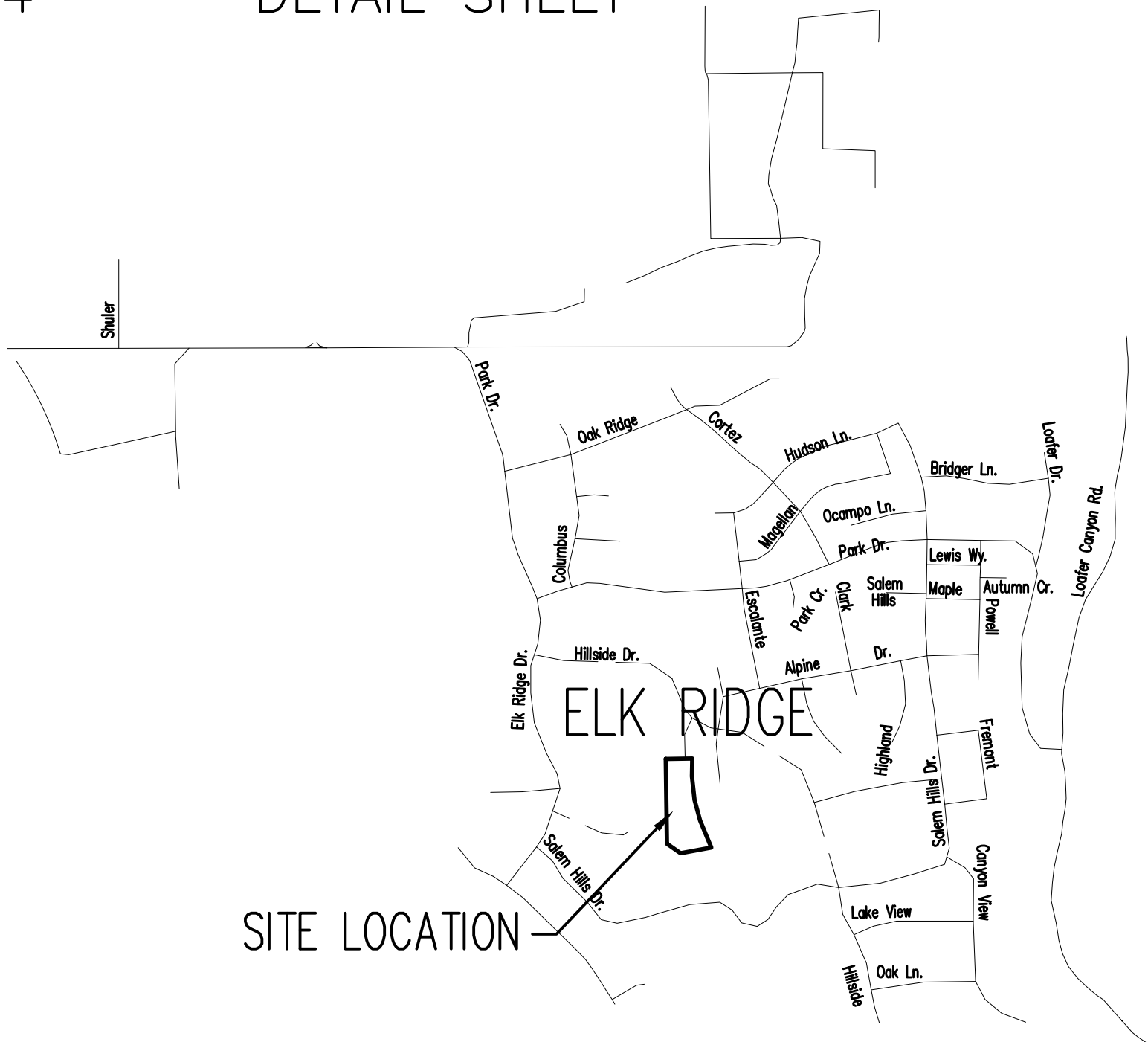


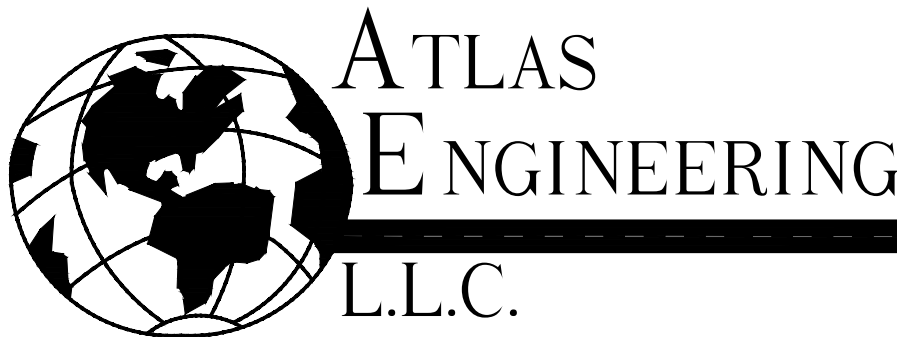
BARTON SUBDIVISION
A RESIDENTIAL SUBDIVISION
FINAL PLAN SET
ELK RIDGE, UTAH

-SHEET INDEX-

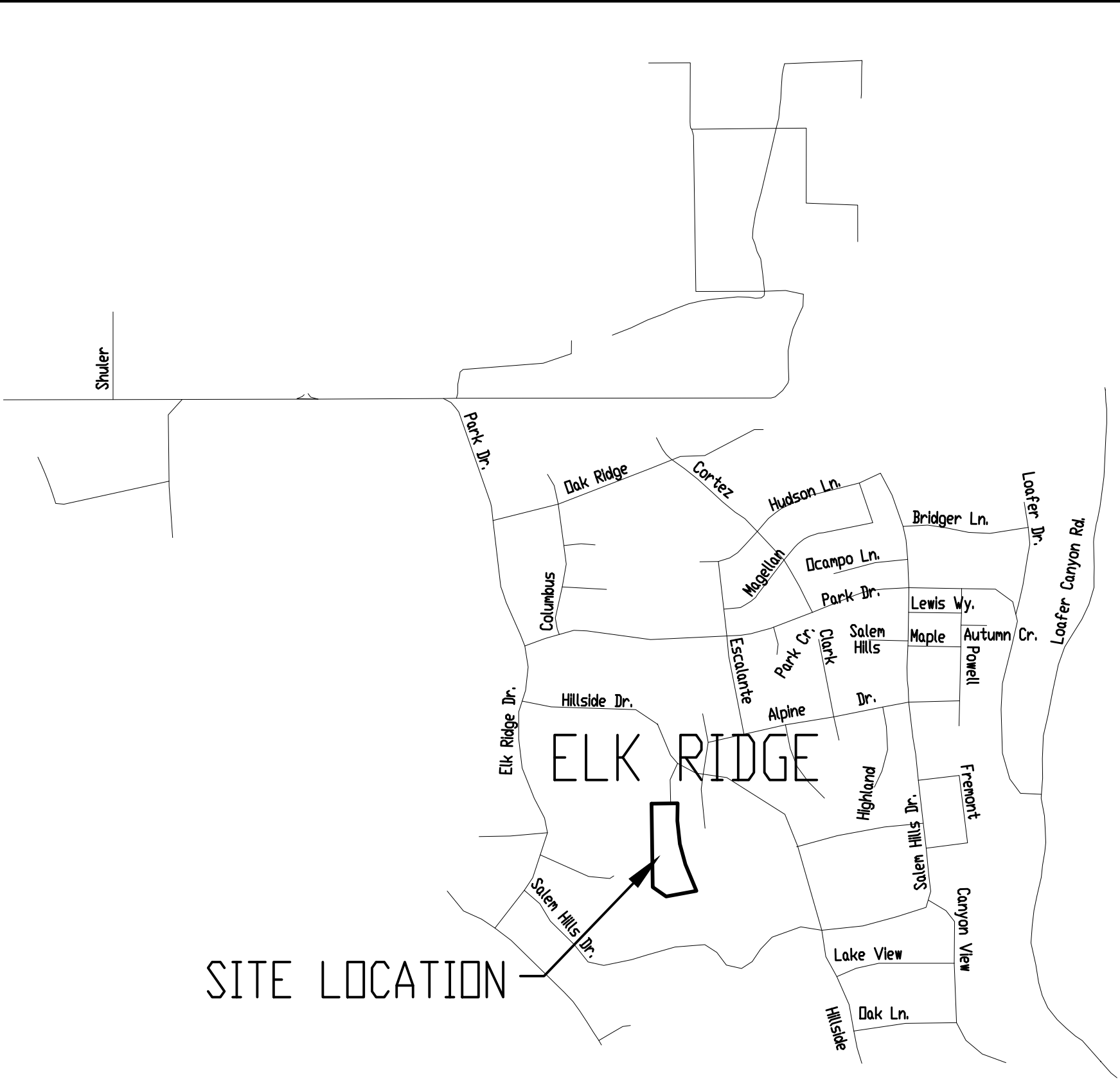
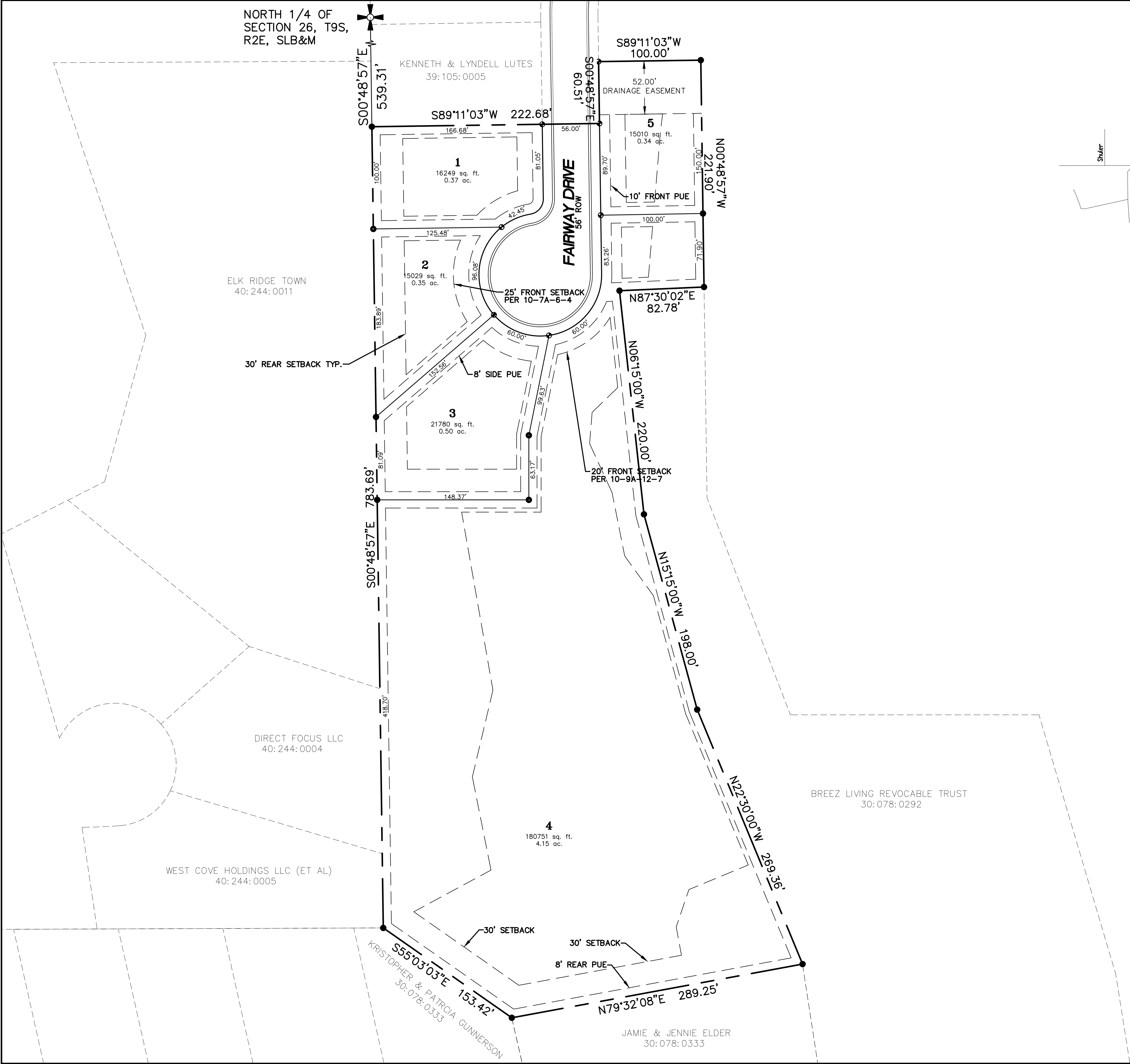
<i>SHEET</i>	<i>SHEET NAME</i>
1	COVER & INDEX
2	OVERALL BOUNDARY
3	UTILITY & INDEX
4	SLOPE ANALYSIS/SENSITIVE LANDS PLAN
5	REVEGETATION/RETENTION PLAN
6	FINAL PLAT
PP-01	PLAN & PROFILE – FAIRWAY DRIVE – STA. 11+00 TO STA. 14+32
DT-01	DETAIL SHEET
DT-02	DETAIL SHEET
DT-03	DETAIL SHEET
DT-04	DETAIL SHEET



VICINITY MAP



PHONE: 801-655-0566
FAX: 801-655-0109
946 EAST 800 NORTH
SUITE A
SPANISH FORK, UT 84660



SITE LOCATION

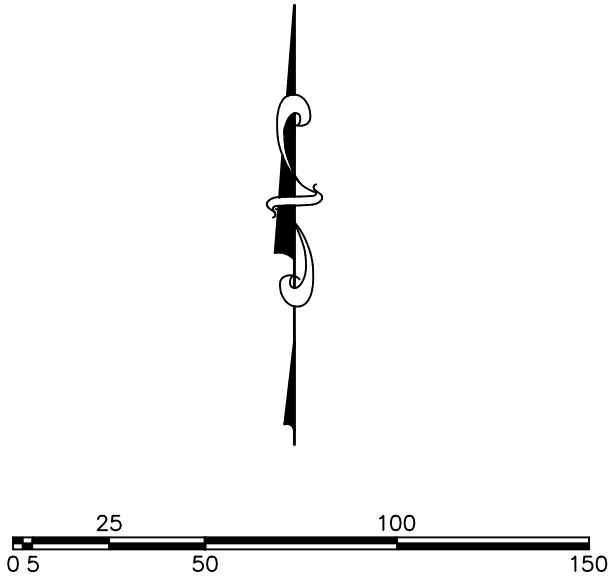
VICINITY MAP

DEVELOPER
RICH BARTON
richbarton@live.com
(801) 367-5099

ENGINEER
ATLAS ENGINEERING
946 E. 800 N. SUITE A
SPANISH FORK, UTAH 84606
(801) 655-0566

LEGEND

- SET SUBDIVISION MONUMENT
- FOUND BRASS CAP
- SET 5/8" IRON PIN
- SET CURB PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- SETBACK



(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

BARTON SUBDIVISION

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
FAX: 801-655-0109
946 EAST 800 NORTH
SUITE A
SPANISH FORK, UT 84660

OVERALL BOUNDARY

ELK RIDGE, UTAH

SHEET NO.

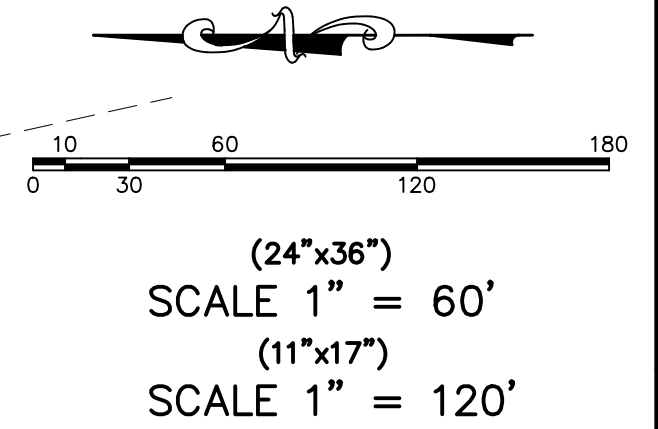
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1. CONTRACTOR TO ENSURE MINIMUM DISTANCE OF 10' BETWEEN SEWER LINE AND CULINARY WATERLINE.
2. SITE CLEARING AND GRUBBING SHOULD BE OBSERVED BY A CMT GEOTECHNICAL ENGINEER TO ASSESS THAT SUITABLE NATURAL SOILS HAVE BEEN EXPOSED AND ANY DELETERIOUS MATERIALS, LOOSE AND/OR DISTURBED SOILS HAVE BEEN REMOVED, PRIOR TO SITE GRADING FILLS, SLABS, AND PAVEMENTS.

① EXISTING SEWER CLEANOUT TO BE REMOVED.
② EXISTING SEWER LINE TO BE REMOVED/REPLACED.



25' FRONT SETBACK EXCEPTION IN R-1+15,000 ZONE PER 10-7A-6-4 (LOTS 1, 2, 3 & 5)

ELK RIDGE TOWN
40:244:0011

DIRECT FOCUS LLO
40:244:0004

WEST COVE HOLDINGS LLC (ET AL)
40:244:0005

KENNETH & LYNDELL LUTES
39:105:0005

FAIRWAY DRIVE

Lot 5
Buildable Area
2,757 sq. ft.
0.06 ac.

BUILDING ENVELOPE TYP.

CENTERLINE DRAINAGE RAVINE

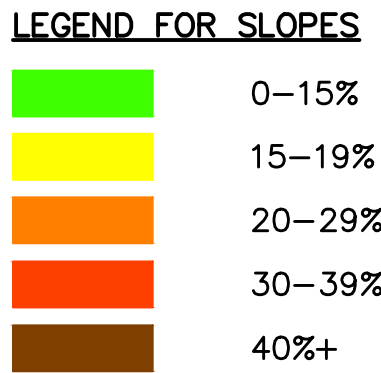
STEEP SLOPES ARE MAN MADE

Buildable Area
1,399 sq. ft.
0.03 ac.

20' FRONT SETBACK PER 10-9A-12-7

RAVINE LEAVES SUBJECT PROPERTY AND REMAINS OVER 30 FEET AWAY FROM THE PROPERTY.

STEEP SLOPES ARE MAN MADE



Lot 4
Buildable Area
101,154 sq. ft.
2.32 ac.

BREEZ LIVING REVOCABLE TRUST
30:078:0292

30:078:0333

30:078:0333

NOTES:

1. IN ACCORDANCE WITH 10-9A-10-3, THERE ARE NO RIDGELINES OR FAULT LINES ON THE PROPERTY AS DEPICTED ON THE CITY SENSITIVE LANDS MAP.
2. PER 10-9A-10-2, THE AREA 30 FEET FROM THE RAVINE HAS BEEN EXCLUDED FROM THE BUILDING ENVELOPES AND WILL BE DESIGNATED AS "OPEN SPACE" ON THE FINAL PLAT.
3. PER 10-9A-10-4, NO FAULT LINES ARE SHOWN ON OR SURROUNDING WITH IN 100 FEET OF THIS PROPERTY ON THE SENSITIVE AREAS MAP NOR WERE ANY FOUND IN THE GEO-TECHNICAL STUDY.
4. IN ACCORDANCE WITH 10-9A-10-5 AND ACCORDING TO THE CITY SENSITIVE LANDS MAP, THE RAVINE/DRAINAGE LOCATION SHOWN IS ALSO CONSIDERED A WILDLIFE CORRIDOR. THIS CORRIDOR IS BEING MAINTAINED BY THE REQUIRED OPEN SPACE.
5. IN ACCORDANCE WITH 10-9A-10-6 AND PER THE GEOTECH REPORT BY CMT ENGINEERING PROJECT NO. 17685 DATED JANUARY 11, 2022, THERE ARE NO UNSTABLE SOILS ON THE PROJECT.
6. PER 10-9A-10-7, SLOPES GREATER THAN 20% HAVE BEEN EXCLUDED FROM THE BUILDING ENVELOPE OF LOT 4 IN THE HR-1 ZONE AND SHALL BE DESIGNATED AS OPEN SPACE.
7. DRIVEWAY NOT TO BE GREATER THAN 12% SLOPE, 15% IF HEATED.
8. CUT/FILL SLOPES TO BE LESS THAN 7FT.
9. PLAN SHOWS 25 FT FRONT SETBACK TO MINIMIZE IMPACT TO SENSITIVE AREAS AND UTILIZE THE NATURAL TERRAIN PER ELK RIDGE CITY CODE, LOT DESIGN REQUIREMENTS 10-9A-12 AND GRADING OF INDIVIDUAL BUILDING LOT 10-9A-17.
10. CUT AND FILLS SHALL BE NO STEEPER THAN 2:1 WITH EROSION CONTROL. THE MAXIMUM CUMULATIVE CUT AND FILL ALLOWED ON SITE IS 15 FT.
11. THE ALLOWABLE BUILDING ENVELOPES HAVE BEEN SHOWN FOR EACH LOT. UPON DEVELOPMENT, INDIVIDUAL LOTS WILL BE REQUIRED TO HAVE A SITE GRADING AND LANDSCAPING PLAN. THIS NEEDS TO SHOW THE HOME LOCATION, REQUIRED GRADING FOR THE DEVELOPED BUILDING AREA AND LANDSCAPING FOR THE LOT. UNDISTURBED AREAS ARE TO REMAIN OPEN SPACE.

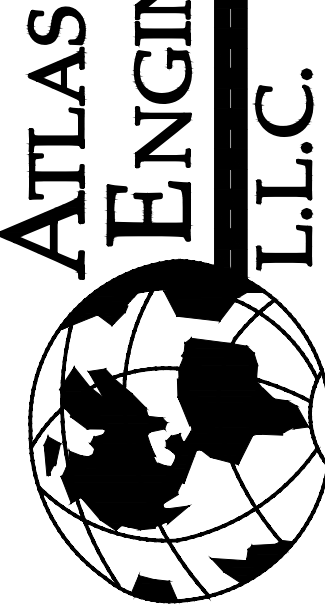
SHEET NO.

4

SLOPE ANALYSIS /
SENSITIVE LANDS PLAN

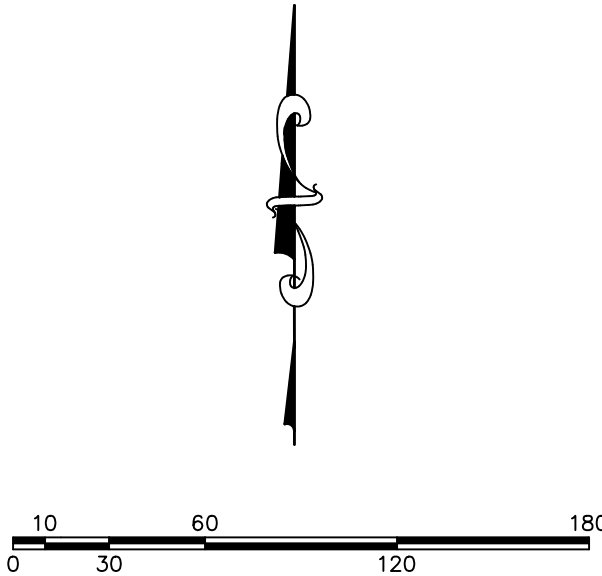
ELK RIDGE, UTAH

BARTON SUBDIVISION



PHONE: 801-655-0566
FAX: 801-655-0109
946 EAST 800 NORTH
SUITE A
SPANISH FORK, UT 84660

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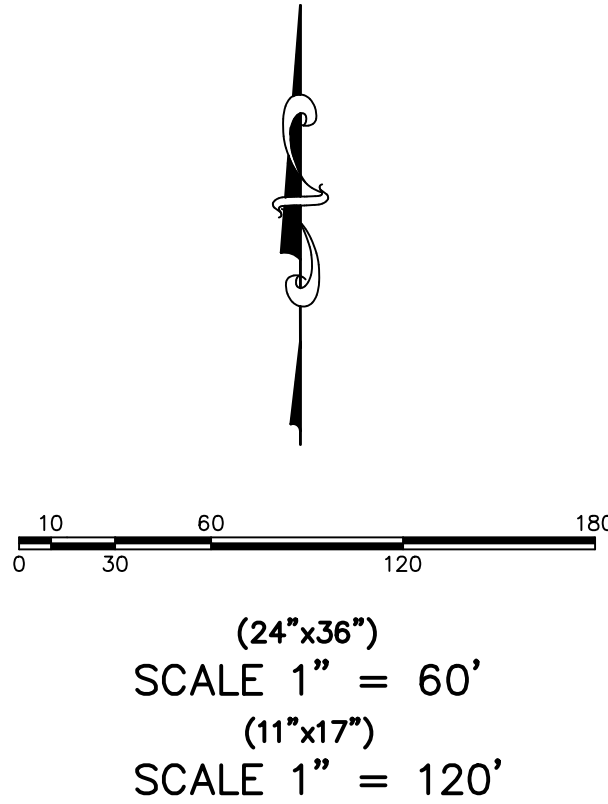


(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'



- NOTES:**
1. AREA DISTURBED DURING CONSTRUCTION WILL BE LANDSCAPED OR RESEEDED WITH NATIVE TOPSOILS THAT CONTAIN NATIVE SEED.
 2. NATURAL VEGETATION ON STEEP SLOPES THAT ARE NOT PART OF BUILDING ENVELOPE AND OTHER ENVIRONMENTALLY SENSITIVE AREAS ON THE SITE WILL REMAIN IN OPEN SPACE.
 3. UPON DEVELOPMENT, INDIVIDUAL LOTS WILL BE REQUIRED TO HAVE A SITE GRADING AND LANDSCAPING PLAN. THIS NEEDS TO SHOW THE HOME LOCATION, REQUIRED GRADING FOR THE DEVELOPED BUILDING AREA AND LANDSCAPING FOR THE LOT. UNDISTURBED AREAS ARE TO REMAIN OPEN SPACE.
 4. LOTS 1, 2, 3 & 5 ARE LOCATED IN THE R-1-15,000 ZONE. LOT 4 IS LOCATED IN THE HR-1 ZONE.

THIS DRAWING HAS BEEN CREATED TO FULFILL THE REQUIREMENTS FOUND IN ELK RIDGE LAND USE CODE 10-9A-10-8.



BARTON SUBDIVISION



REVEGETATION / RETENTION
PLAN

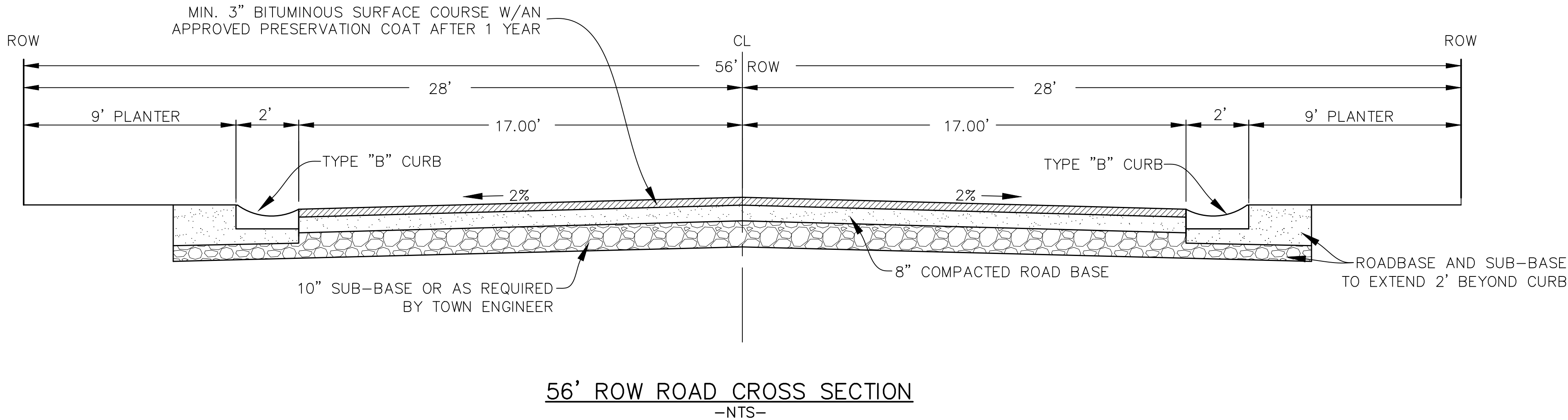
ELK RIDGE, UTAH

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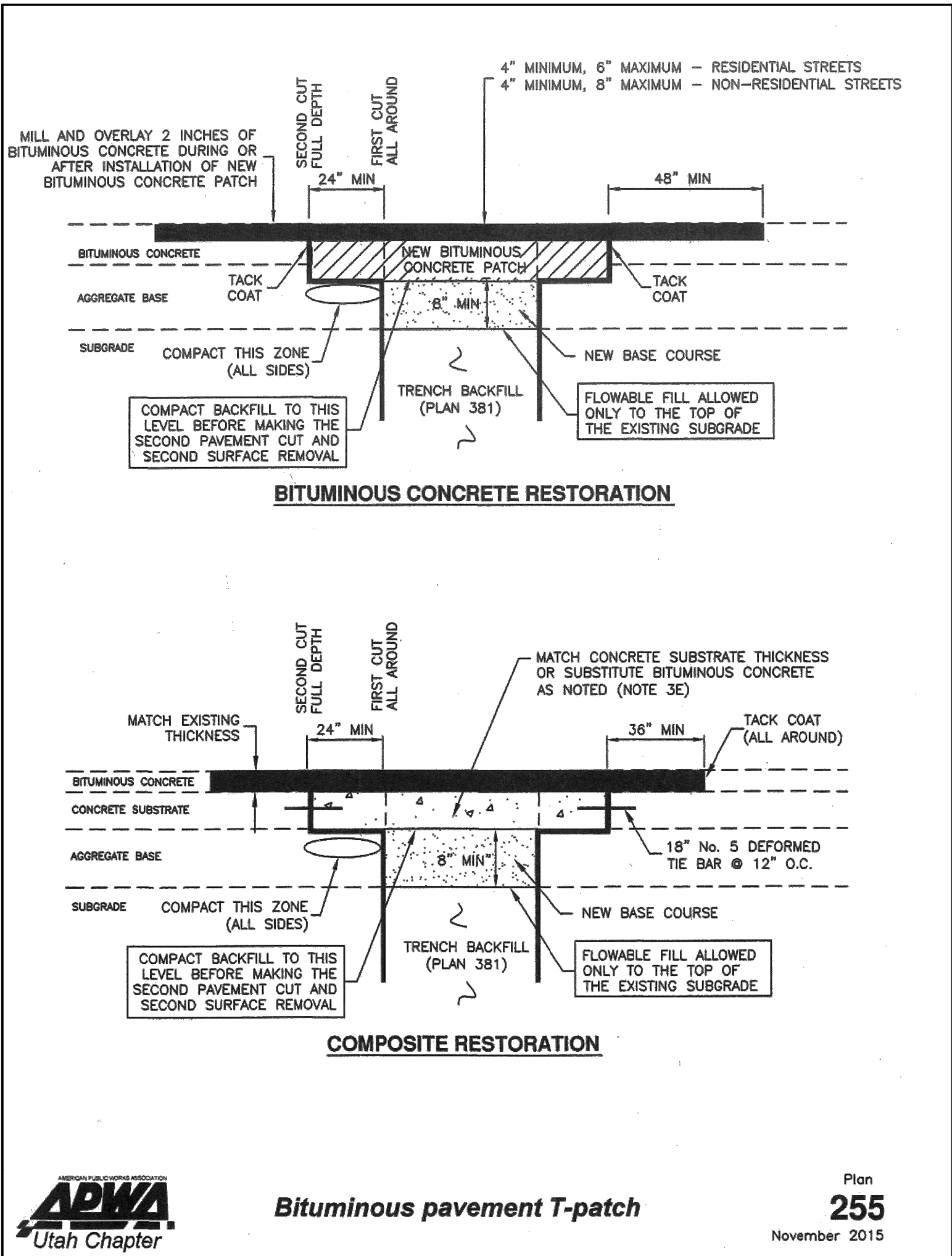
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GENERAL NOTE:
1. ON-SITE SAND SOILS HAVE A HIGHER FINES CONTENT THAN IS RECOMMENDED FOR STRUCTURAL FILL, BUT APPEAR SUITABLE FOR USE AS SITE GRADING FILL AND NON-STRUCTURAL FILL SITUATIONS. ALL FILL MATERIAL SHOULD BE APPROVED BY A CMT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.



- 1. GENERAL**
- A. Vertical cuts in bituminous pavement may be done by saw or pavement zipping. If cuts greater than 6 inches are necessary to prevent pavement "break off" consult ENGINEER for directions on handling additional costs.
- B. Repair a T-patch restoration if any of the following conditions occur prior to final payment or at the end of the one year correction period.
- 1) Pavement surface distortion exceeds 1/4-inch deviation in 10 feet. Repair option - plane off surface distortions. coat planed surface with a cationic or anionic mulson that complies with APWA Section 32 12 03..
 - 2) Separation appears at a connection to an existing pavement or any Street Fixture. Repair option - blow separation clean and apply joint sealant, Plan 265.
 - 3) Cracks at least 1-foot long and 1/4-inch wide occur more often than 1 in 10 square feet. Repair option - blow clean and apply crack seal, Plan 265.
 - 4) Pavement raveling is greater than 1 square foot per 100 square feet. Repair option - Mill and inlay, APWA Sections 32 01 16.71 and 32 12 05.
- 2. PRODUCTS**
- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Flowable Fill: Target is 60 psi in 28 days with 90 psi maximum in 28 days, APWA Section 31 05 15. It must flow easily requiring no vibration for consolidation.
- C. Reinforcement: No. 5, galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A615.
- D. Concrete: Class 4000, APWA Section 03 30 04.
- E. Tack Coat: APWA Section 32 12 13.13.
- F. Bituminous Concrete: APWA Section 32 12 05.
- 1) Warm Weather Patch: PG64-22-DM-1/2, unless indicated otherwise.
 - 2) Cold Weather Patch: Modified MC-250-FM-1 as indicated in APWA Section 33 05 25.
- 3. EXECUTION**
- A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
- B. Flowable Fill: Cure to initial set before placing aggregate base or bituminous pavement. Use in excavations that are too narrow to receive compaction equipment.
- C. Tack Coat: Clean all horizontal and vertical surfaces. Apply full coverage all surfaces.
- D. Pavement Placement: Follow APWA Section 32 12 16.13. Unless indicated otherwise, lift thickness is 3-inches minimum after compaction. Compact to 94 percent of ASTM D2041 (Rice density) plus or minus 2 percent.
- E. Bituminous Concrete Substitution: If bituminous concrete is substituted for Portland cement concrete substrate, omit rebar and provide 1.25 inches of bituminous concrete for each 1 inch of Portland cement concrete. Follow paragraph E requirements.
- F. Reinforcement: Required if thickness of existing Portland-cement concrete substrate is 6-inches or greater. Not required if 1) less than 6-inches thick, 2) if existing concrete is deteriorating, 3) if excavation is less than 3 feet square, or 4) if bituminous pavement is substituted for Portland-cement concrete substrate.
- G. Concrete Substrate: Cure to initial set before placing new bituminous concrete patch.



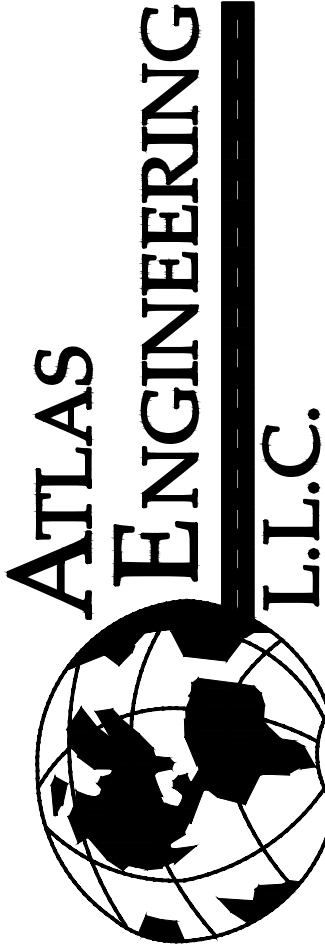
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DT-01

DETAIL SHEET

ELK RIDGE, UTAH

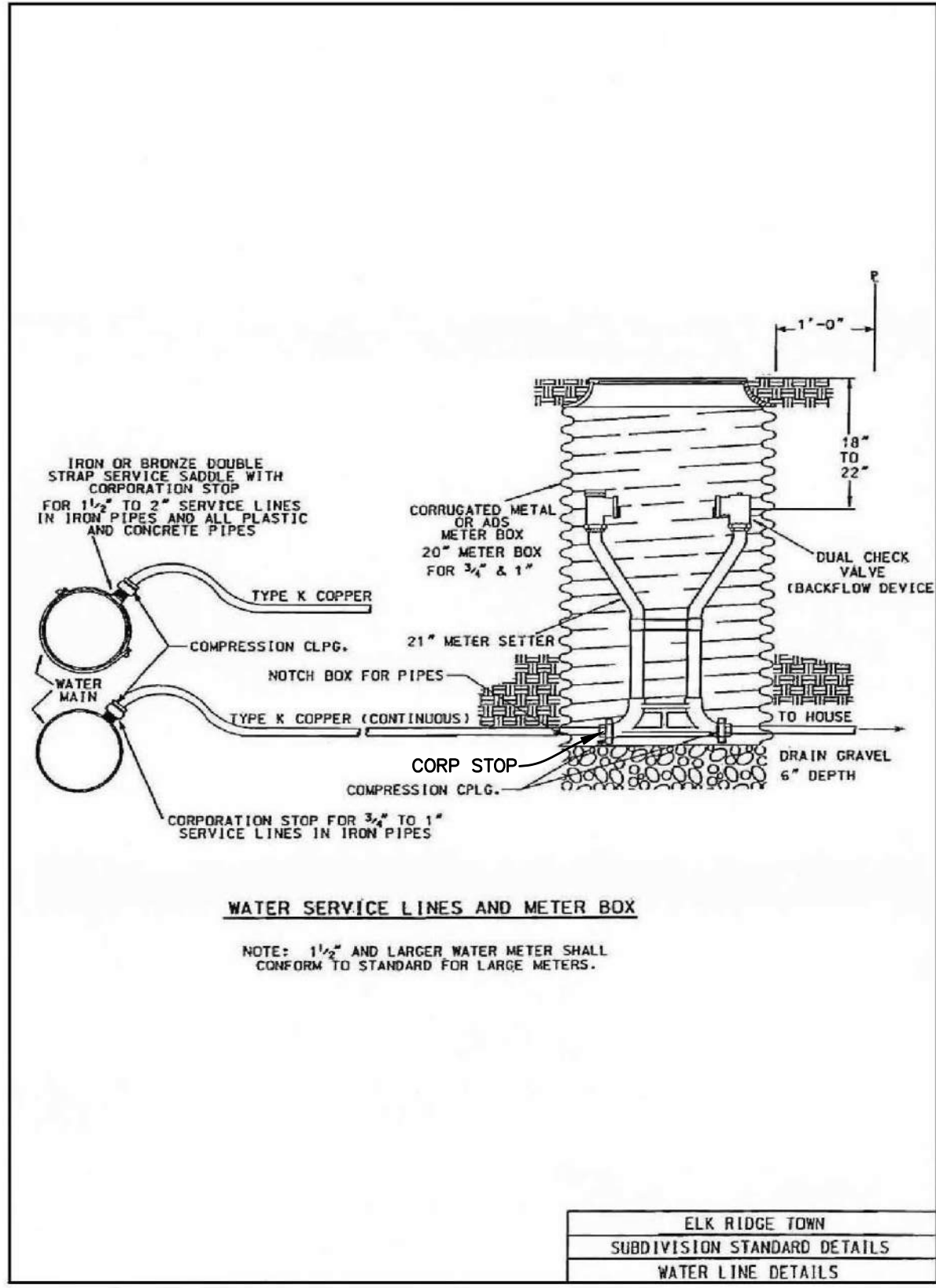
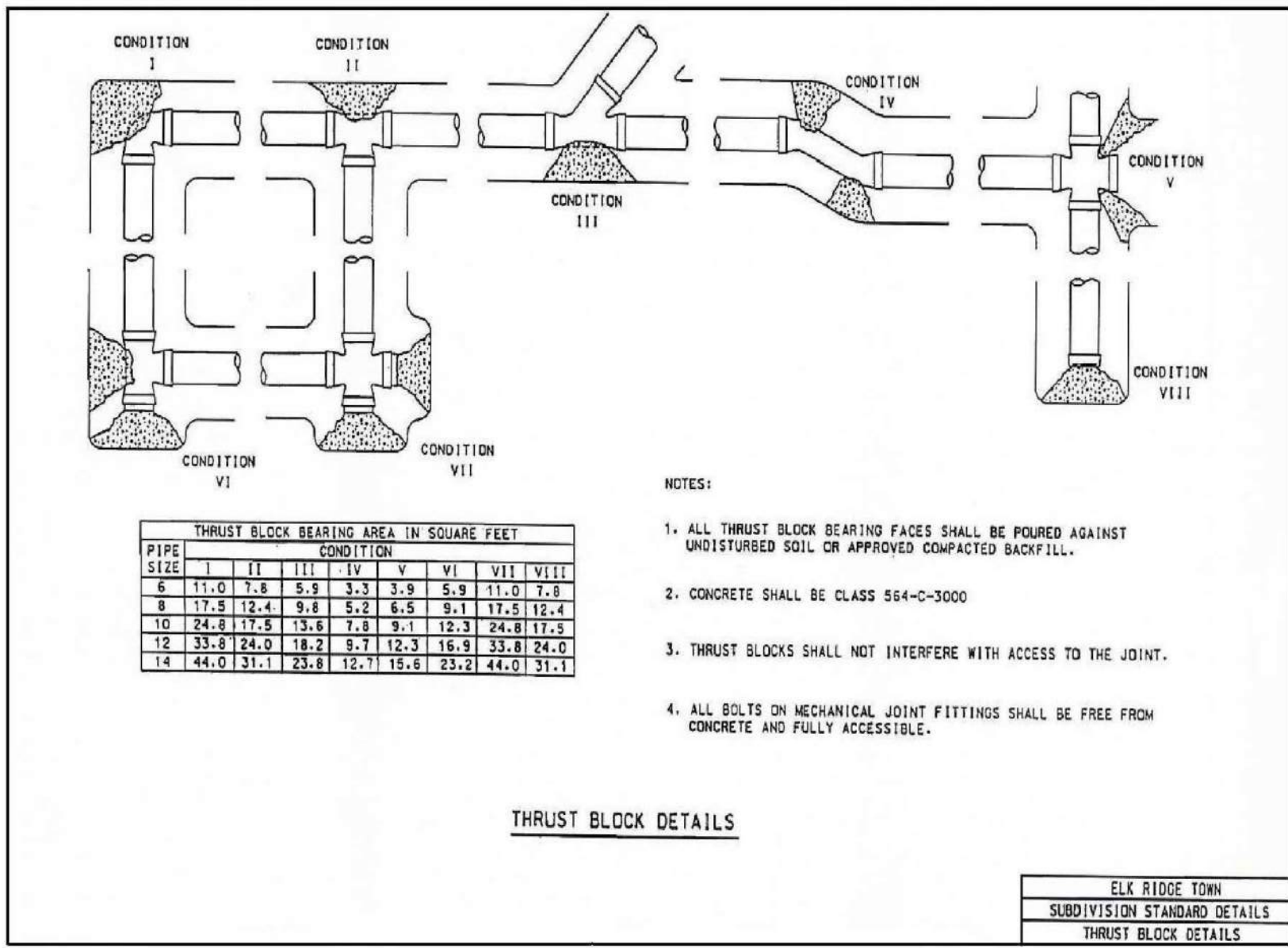
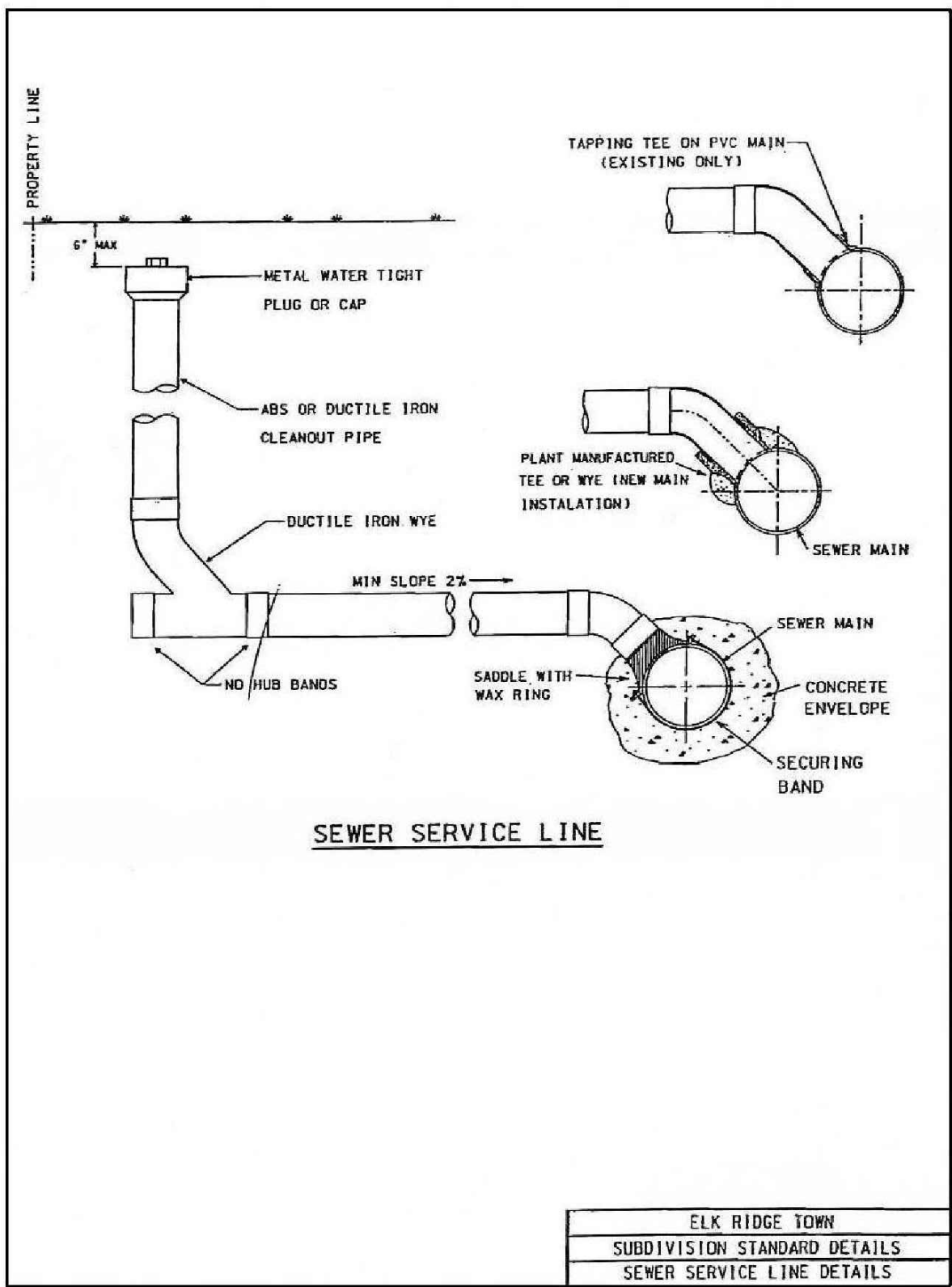
BARTON SUBDIVISION



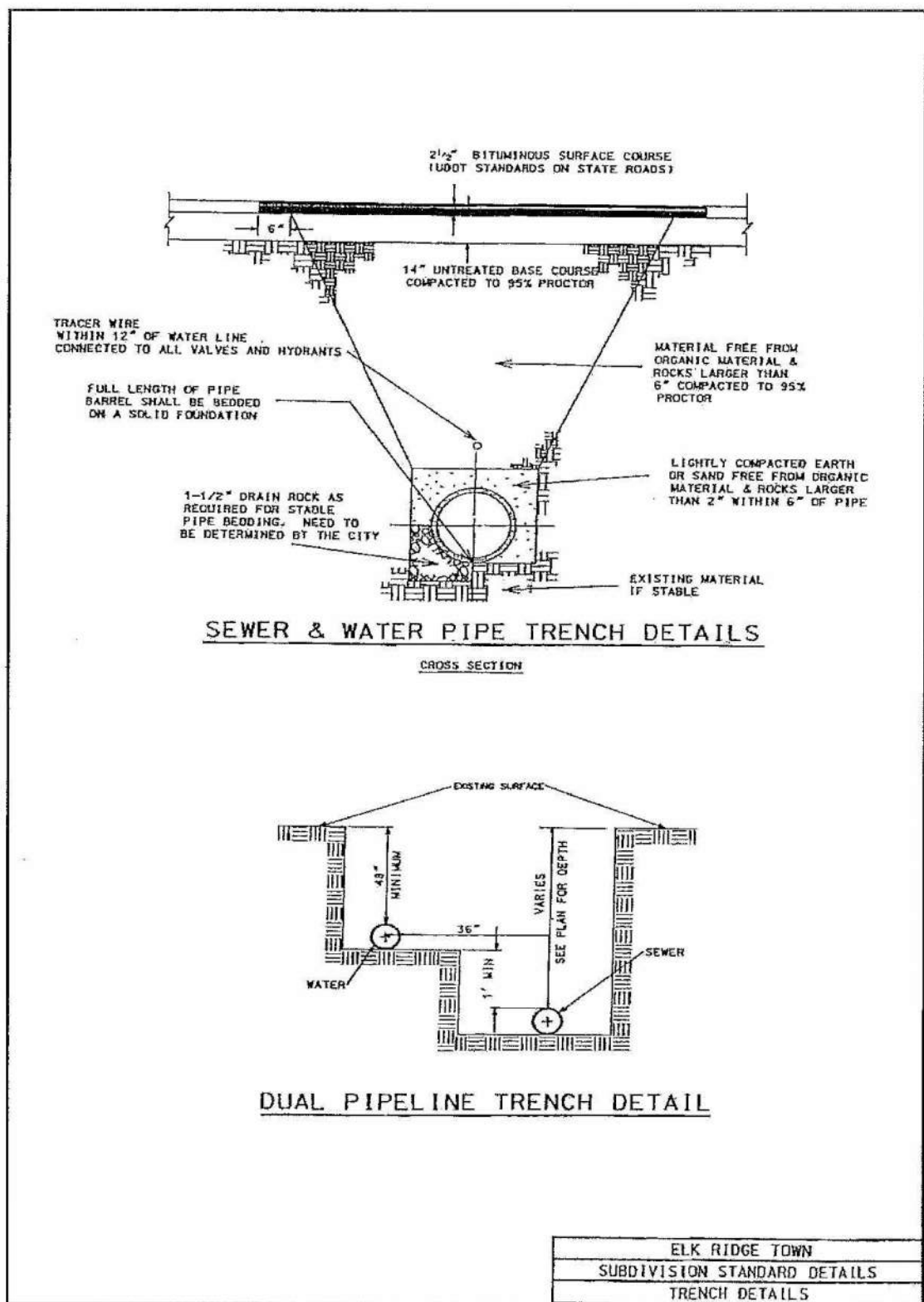
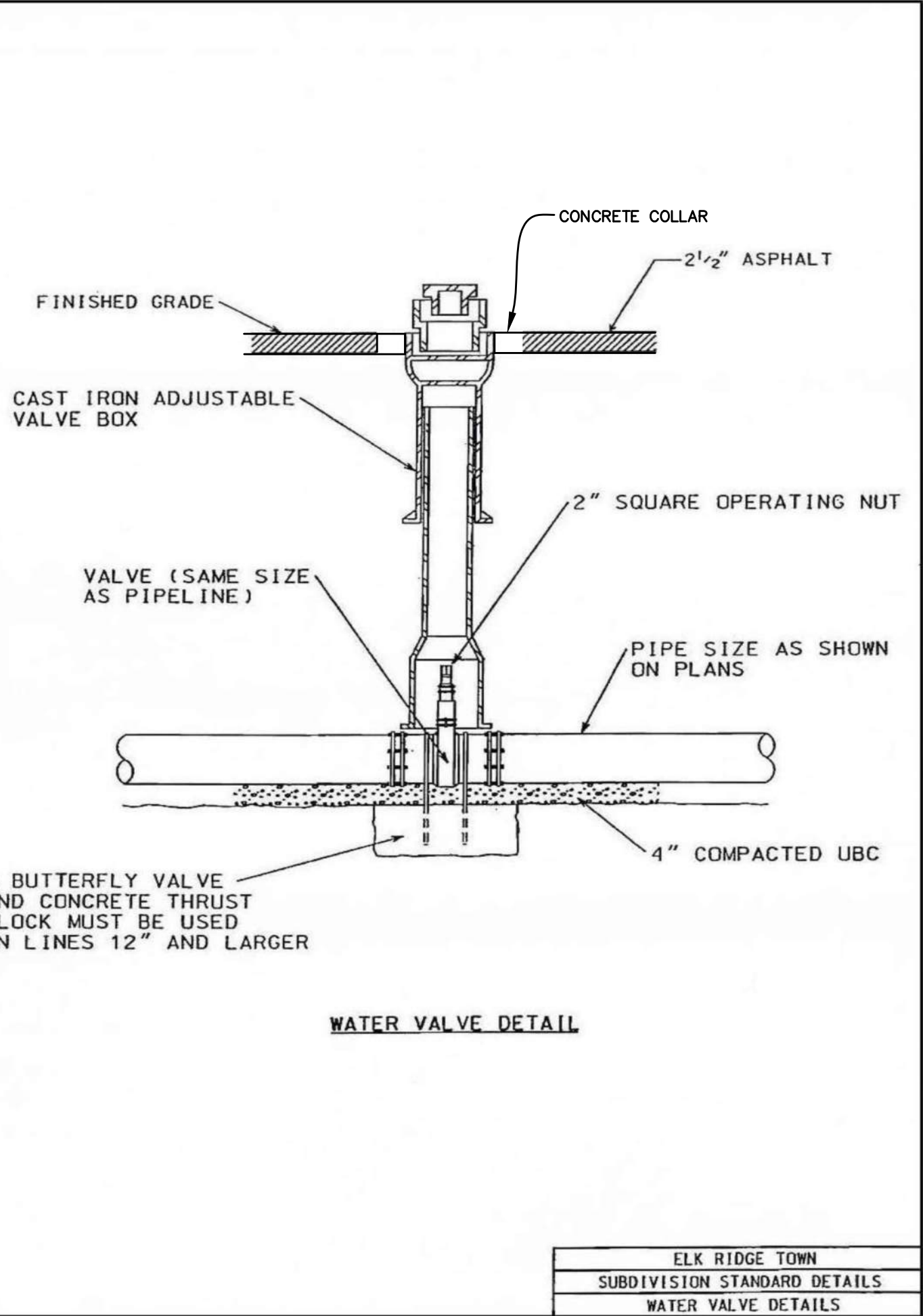
PHONE: 801-655-0566
FAX: 801-655-0109
946 EAST 800 NORTH
SUITE A
SPANISH FORK, UT 84660

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*1" POLY PIPE PER ELK RIDGE CITY, NOT TYPE K COPPER.



Fire Hydrants: The detail provided in the plan set is not up to date. Please use the attached APWA (2012) detail. The AWWA C502 fire hydrant shall be provided with one (1) 4-1/2" pumper nozzle and two (2) 2-1/2" hose nozzles. Connection shall be via FLxMJ valve to a FL lateral off the main as shown on the detail.

Water Services: All service laterals shall be 1" CTS HDPE SDR 9 with NSF 61 Certification. All meter barrels shall be "white" HDPE. Tapping saddles shall be epoxy coated and double strapped with stainless steel hardware.

Water Valves: All valves shall be FLxMJ connected directly to FL tees and crosses.

SHEET NO.
DT-03

DETAIL SHEET
ELK RIDGE, UTAH
COUNTY, UTAH

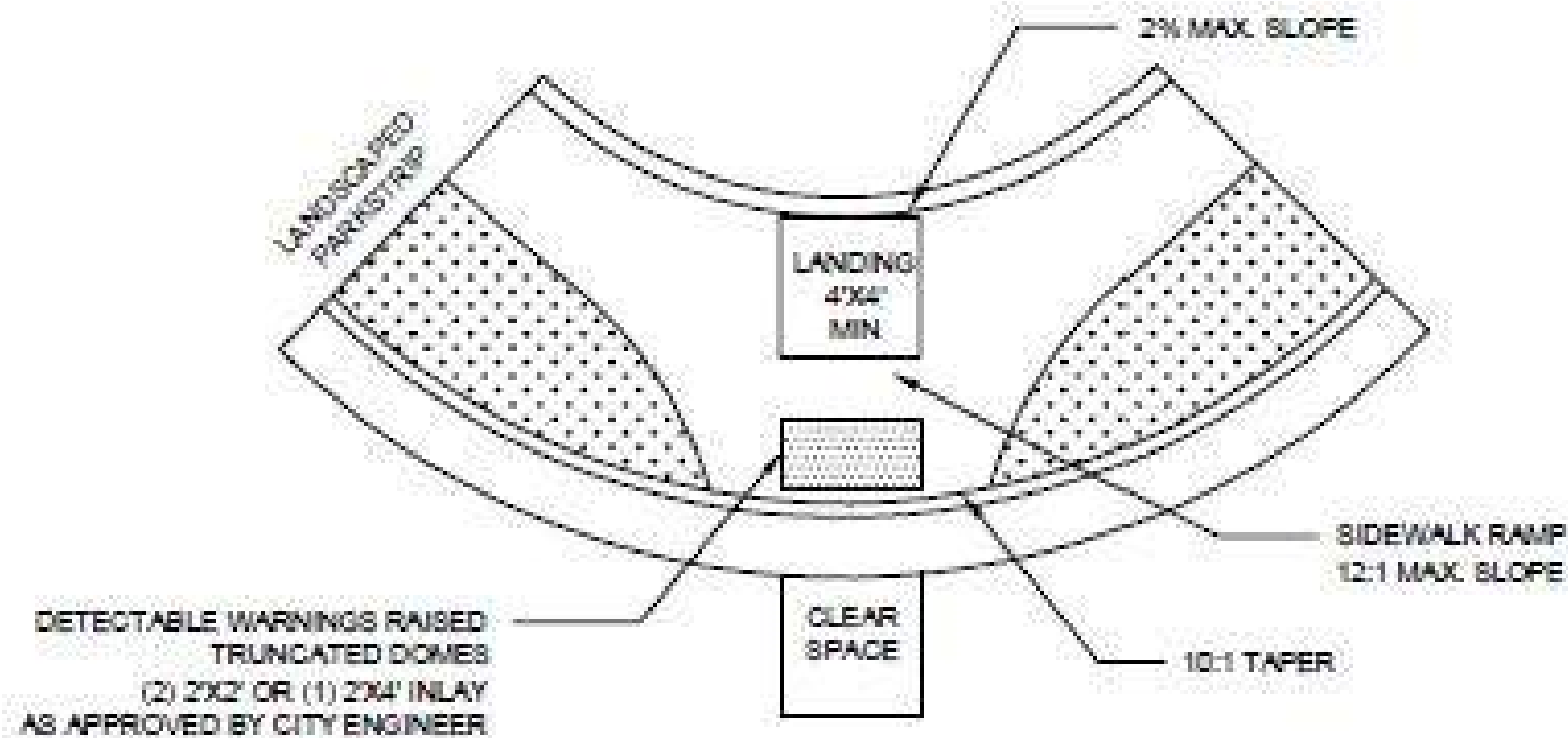
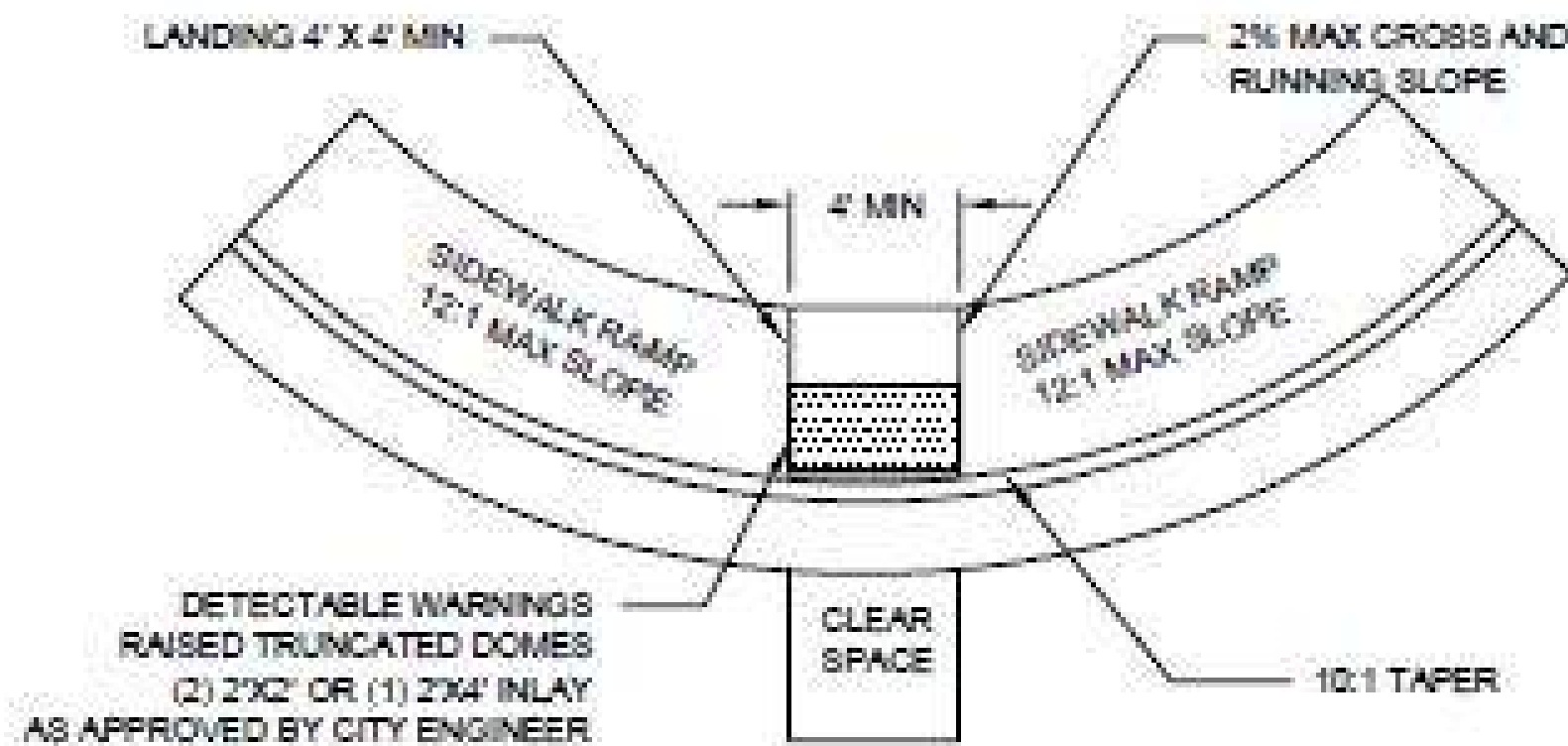
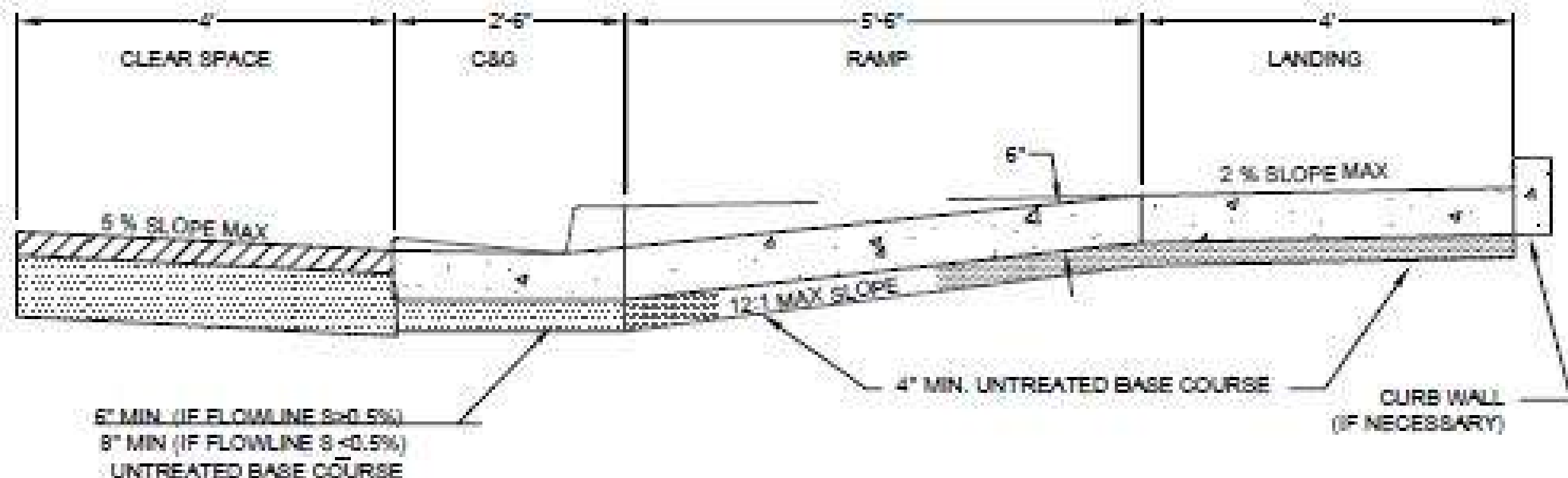
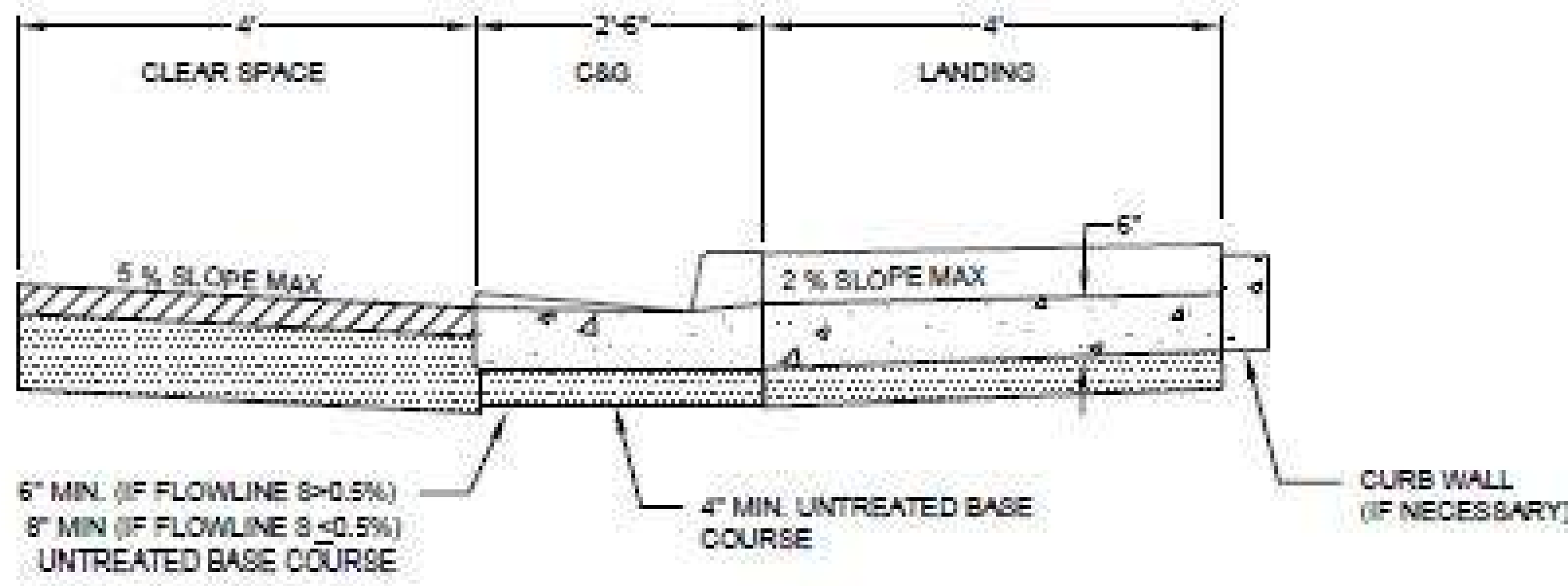
BARTON SUBDIVISION

ATLAS
ENGINEERING
L.L.C.

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SPANISH FORK, UT 84660

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ADA ACCESS RAMP WITHOUT A PARK STRIP

ADA ACCESS RAMP WITH A PARK STRIP

GENERAL NOTES

- ALL CURB, GUTTER, SIDEWALK AND DRIVE APPROACHES SHALL BE DESIGNED AND STAGED BY A LICENSED ENGINEER OR LAND SURVEYOR AND SHALL SUBMIT A PLAN AND PROFILE DRAWING TO THE CITY ENGINEER FOR APPROVAL.
- THE CITY ENGINEER WILL REQUIRE A LAYOUT INSPECTION.
- 24 HR. NOTICE WILL BE REQUIRED FOR ALL CONCRETE INSPECTIONS. THE INSPECTOR MAY THE FOLLOWING:
 - A) DENSITY TESTS
 - B) GRADE VERIFICATION
 - C) SLUMP TESTS
 - D) AIR ENTRAINMENT TESTS
 - E) EXPANSION JOINT PLACEMENT
 - F) COMPRESSION CYLINDER TESTS
- CONCRETE
 - A) CONCRETE SHALL BE CLASS 4000 AS PER APWA SECTION 02 30 04
 - B) CONCRETE SHALL BE 5.5 BAG MIX
 - C) SLUMP SHALL BE LESS THAN 4"
 - D) AIR ENTRAINMENT SHALL BE 6% +/- 1%
- CURB AND GUTTER SHALL BE APWA STANDARD PLAN NO. 205 TYPE A. SIDEWALK SHALL ADHERE TO APWA STANDARD PLAN 211. SIDEWALK SHALL BE 8" THICK FOR ALL SIDEWALK IN RESIDENTIAL AREAS AND 9" IN COMMERCIAL. DRIVE APPROACHES SHALL BE 8" THICK FOR RESIDENTIAL AND 9" FOR COMMERCIAL OR SPECIFIED BY PROJECT ENGINEER.
- PAVED DRIVE APPROACH SHALL BE APWA STANDARD PLAN NO. 201.
- WATERWAY SHALL BE APWA STANDARD PLAN NO. 211.
- REINFORCEMENT STEEL SHALL MEET REQUIREMENTS OF APWA SECTION 02 30 00.
- SIDEWALK RAMP DETECTABLE WARNINGS SHALL BE RED RAISED TRUNCATED DOMES.
- SIDEWALK RAMP DETECTABLE WARNINGS SHALL BE 2'X4' INLAYS AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO INSTALLATION.
- CONCRETE PLACED IN COLD WEATHER CONDITIONS WILL BE PLACED IN ACCORDANCE WITH ACI 308R REQUIREMENTS.

MAXIMUM SLOPES

	RUNNING SLOPE	CROSS SLOPE
LANDING	1:48 (2%)	1:48 (2%)
RAMP	1:12 (8.33%)	1:48 (2%)
CLEAR SPACE	1:20 (5%)	1:48 (2%)

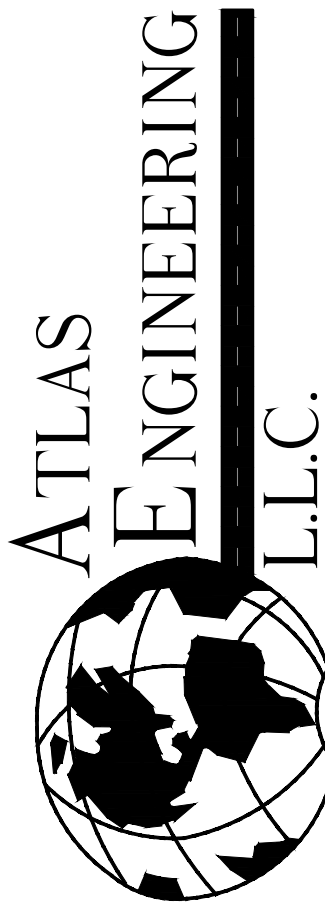
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DT-04

DETAIL SHEET

ELK RIDGE, UTAH
COUNTY, UTAH

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