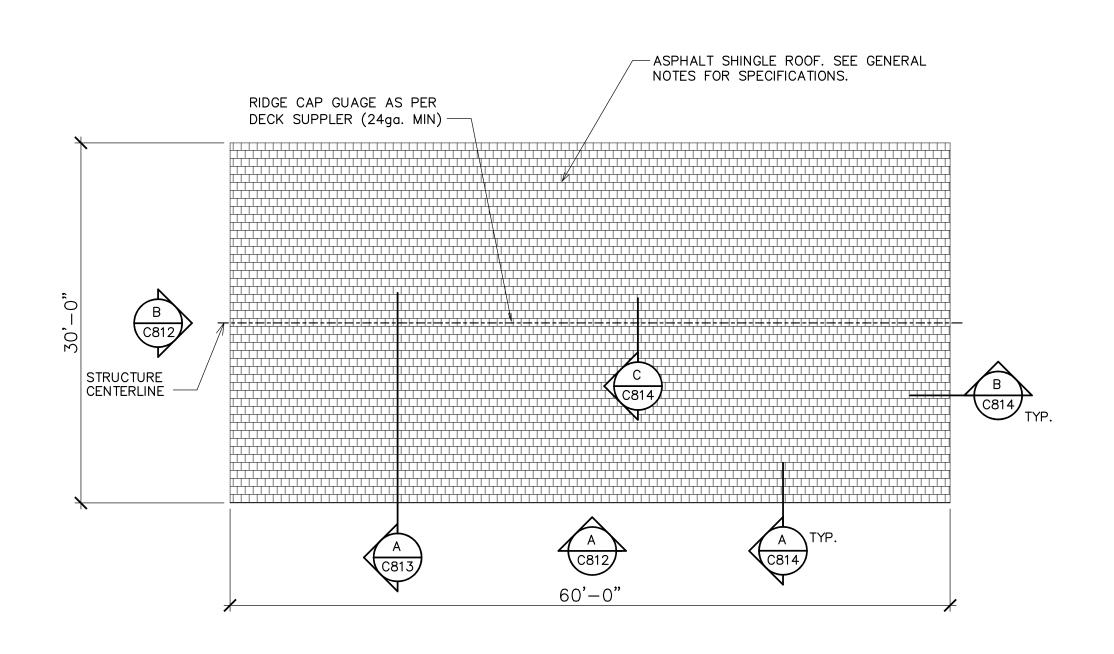
Plan Series:

PLAN VIEWS

**Property Number:** 

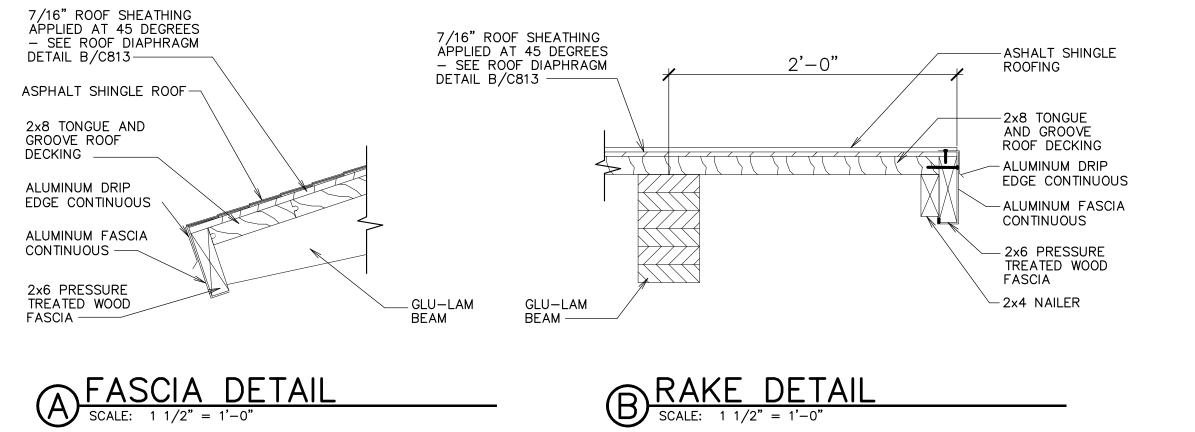


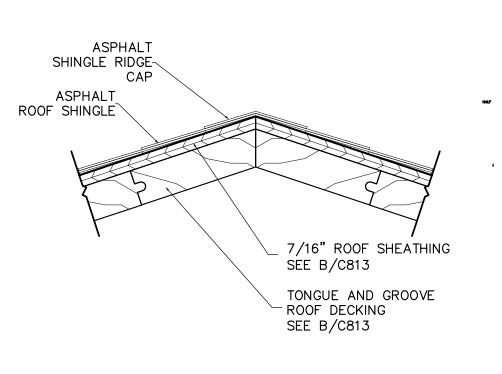




ROOF PLAN

SCALE: 1/8" = 1'-0"





RIDGE CAP DETAIL

SCALE: 3" = 1'-0"

DOUGLAS M. FARLEY No.318831 08/18/2023

STATE OF UTA

30'x60' Glulam Pavilian Kit 1 Option A

Project Number:

Property Number:

Sheet Title:
ROOF VIEWS
AND DETAILS

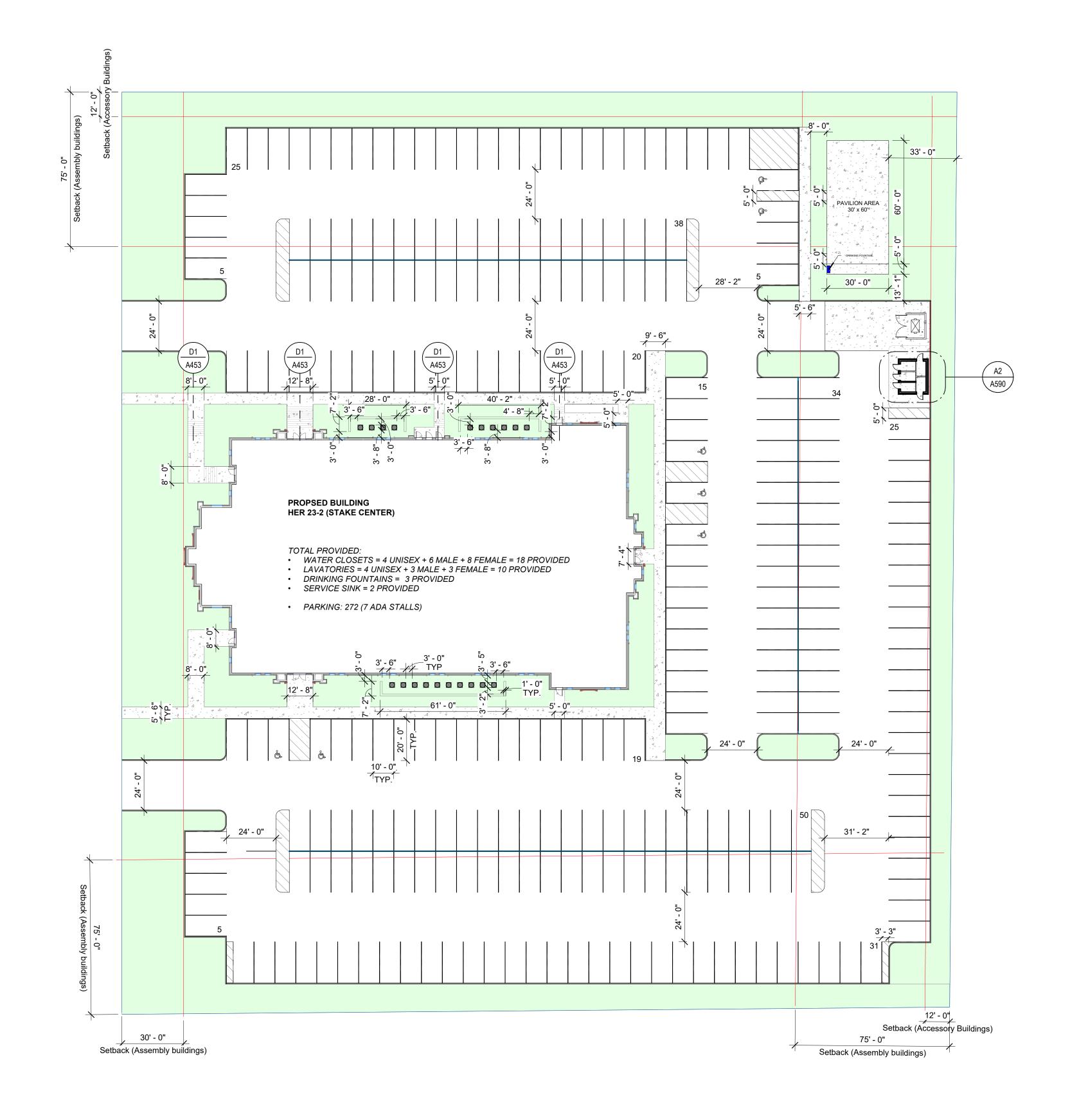
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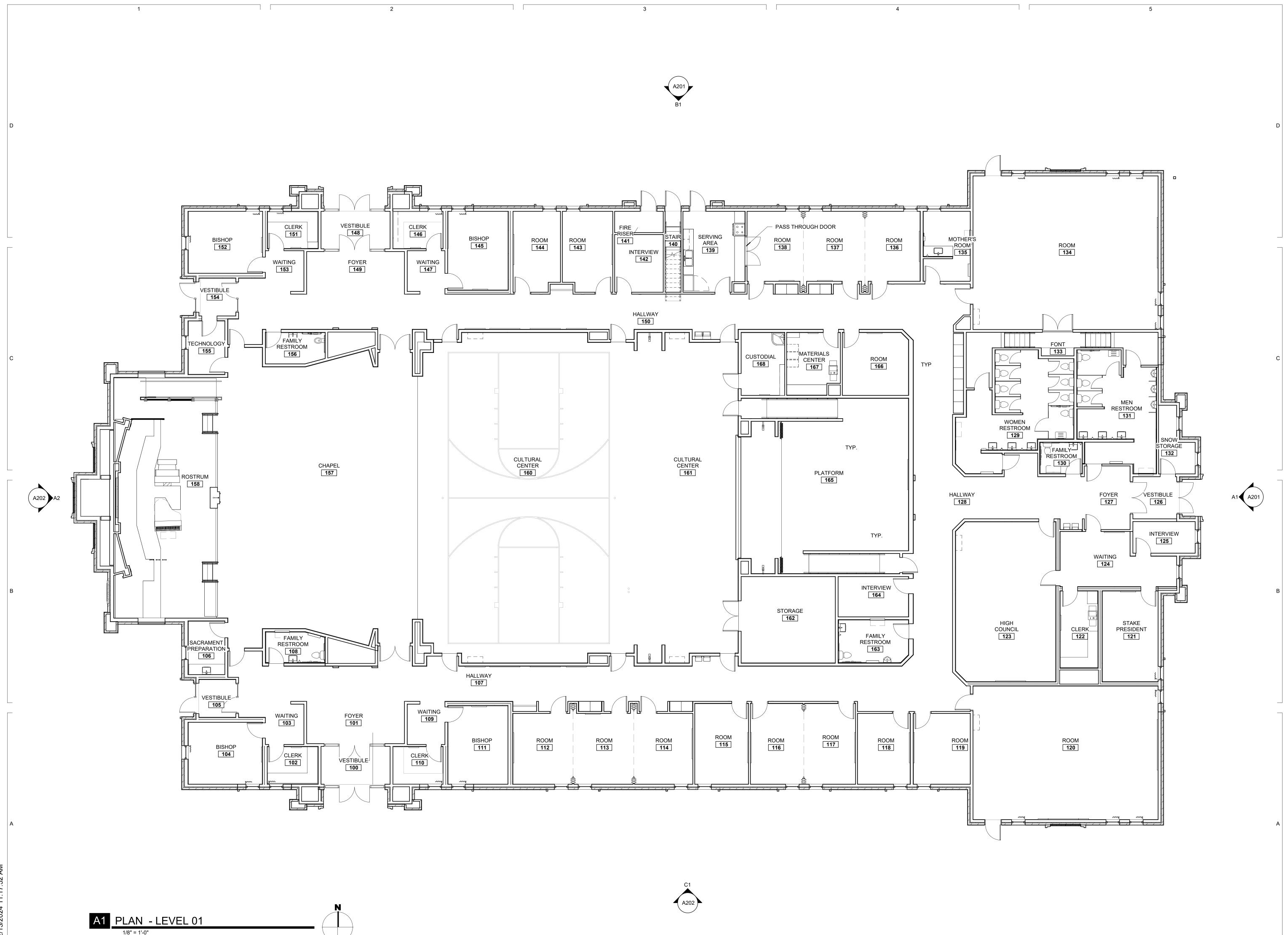
DESCRIPTION REV DATE

501-2698

03.21.2024

ARCHITECTURAL SITE PLAN







684 W Center St Midvale UT 84047 uncommonarch.com (801) 417-9951



OWNER / Church of Jesus Christ of Latter Day
Saints **DEVELOPER:** CONTACT INFO:

James dzineku (801) 240-5174 JDzhineku@churchofjesuschrist.org 50E North Temple St Salt Lake City UT

23 GE **UT HERITA** ELK RIDGE

OWNER: 02.09.2024

REV DATE

DESCRIPTION

1120 ROCKY MOUNTAIN WAY ELK RIDGE, UTAH COUNTY, UTAH 84 -

ANNOTATED PLAN - LEVEL 01





684 W Center St uncommonarch.com Midvale, UT 84047 (801) 417-9951



ELK RIDGE UT HERITAGE 23-2

JOB NUMBER:
OWNER:
DATE:

REV DATE DESCRIPTION

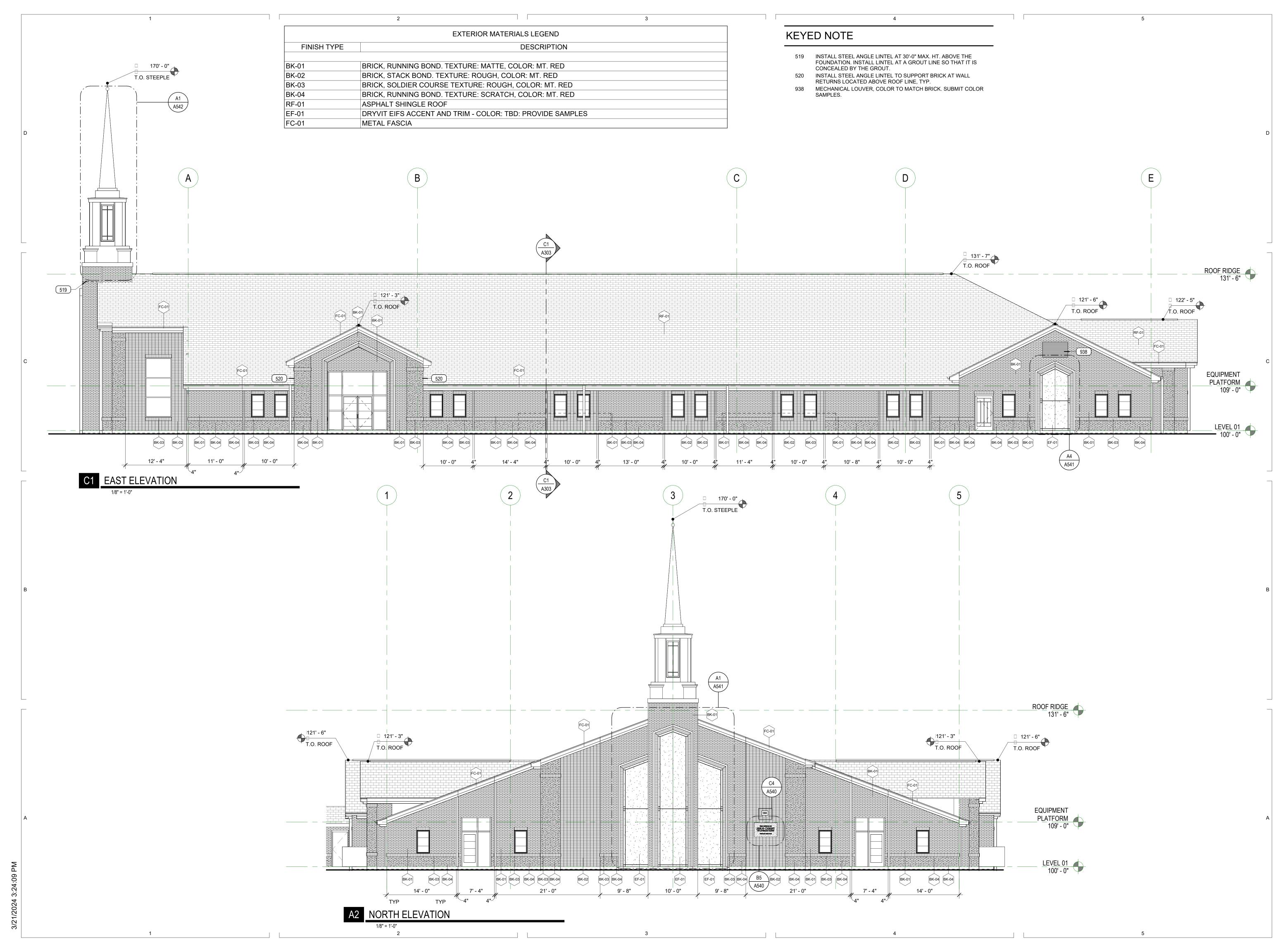
1120 ROCKY MOUNTAIN V ELK RIDGE, UT 84651 -

501-2698

03.21.2024

EXTERIOR ELEVATION

**A201** 





684 W Center St uncommonarch.com Midvale, UT 84047 (801) 417-9951



ELK RIDGE UT HERITAGE 23-2

JOB NUMBER: OWNER: DATE:

REV DATE DESCRIPTION
1 03/11/202 ADDENDUM #1
4

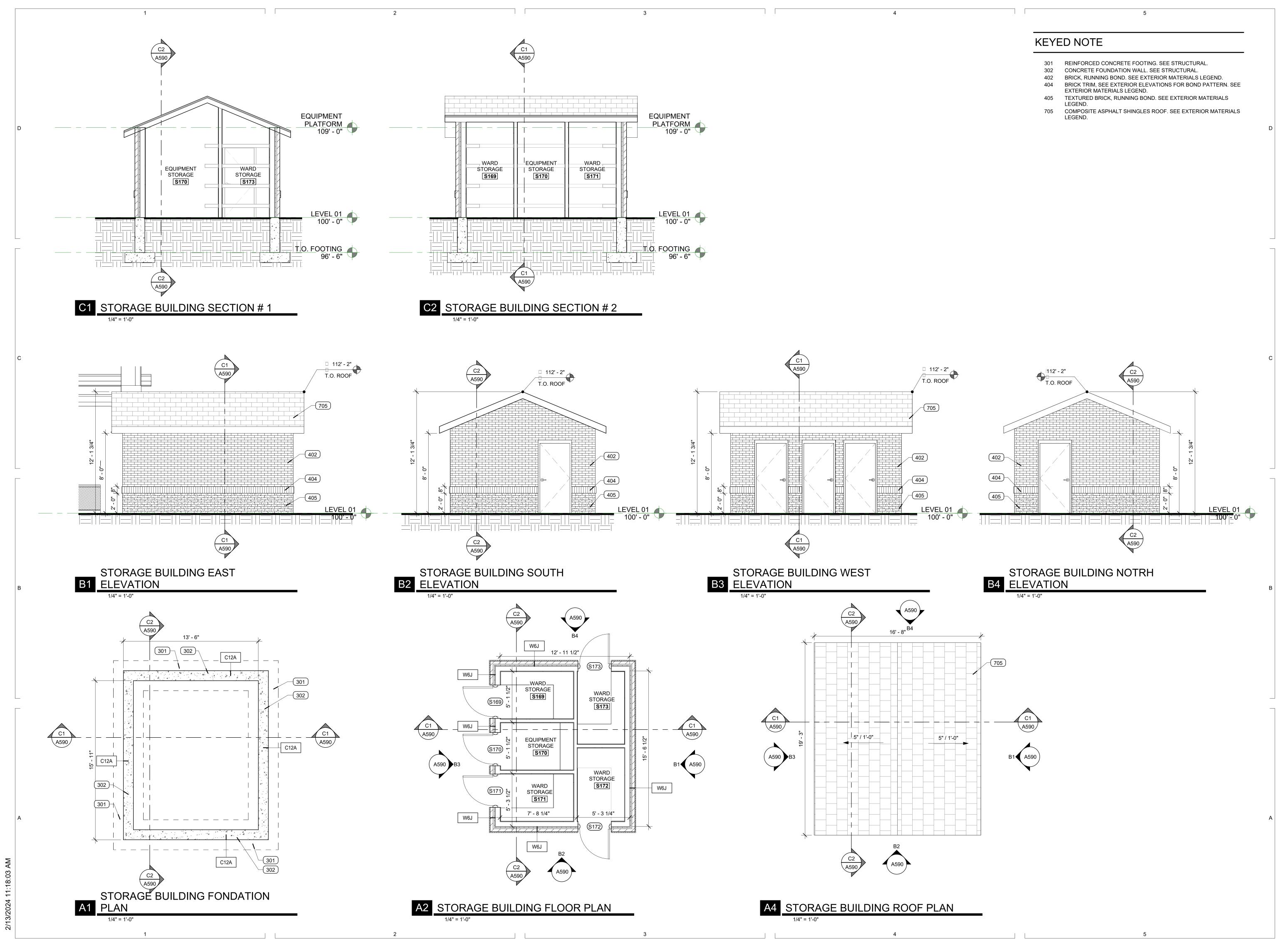
501-2698

03.21.2024

1120 ROCKY MOUNTAIN V ELK RIDGE, UT 84651 -

EXTERIOR ELEVATION

**A202** 



uncommon orchitects

684 W Center St uncommonarch.com Midvale UT 84047 (801) 417-9951



OWNER / Church of Jesus Christ of Latter Day DEVELOPER:

CONTACT INFO:

CONTACT INFO:
James dzineku
(801) 240-5174
JDzhineku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT
84150

HERITAGE 23-2

ELK RIDGE

1120 ROCKY MOUNTAIN WAY ELK RIDGE, UTAH COUNTY, UTAH 84

JOB NUMBER: 501-2698

OWNER: Church of Jesus Christ of Latter Day Saints

DATE: 02.09.2024

REV DATE DESCRIPTION

STORAGE BUILDING DETAILS

**A590**