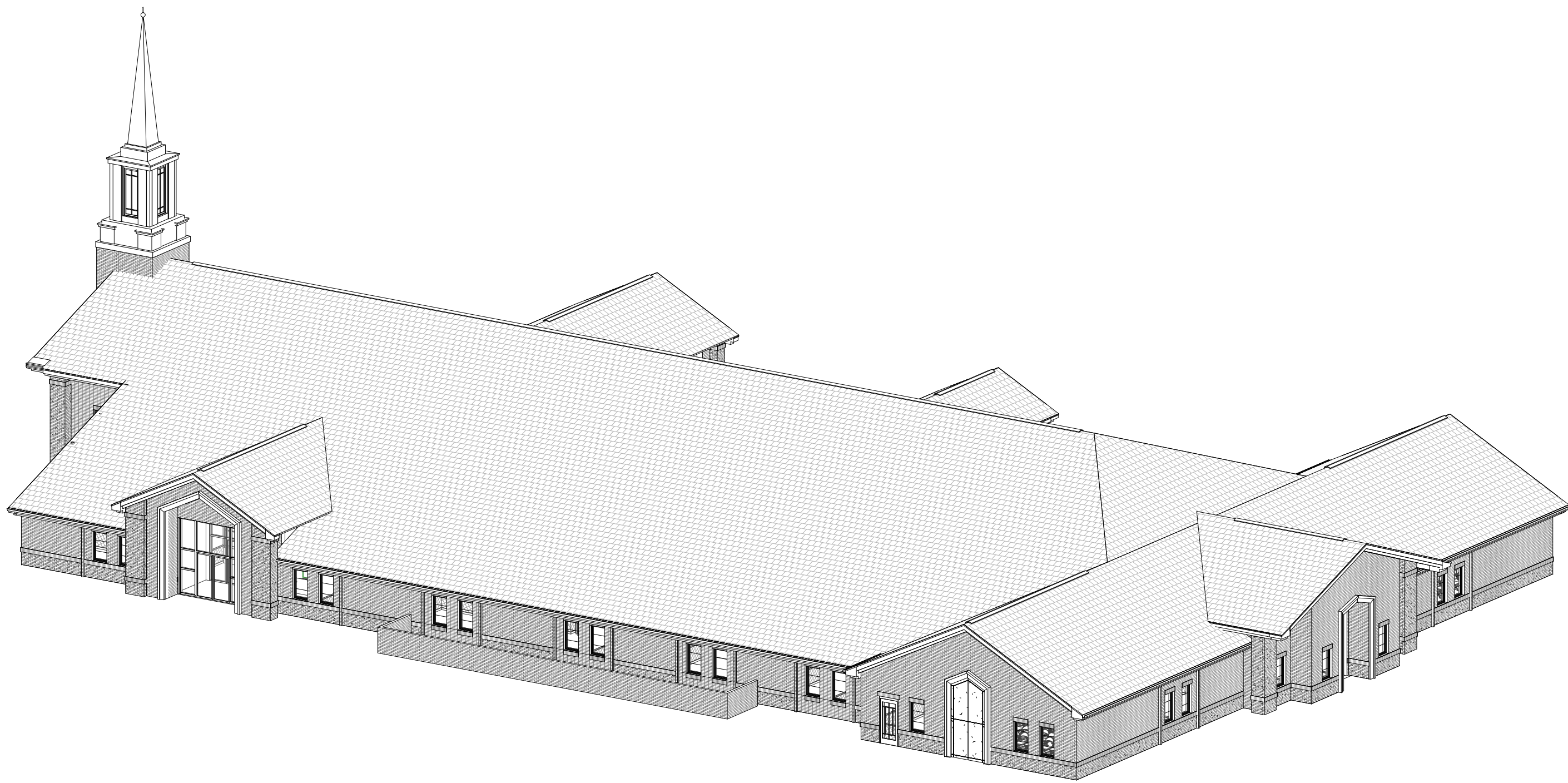
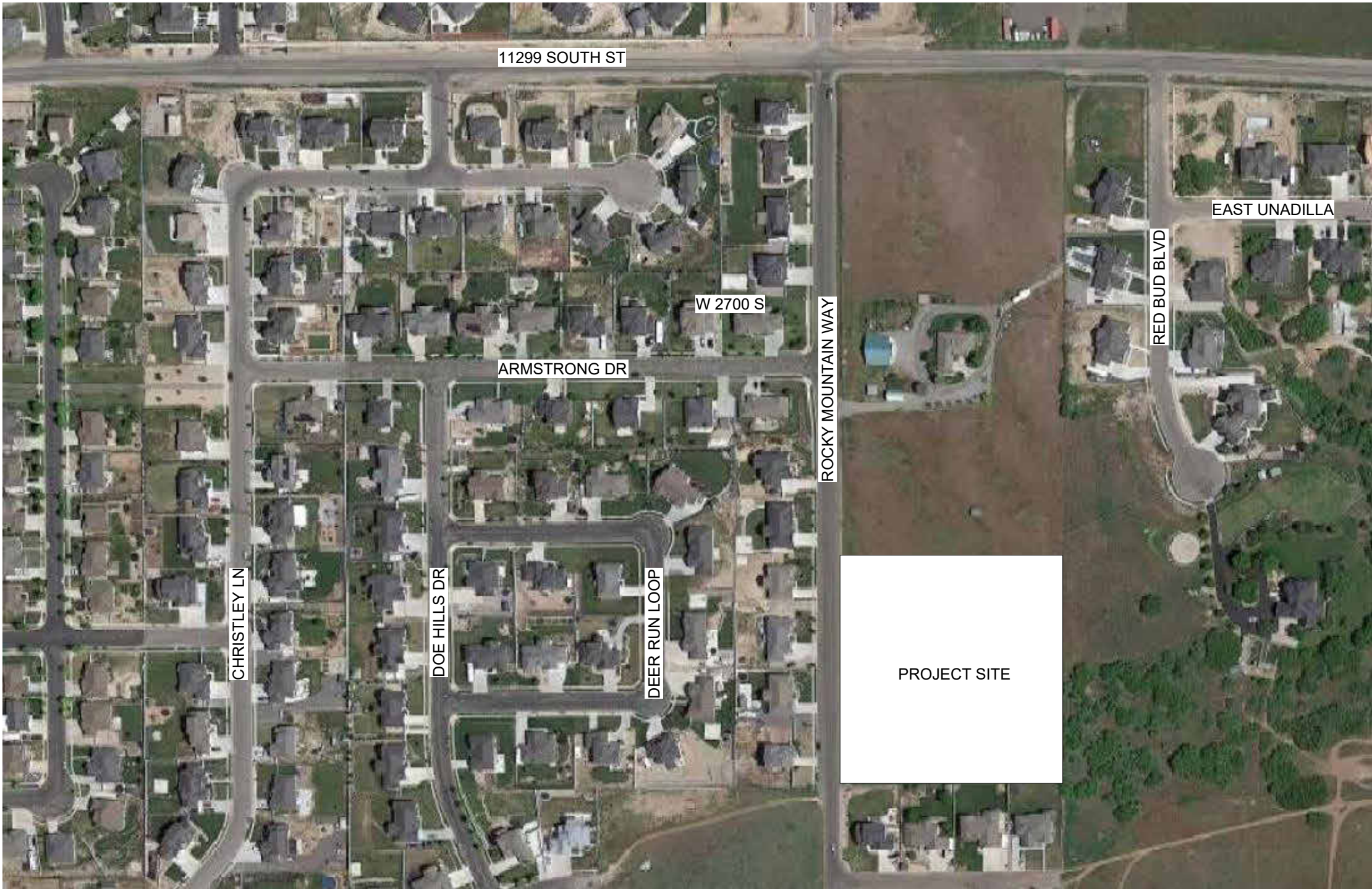


ELK RIDGE UT HERITAGE 23-2

CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS
PROJECT NUMBER: #501-2698



VICINITY MAP



SHEET INDEX

GENERAL		C813	SECTION AND DETAIL VIEWS
CV	COVER	C814	ROOF WIES AND DETAILS
SERVEY		ARCHITECTURAL	
C103	SITE SERVEY	A100	ARCHITECTURAL SITE PLAN
		A110.1	ANNOTATED PLAN - LEVEL 01
CIVIL		A201	EXTERIOR ELEVATION
C0.00	CIVIL COVER	A202	EXTERIOR ELEVATION
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS	A590	STORAGE BUILDING DETAILS
C1.01	CIVIL SITE PLAN	Grand total: 30	
C2.01	GRADING AND DRAINAGE PLAN		
C3.01	EROSION CONTROL PLAN		
C4.01	SITE UTILITY PLAN		
C5.01	CIVIL DETAILS		
C5.02	CIVIL DETAILS		
C5.03	CIVIL DETAILS		
C5.04	CIVIL DETAILS		
C5.05	CIVIL DETAILS		
LANDSCAPE			
L111	OVERALL LANDSCAPE PLANTING PLAN		
L112	LANDSCAPE PLANTING PLAN		
L121	OVERALL LANDSCAPE IRRIGATION PLAN		
L122	LANDSCAPE IRRIGATION PLAN		
L501	LANDSCAPE DETAILS		
L502	LANDSCAPE IRRIGATION DETAILS		
L503	LANDSCAPE IRRIGATION DETAILS		
L504	LANDSCAPE IRRIGATION DETAILS		
PAVILION			
C811	PLAN VIEWS		
C812	PLAN VIEWS		

SITE INFORMATION

PROJECT NAME: ELK RIDGE UT HERITAGE 23-2
ADDRESS: 1120 ROCKY MOUNTAIN WAY ELK RIDGE, UT 84651
PARCEL #: 30:074:0281
ENTRY#: 114226-2017
SIZE: 4.13 ACRES (179902.8 SQ FT)
OWNER: CORP OF PRES BISHOP CHURCH OF JESUS CHRIST OF LDS
ZONE: PUBLIC FACILITY

OWNER

CHURCH OF JESUS CHRIST OF
LETTER DAY SAINTS
50 E North Temple St Salt Lake City
UT 84150

JAMES DZINEKU
(801) 240-5174
JDzhineku@churchofjesuschrist.org

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uncommon
architects

684 W Center St
Midvale UT 84047

uncommonarch.com
(801) 417-9951



OWNER /
DEVELOPER: Church of Jesus Christ of Latter Day
Saints

CONTACT INFO:
James Dzhineku
(801) 240-5174
JDzhineku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT
84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day
Saints
DATE: 02.09.2024

REV	DATE	DESCRIPTION
-----	------	-------------

COVER

CV

2/29/2024 9:13:22 AM

ELK RIDGE, UTAH LDS STAKE CENTER

1120 ROCKY MOUNTAIN WAY, ELK RIDGE, UTAH COUNTY 84651



684 W Center St
Midvale UT 84047
uncommonarch.com
(801) 417-9951



OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints

CONTACT INFO:
James donohu
(801) 245-5114
jzshinku@churchofjesuschrist.org
526 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

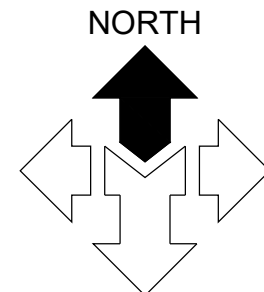
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV DATE DESCRIPTION

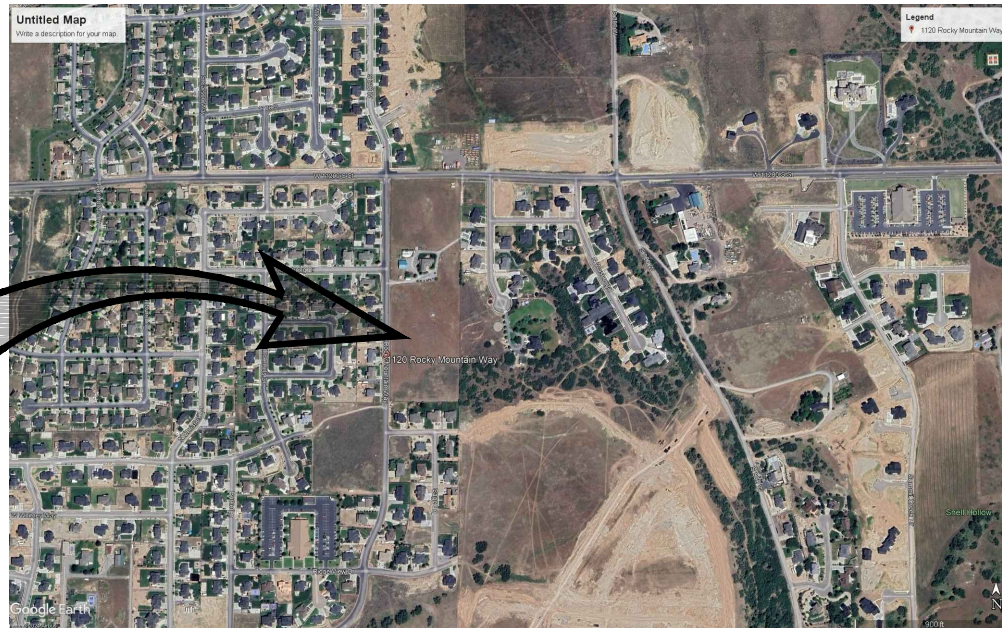
CIVIL COVER

C0.00



SCALE: 1" = 30'

0 15' 30' 60' 90'



VICINITY MAP
N.T.S.

SITE

DRAWING INDEX

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS
C5.04	CIVIL DETAILS
C5.05	CIVIL DETAILS

ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO CITY OF ELK RIDGE
PUBLIC WORKS STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO ELK RIDGE UTILITY
SERVICES STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS MUST
CONFORM TO APWA STANDARDS AND
SPECIFICATIONS

PREMIER POINT SUBDIVISION
PHASE 2, LOT 13
SHAWN & ANGELOUE RAM
4852 6511
1174 N RED BLVD

WARRANTY DEED
ENTRY 84296 YEAR 2014
BLANK ENTERPRISES LTD
303701014

BASE OF BEARING N0°35'20"W 2645.87'

WEST 936.72'

S 17°21'05" W 2653.90'

S 17°44'23" W 175.19'

S 89°57'12" E 405.68'

ROCKY MOUNTAIN
PLAT "A" LOT 3

ROCKY MOUNTAIN
PLAT "A" LOT 4

SURVEYED PARCEL CONTAINS
179,908.57 SQUARE FEET
4.13 ACRES

DOE HILL ESTATES
PLAT "A" LOT 54
DOE HILL LLC
372871004
1117 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 55
DOE HILL LLC
372871005
1147 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 56
DOE HILL LLC
372871006
1121 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 57
DOE HILL LLC
372871007
1095 N ROCKY MOUNTAIN WAY

DOE HILL ESTATES
PLAT "A" LOT 58
JEFFREY & ELIZABETH NELSON
372871008
1067 N ROCKY MOUNTAIN WAY

OWNER

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David.Hinckley@speceng.com

CONTRACTOR

T.B.D.

2023/6/16 11:11:41

GENERAL NOTES

- 1.1 COMPLIANCE
- ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
 - ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

1.2 PERMITTING AND INSPECTIONS

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

1.3 COORDINATION & VERIFICATION

- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
- CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

1.4 SAFETY AND PROTECTION

- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNERS SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

1.5 MATERIALS

- SITE CONCRETE SHALL BE A MINIMUM 6 S BAG MIX, 4500 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
- CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED DOWN EDGE TO HELP CONTROL FROST HEAVE.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- ASPHALT TO CONCRETE PAVEMENT SHALL BE A MINIMUM 2" OVER 8" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL D1 SHEET C5.01
- ASPHALT COMPACTION SHALL BE A MINIMUM 95% (MARSHALL DESIGN).
- SURFACE COARSE SHALL BE 1/2" MINUS, MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
- AC PAVEMENT TO BE A 1/2" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
- THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

1.6 GRADING / SOILS

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

1.7 UTILITIES

- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

1.8 SURVEY CONTROL

- CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

1.9 AMERICAN DISABILITIES ACT

- PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
"ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM CROSS SLOPE.
"ROUTES SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE.
"RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

LEGEND

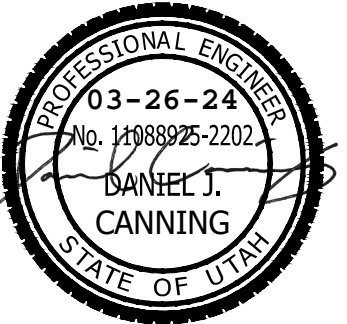
NEW	EXISTING		NEW	EXISTING	
----	----	MONUMENT LINE			SECTION CORNER (FOUND)
----	----	CENTER LINE			SECTION CORNER (NOT FOUND)
----	----	SUBJECT PROPERTY LINE			STREET MONUMENT
----	----	ADJACENT PROPERTY LINE			BRASS CAP MONUMENT
----	----	EASEMENT LINE			POWER POLE
----	----	DITCH FLOWLINE			UTILITY POLE
-X-	-X-	FENCE LINE			GUY ANCHOR
-----ATMS	-----atms	ATMS CABLE			POWER TRANSFORMER
-----TV	-----tv	CABLE TV LINE			TRAFFIC SIGNAL CABINET
-----C	-----c	COMMUNICATIONS LINE			LIGHT POLE
-----FO	-----fo	FIBER-OPTIC CABLE			TELEPHONE RISER
-----F	-----f	FIRE LINE			TELEPHONE MANHOLE
-----IRR	-----irr	IRRIGATION LINE			TRAFFIC SIGNAL BOX
-----G	-----g	NATURAL GAS LINE			WATER MANHOLE
-----OHC	-----ohc	OVERHEAD COMMUNICATIONS			WATER VALVE
-----OHP	-----ohp	OVERHEAD POWER LINE			WATER METER
-----OHT	-----oht	OVERHEAD TELEPHONE LINE			FIRE HYDRANT
-----OHTV	-----ohtv	OVERHEAD TELEVISION LINE			SANITARY SEWER MANHOLE
-----P	-----p	POWER LINE			SANITARY SEWER CLEANOUT
-----PVC	-----pvc	POWER/COMMUNICATIONS LINE			STORM DRAIN MANHOLE
-----PIT	-----pit	POWER/TELEPHONE LINE			STORM DRAIN CURB INLET
-----PITC	-----pitc	POWER/TELECOMM LINE			STORM DRAIN CATCH BASIN
-----RD	-----rd	ROOF DRAIN LINE			STORM DRAIN CLEANOUT
-----SW	-----sw	SECONDARY WATER LINE			STORM DRAIN COMBO BOX
-----S	-----s	SANITARY SEWER LINE			MAILBOX
-----ST	-----st	STEAM LINE			SIGN
-----SD	-----sd	STORM DRAIN LINE			FLOW DIRECTION
-----T	-----t	TELEPHONE LINE			SPOT ELEVATION
-----TIC	-----tic	TELEPHONE/COMM LINE			CONIFEROUS TREE
-----UD	-----ud	UNDERDRAIN			DECIDUOUS TREE
-----UGC	-----ugc	UNDERGROUND COMMUNICATIONS			
-----UGP	-----ugp	UNDERGROUND POWER LINE			
-----UGT	-----ugt	UNDERGROUND TELEPHONE LINE			
-----UGTV	-----ugtv	UNDERGROUND TELEVISION			
-----W	-----w	WATER LINE			
-----172	-----4572	CONTOUR LINE			
=====	=====	CURB & GUTTER (STD)			
=====	=====	CURB & GUTTER (OUTFALL)			

ABBREVIATIONS

AC	ACRE	DIP	DUCTILE IRON PIPE	GM	GAS METER	POC	POINT OF COMPOUND CURVE	T	TOWNSHIP
ADA	AMERICANS WITH DISABILITIES ACT	DTREE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION	TBC	TOP BACK OF CURB
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	DYL	DOUBLE YELLOW LINE	GUY	GUY WIRE	PM	PARKING METER	TELE	TELEPHONE
BAC	BAR & CAP	E	EAST	GV	GAS VALVE	PP	POWER POLE	TFC	TOP FACE OF CURB
BC	BUILDING CORNER	EB	ELECTRIC BOX	HDPE	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE	TFG	TOP FINISH GRADE
BFC	BOTTOM FINISH GRADE	ESL	ENERGY GRADE LINE	HGS	HEADGATE	PRK	PARKING STRIPE	TL	TREE LINE
BLUE	BLUE STAKED ELECTRIC	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	POC	POINT OF CONNECTION	TMH	TELEPHONE MANHOLE
BLUFO	BLUE STAKED FIBER OPTIC	EM	ELECTRIC METER	HP	HIGH POINT	PT	POINT OF TANGENCY	TOA	TOP OF ASPHALT
BLUG	BLUE STAKED NATURAL GAS	EMH	ELECTRIC MANHOLE	HW	HEADWALL or HIGH WATER	PWR	POWER	TOC	TOP OF CONCRETE
BLUIR	BLUE STAKED IRRIGATION	EOA	EDGE OF ASPHALT	HWY	HIGHWAY	PVC	POLYVINYL CHLORIDE PIPE	TOF	TOP OF FOOTING
BLUSD	BLUE STAKED STORM DRAIN	EOC	EDGE OF CONCRETE	ICO	IRRIGATION CLEANOUT	R	RANGE	TOG	TOP OF GRATE
BLUSS	BLUE STAKED SANITARY SEWER	EOG	EDGE OF GRAVEL	ICV	IRRIGATION CONTROL VALVE	RCF	REINFORCED CONCRETE PIPE	TOE	TOP OF SLOPE
BLUT	BLUE STAKED TELEPHONE	EOL	EDGE OF LAWN	IE	INVERT ELEVATION	RD	ROOF DRAIN	TOP	TOP OF SLOPE or TOP OF PIPE
BLUW	BLUE STAKED WATER	EX or EXIST	EXISTING	IRR	IRRIGATION	REV	REVISION	TOW	TOP OF WALL
BM	BENCHMARK	F	FIRE	LF	LINEAR FEET	ROW	RIGHT-OF-WAY	TR	TELEPHONE RISER
BOF	BOTTOM OF FOOTING	FC	FOUNDATION CORNER	LP	LIP OF GUTTER	RR	RAILROAD	TV	TELEVISION
BOB	BOTTOM OF BOX	FD	FOUND or FOUNDATION DRAIN	LP	LOW POINT or LIGHT POLE	S	SOUTH	TW	FINISH GRADE AT TOP OF WALL
BOL	BOLLARD	FDC	FIRE DEPT. CONNECTION	MAX	MAXIMUM	SAD	SEE ARCHITECTURAL DRAWINGS	TRANS	TRANSFORMER
BOT	BOTTOM	FDMN	FOUND MONUMENT	MIN	MINIMUM	SD	STORM DRAIN	TSF	TRAFFIC SIGNAL POLE
BOV	BLOW-OFF VALVE	FDFC	FOUND SECTION CORNER	MON	MONUMENT	SDCB	STORM DRAIN CATCH BASIN	TSB	TRAFFIC SIGNAL BOX
BOW	BACK OF WALK	FFE	FINISHED FLOOR ELEVATION	MP	METAL PIPE	SDCO	STORM DRAIN CLEANOUT BOX	UD	UNDERDRAIN
BW	FINISH GRADE AT BOTTOM OF WALL	FG	FINISHED GRADE	N	MONITORING WELL	SDMH	STORM DRAIN MANHOLE	UGC	UNDERGROUND COMMUNICATIONS
C	CENTERLINE	FL	FLOW LINE	NG	NORTH	SEC	SECTION	UGP	UNDERGROUND POWER
CATV	CABLE TELEVISION	FNC	FENCE	N	NATURAL GROUND	SPECS	SPECIFICATIONS	UGT	UNDERGROUND TELEPHONE
CBR	CONCRETE BARRIER	FNCL	CHAIN LINK FENCE	NGRET	NO AT RETAINING WALL	SBL&M	SALT LAKE BASE & MERIDIAN	UGTV	UNDERGROUND TELEVISION
CC	CURB CUT	FNCGR	IRON FENCE	NS	NAIL & RIBBON	SQ	SQUARE	U.N.O.	UNLESS NOTED OTHERWISE
CCM	COLUMN	FNCGRN	IRON FENCE	NW	NAIL & WASHER	SCF	SQUARE FEET	UP	UTILITY POLE
CCM	COMMUNICATIONS	FNCVNL	VINYL FENCE	NTS	NOT TO SCALE	SQYD	SQUARE YARD	VCP	VITRIFIED CLAY PIPE
CONC	CONCRETE	FNCWD	WOOD FENCE	OG	ORIGINAL GROUND	SS	SANITARY SEWER	VP	VERTICAL PIPE
CONST	CONSTRUCTION	FNCWV	WIRE FENCE	OH	OVERHEAD	SSCO	SANITARY SEWER CLEANOUT	W	WEST or WATER
CMP	CORRUGATED METAL PIPE	FOW	FIBER OPTIC	OHC	OVERHEAD COMMUNICATIONS	SSMH	SANITARY SEWER MANHOLE	WM	WATER METER
CNP	CONTROL POINT	FT	FEET	OHP	OVERHEAD POWER	ST	STEAM	WMH	WATER MANHOLE
CTREE	CONIFEROUS TREE	G	NATURAL GAS	OHT	OVERHEAD TELEPHONE	STA	STATION	WS	WATER SURFACE
CUT	CUBIC FOOT	GAR	GARAGE	OHTV	OVERHEAD TELEVISION	STD	STANDARD	WTR	WATER
CUB	CUBIC YARD	GB	GRADE BREAK	Q	PROPERTY LINE	STM	STORM	WV	WATER VALVE
DEL	DELINEATOR	GL	GRADE LIGHT	PB	POWER BOX	SYL	SOLID YELLOW LINE	WW	WATERWAY
DIA or Ø	DIAMETER	GB	GROUND LIGHT	PC	POINT OF CURVATURE	SWL	SOLID WHITE LINE		



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Structural Engineering • Land Surveying & HDS

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ELK RIDGE UT HERITAGE 23-2

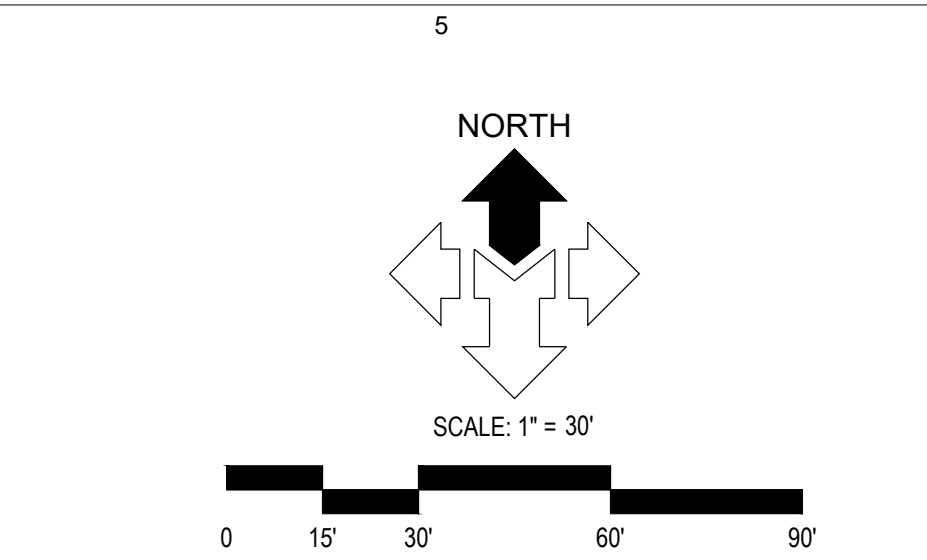
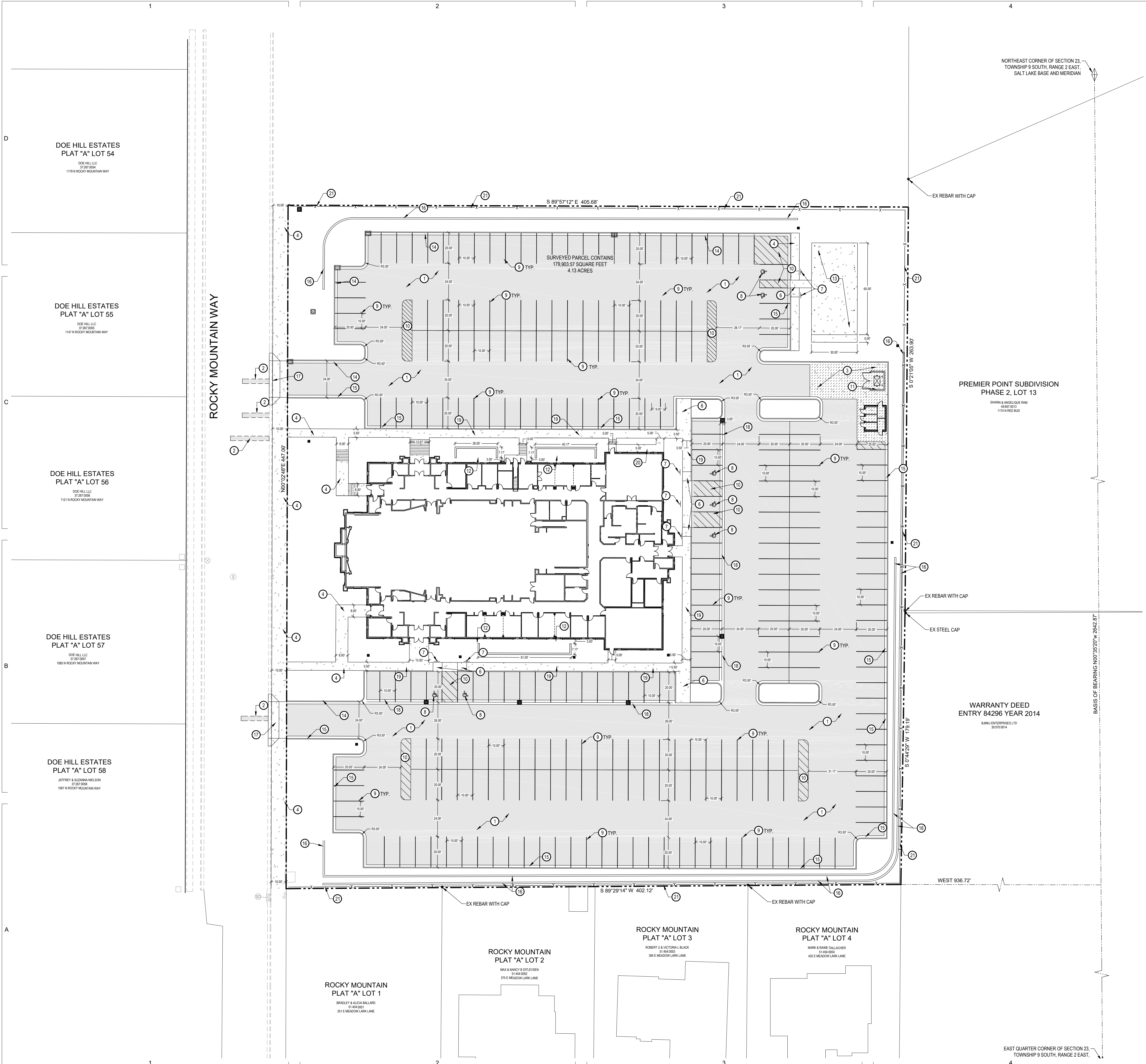
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV	DATE	DESCRIPTION
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GENERAL
NOTES, LEGEND
AND
ABBREVIATIONS

C0.01



DESCRIPTION	AREA	%
HARDSCAPE	104,350 SQFT	58%
LANDSCAPE	51,478 SQFT	29%
BUILDINGS	24,075 SQFT	13%
TOTAL	179,903 SQFT	100%

GENERAL NOTES:
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION.
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

- KEYED NOTES:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C5.01.
 - ASPHALT T-PATCH, PER APWA PLAN NO. 255.
 - CONCRETE PAVEMENT WITH GRANULAR BASE PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C5.01.
 - CONCRETE SIDEWALK, PER STANDARD CHURCH DETAIL, SEE DETAILS 'C' AND 'D', SHEET C5.01.
 - ADA RAMP ACCESSIBLE WALK, PER STANDARD CHURCH DETAILS, SEE DETAIL 'D' AND SPECIFIC TYPE IN DETAIL, SHEET C5.02.
 - ADA ACCESSIBLE RAMP, PER APWA STANDARD PLAN 236.1 EXAMPLE 1.
 - ADA ACCESSIBLE PARKING STALL SIGN, PER STANDARD CHURCH DETAIL, SEE DETAIL 'A', SHEET C5.02.
 - PAINTED ADA ACCESSIBLE PARKING SYMBOL, PER STANDARD CHURCH DETAIL, SEE DETAIL 'B', SHEET C5.02.
 - 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
 - 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
 - DUMPSTER ENCLOSURE, PER STANDARD CHURCH DETAIL, SEE DETAILS 'B', 'C', 'D', AND 'E', SHEET C5.03. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 - MECHANICAL ENCLOSURE, PER STANDARD CHURCH DETAIL, SEE DETAILS 'F', 'G', 'H', AND 'J', SHEET C5.03. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 - RECREATIONAL PAVILION, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 24" CONCRETE CURB AND GUTTER - IN FLOW STYLE PER STANDARD CHURCH DETAIL, SEE DETAIL 'E', SHEET C5.01.
 - 24" CONCRETE CURB AND GUTTER - OUT FLOW STYLE PER STANDARD CHURCH DETAIL, SEE DETAIL 'F', SHEET C5.01.
 - NEW BLOCK RETAINING WALL, WALL TO BE VERTI-BLOCK WALL. WALL DESIGN, DETAILS, AND REINFORCEMENT BY GSH. SEE 'REPORT VERTI-BLOCK WALL DESIGN AND SLOPE STABILITY ANALYSIS PROPOSED ELKRIDGE MEETINGHOUSE RETAINING WALLS' PROVIDED BY GSH. WALL TO HAVE 4" PERFORATED PVC DRAINAGE PIPE INSTALLED AT BASE OF WALL PER DETAIL 'A', SHEET C5.03. SEE GRADING PLAN SHEET C2.01 FOR ELEVATIONS.
 - NEW DRIVE APPROACH PER APWA STANDARD PLAN 222.
 - 36" WIDE CONCRETE WATERWAY, PER STANDARD CHURCH DETAIL, SEE DETAIL 'Y', SHEET C5.01.
 - INTEGRAL CONCRETE SIDEWALK AND CURB, PER STANDARD CHURCH DETAIL, SEE DETAILS 'G', SHEET C5.01.
 - ADA ACCESSIBLE RAMP.
 - NEW BLACK CHAIN LINK.

PARKING STALL COUNT:
272 STALLS PROVIDED
7 OF 272 STALLS ARE ADA STALLS



NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



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ELK RIDGE UT HERITAGE 23-2

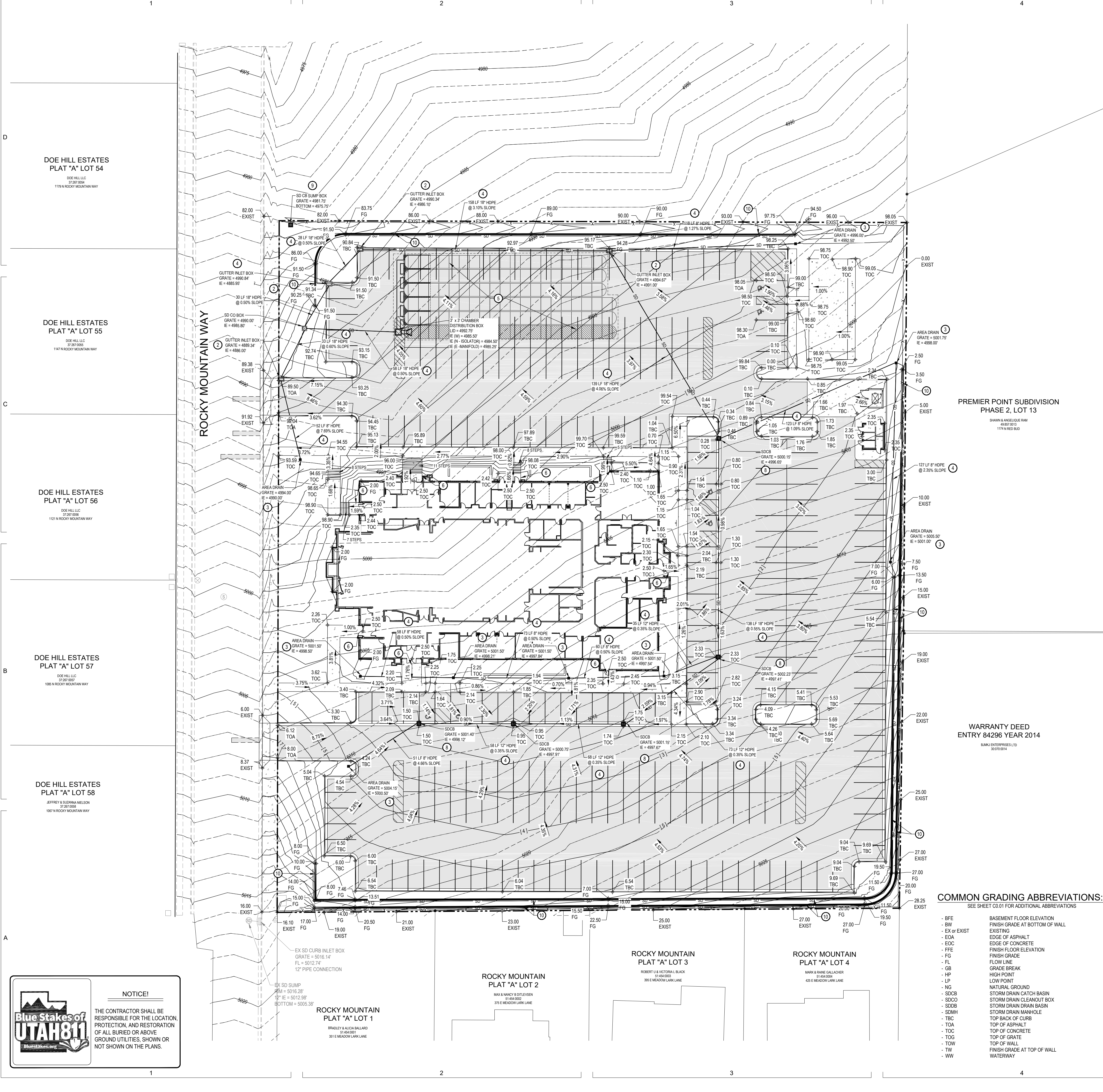
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ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV	DATE	DESCRIPTION
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CIVIL SITE PLAN

C1.01



GENERAL NOTES:
SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.


ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

- KEYED NOTES:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
 - 2 STORM DRAIN CURB INLET WITH HEAVY DUTY BICYCLE SAFE GRATE, PER STANDARD CHURCH DETAIL, SEE DETAIL 'M', SHEET C5.03.
 - 3 12" SQUARE SECURABLE NYLOPLAST YARD DRAIN, PER STANDARD CHURCH DETAIL, SEE DETAILS 'N', SHEET C5.03.
 - 4 STORM DRAIN PIPE PER, SEE PLAN FOR LENGTH, SIZE, TYPE AND SLOPE.
 - 5 STORMTECH MC-7200 CHAMBERS OR EQUIVALENT SYSTEM APPROVED PRIOR TO BIDDING. RETENTION SYSTEM AS SHOWN ON PLANS ALL PROVIDED BY THE CONTRACTOR. STORMTECH CHAMBER HAS RETENTION CAPACITY OF 33,539 C.F. TOTAL REQUIRED STORAGE = 32,805 C.F. SEE DETAIL, SHEET C5.02. SHOP DRAWINGS PROVIDED BY MANUFACTURER PRIOR TO BIDDING AND CONSTRUCTION.
 - 6 LANDING AREAS TO HAVE 2% MAXIMUM SLOPE AWAY FROM BUILDING
 - 7 6" HOPE PIPE FROM DOWNSPOUT BASIN, SLOPE AT 0.50% MINIMUM FROM DOWNSPOUT BASIN, PER STANDARD DETAIL 'M' & 'N', ON SHEET C5.01.
 - 8 3' x 3' STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE, PER STANDARD CHURCH DETAIL, SEE DETAIL 'N', SHEET C5.01.
 - 9 3' x 3' STORM DRAIN CATCH BASIN WITH SUMP.
 - 10 NEW BLOCK RETAINING WALL, WALL TO BE VERTI-BLOCK WALL, WALL DESIGN, DETAILS, AND REINFORCEMENT BY GSH. SEE REPORT VERTI-BLOCK WALL DESIGN AND SLOPE STABILITY ANALYSIS PROPOSED ELK RIDGE MEETINGHOUSE RETAINING WALLS PROVIDED BY GSH. WALL TO HAVE 4" PERFORATED PVC DRAINAGE PIPE INSTALLED AT BASE OF WALL PER DETAIL 'N', SHEET C5.03.

WARRANTY DEED
ENTRY 84296 YEAR 2014

COMMON GRADING ABBREVIATIONS:
SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- BFE BASEMENT FLOOR ELEVATION
- BW FINISH GRADE AT BOTTOM OF WALL
- EX EXISTING
- EOA EDGE OF ASPHALT
- EOC EDGE OF CONCRETE
- FFE FINISH FLOOR ELEVATION
- FG FINISH GRADE
- FL FLOW LINE
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- NG NATURAL GROUND
- SDCB STORM DRAIN CATCH BASIN
- SDCO STORM DRAIN CATCH BASIN
- SDOB STORM DRAIN DRAIN BASIN
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOG TOP OF GRADE
- TOW TOP OF WALL
- TW FINISH GRADE AT TOP OF WALL
- WW WATERWAY



McNeil Engineering

6610 S. Sandy Pkwy, Sandy, UT

STORM RUNOFF

CALCULATION

SHEET

Project No. 23362

Title: Elk Ridge LDS Stake Center Bldg

Scope: Site Drainage Design

Engineer: DJC

Authority: Elk Ridge

Check: RJP

Design Philosophy:

The storm water runoff from the project site will sheet flow to various catch basins designed through out the site where it will be captured and then conveyed by underground pipe to an underground chamber system where it will be held and allowed to infiltrate into the ground. The chamber system has been sized to hold the 100 yr 24 hr storm per the calculations below. No discharge has been accounted for as the survey did not show any existing storm drain infrastructure in the public road to discharge to.

Area Identification (A)		Runoff Coefficient (C)		(C*A)	
Paved	104,350 sf	(2.40 ac)	0.89	=	92,872 sf
Roof Area	24,075 sf	(0.55 ac)	0.84	=	20,223 sf
Landscaped	51,478 sf	(1.18 ac)	0.44	=	22,650 sf
Total	221,295 sf	(5.08 ac)	0.61 (ave)		135,745 sf

Allowable Discharge Rate = 0.00 cfs/ac

Allowable Peak Discharge = 0.00 cfs

4-Hour Storm:							
Rate (in/hr)	Rainfall (Inches)	Q in (cfs)	Add'l Q in (cfs)	Total Q in (cfs)	Q out (cfs)	Storage (cf)	
6.46	0.538	20.29	0.00	20.29	0.00	6,086	
4.91	0.818	15.42	0.00	15.42	0.00	9,253	
4.08	1.02	12.82	0.00	12.82	0.00	11,538	
2.74	1.37	8.61	0.00	8.61	0.00	15,498	
1.69	1.69	5.31	0.00	5.31	0.00	19,117	
0.95	1.89	2.97	0.00	2.97	0.00	21,380	
0.65	1.96	2.05	0.00	2.05	0.00	22,172	
0.35	2.12	1.11	0.00	1.11	0.00	23,962	
0.21	2.48	0.65	0.00	0.65	0.00	28,054	
0.12	2.90	0.38	0.00	0.38	0.00	32,805	

Subsurface Storage Provided:

Storage	Area(sf)	Depth (ft)	Volume (cu. ft.)
Chamber System			33539 cf
Total Surface Storage			33539 cf

tion Provided :

33,539 cf

tion Required :

32,805 cf

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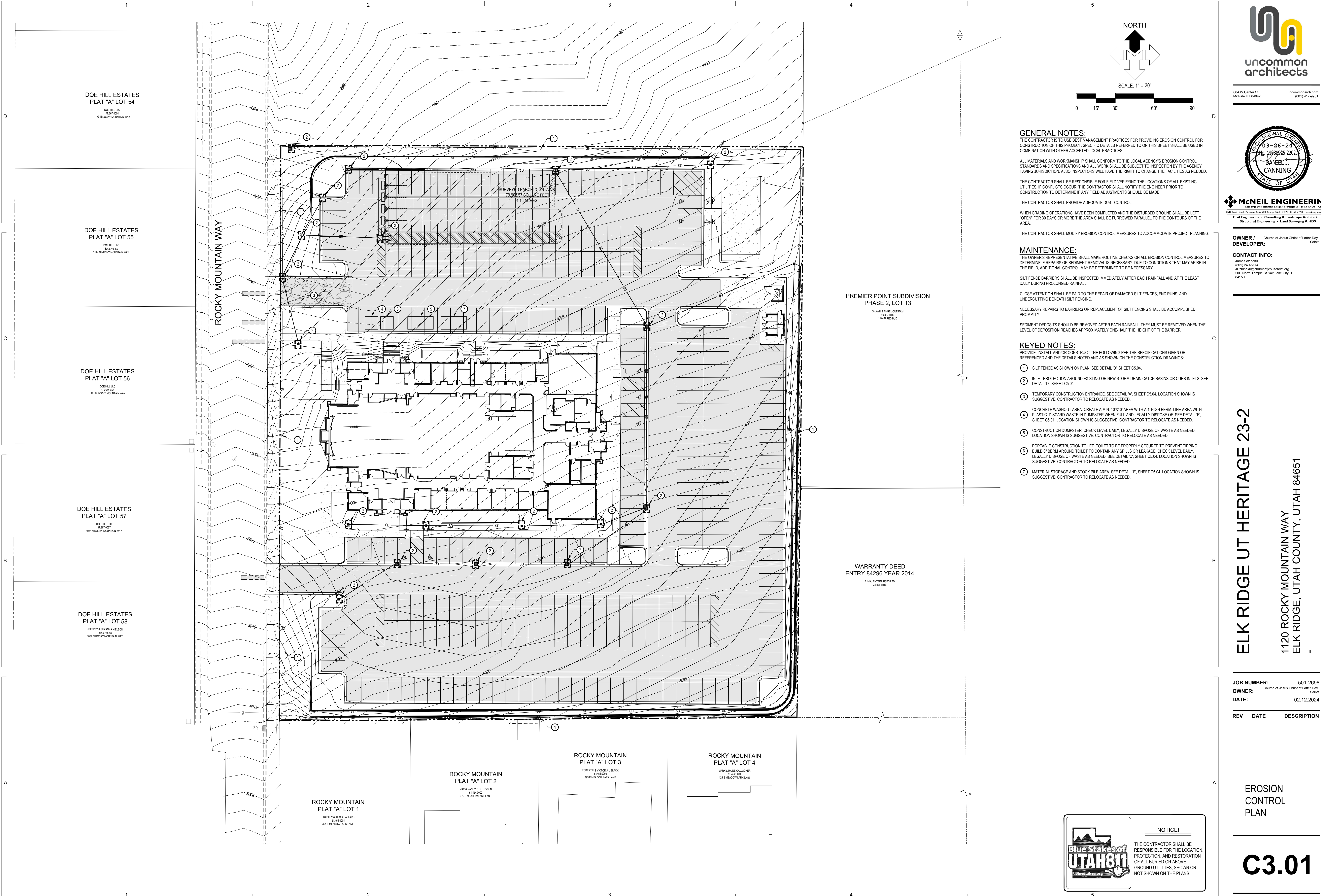
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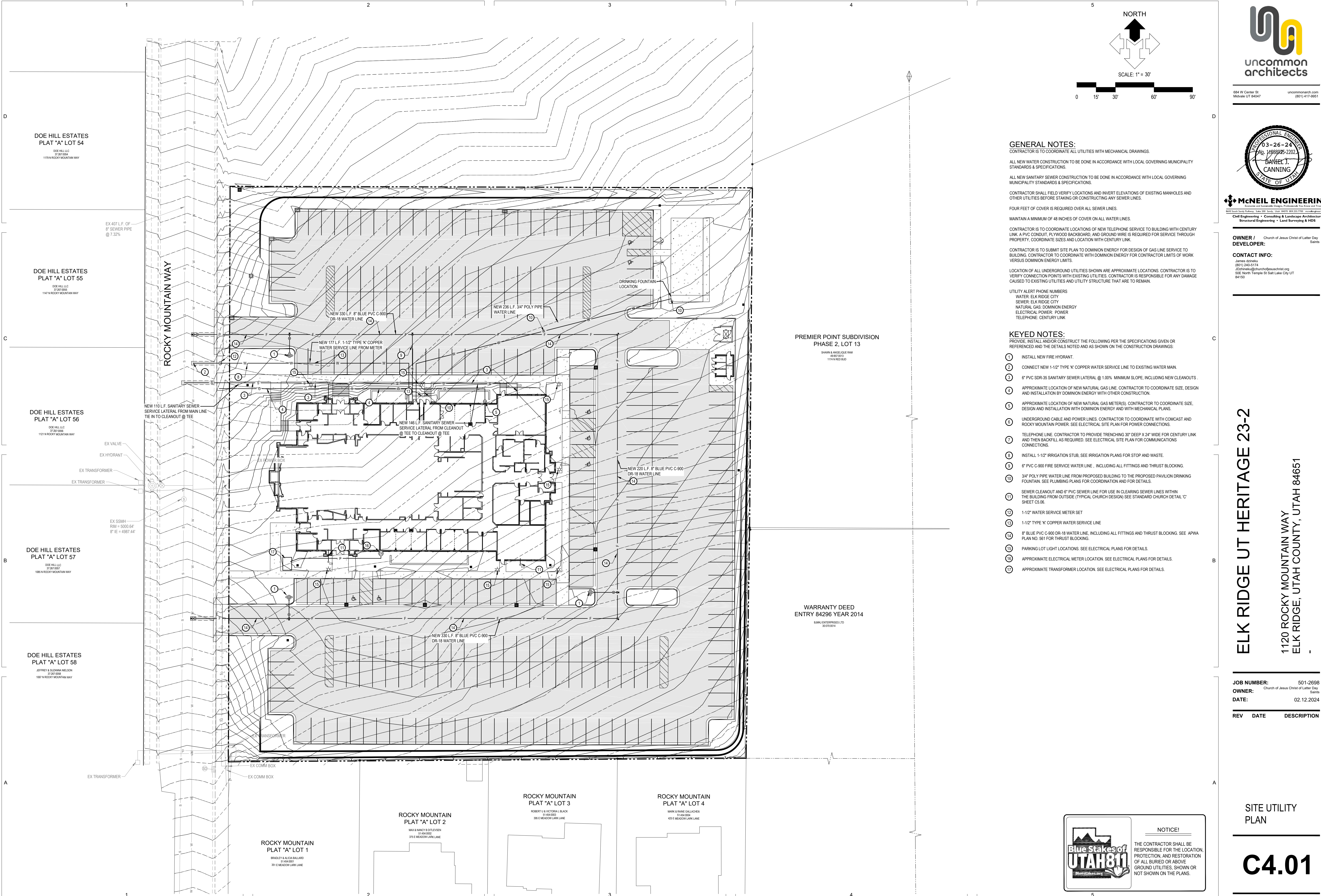
ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

GRADING AND DRAINAGE PLAN

C2.01





GENERAL NOTES:
CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.


CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY LINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURY LINK.

CONTRACTOR IS TO SUBMIT SITE PLAN TO DOMINION ENERGY FOR DESIGN OF GAS LINE SERVICE TO BUILDING. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY FOR CONTRACTOR LIMITS OF WORK VERSUS DOMINION ENERGY LIMITS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY ALERT PHONE NUMBERS
WATER: ELK RIDGE CITY
SEWER: ELK RIDGE CITY
NATURAL GAS: DOMINION ENERGY
ELECTRICAL POWER: POWER
TELEPHONE: CENTURY LINK

- KEYED NOTES:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. INSTALL NEW FIRE HYDRANT.
 2. CONNECT NEW 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE TO EXISTING WATER MAIN.
 3. 6" PVC SDR-35 SANITARY SEWER LATERAL @ 1.00% MINIMUM SLOPE, INCLUDING NEW CLEANOUTS.
 4. APPROXIMATE LOCATION OF NEW NATURAL GAS LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY DOMINION ENERGY WITH OTHER CONSTRUCTION.
 5. APPROXIMATE LOCATION OF NEW NATURAL GAS METER(S). CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION WITH DOMINION ENERGY AND WITH MECHANICAL PLANS.
 6. UNDERGROUND CABLE AND POWER LINES. CONTRACTOR TO COORDINATE WITH COMCAST AND ROCKY MOUNTAIN POWER. SEE ELECTRICAL SITE PLAN FOR POWER CONNECTIONS.
 7. TELEPHONE LINE. CONTRACTOR TO PROVIDE TRENCHING 30" DEEP X 24" WIDE FOR CENTURY LINK AND THEN BACKFILL AS REQUIRED. SEE ELECTRICAL SITE PLAN FOR COMMUNICATIONS CONNECTIONS.
 8. INSTALL 1-1/2" IRRIGATION STUB. SEE IRRIGATION PLANS FOR STOP AND WASTE.
 9. 6" PVC C-900 FIRE SERVICE WATER LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING.
 10. 3/4" POLY PIPE WATER LINE FROM PROPOSED BUILDING TO THE PROPOSED PAVILION DRINKING FOUNTAIN. SEE PLUMBING PLANS FOR COORDINATION AND FOR DETAILS.
 11. SEWER CLEANOUT AND 6" PVC SEWER LINE FOR USE IN CLEARING SEWER LINES WITHIN THE BUILDING FROM OUTSIDE (TYPICAL CHURCH DESIGN) SEE STANDARD CHURCH DETAIL 'C' SHEET C5.06.
 12. 1-1/2" WATER SERVICE METER SET
 13. 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE
 14. 8" BLUE PVC C-900 DR-18 WATER LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE APWA PLAN NO. 561 FOR THRUST BLOCKING.
 15. PARKING LOT LIGHT LOCATIONS. SEE ELECTRICAL PLANS FOR DETAILS.
 16. APPROXIMATE ELECTRICAL METER LOCATION. SEE ELECTRICAL PLANS FOR DETAILS.
 17. APPROXIMATE TRANSFORMER LOCATION. SEE ELECTRICAL PLANS FOR DETAILS.



Blue Stakes of
UTAH811
bluestakes.com

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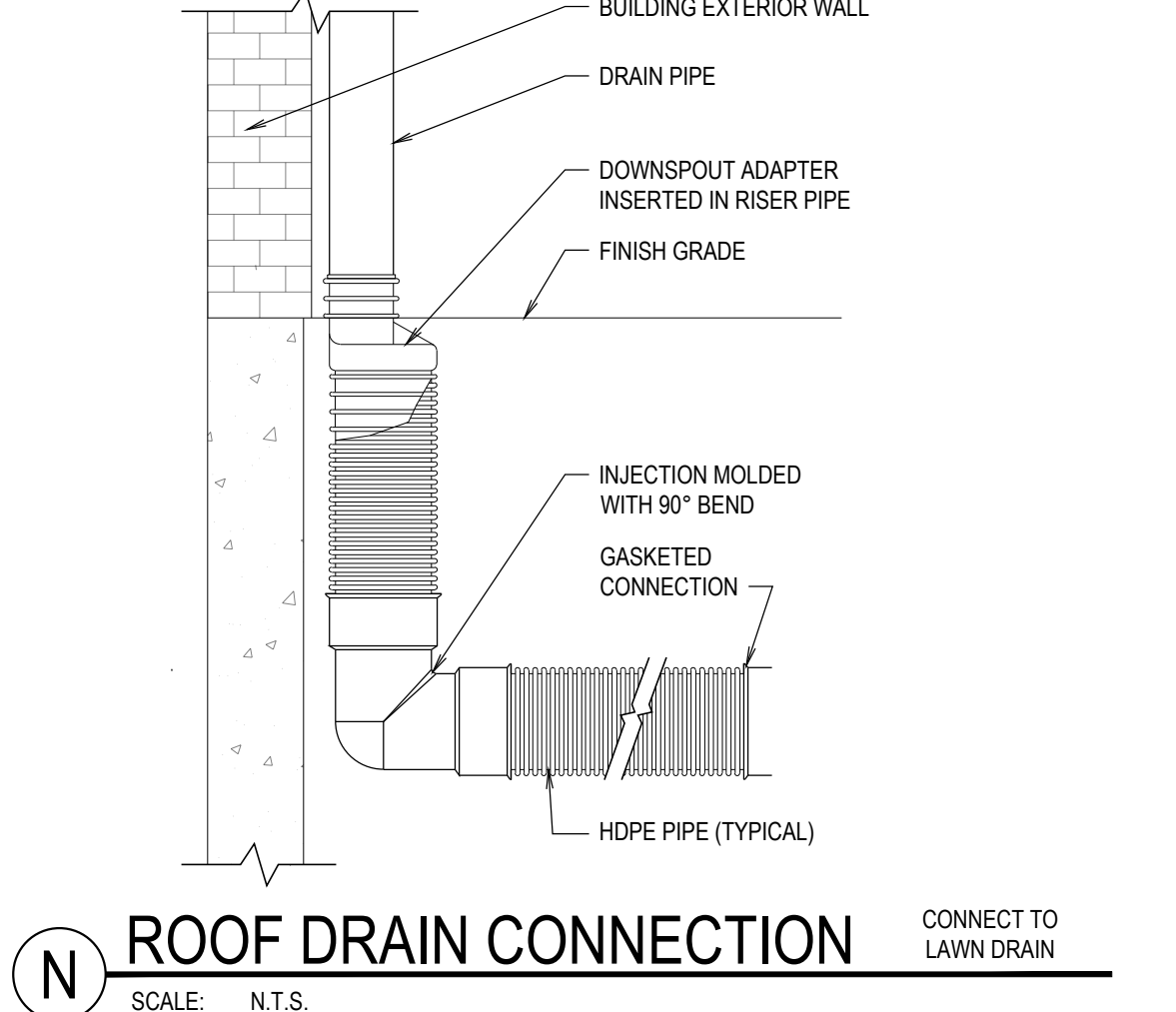
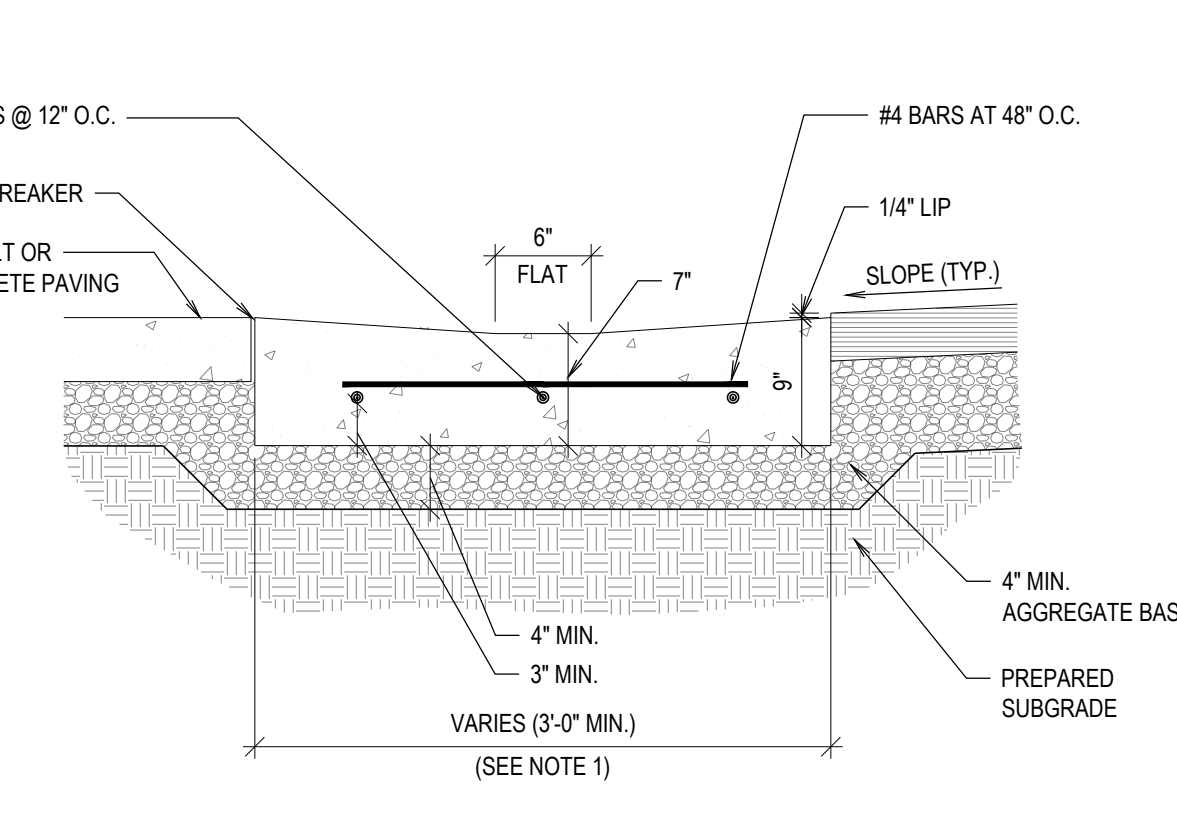
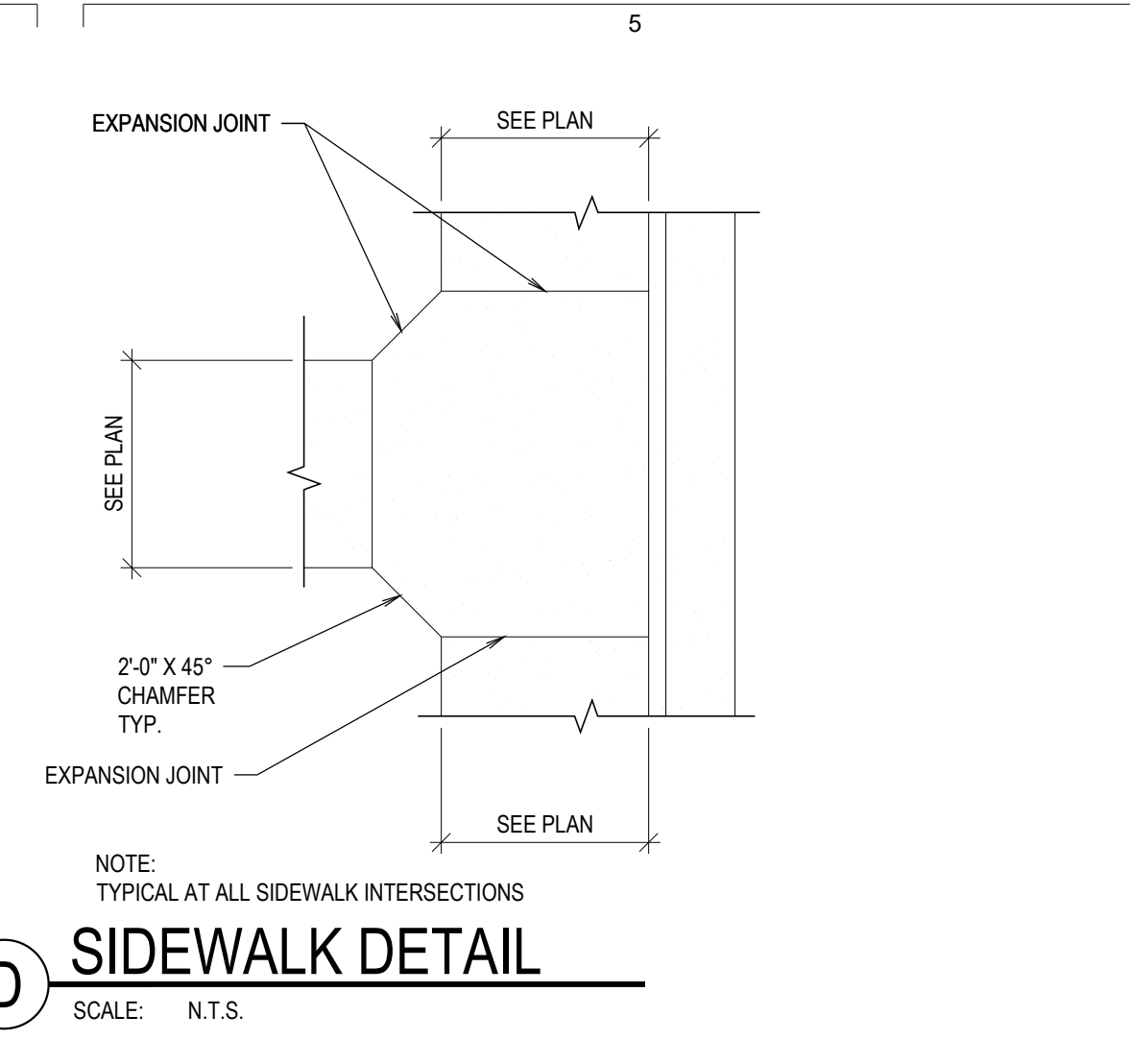
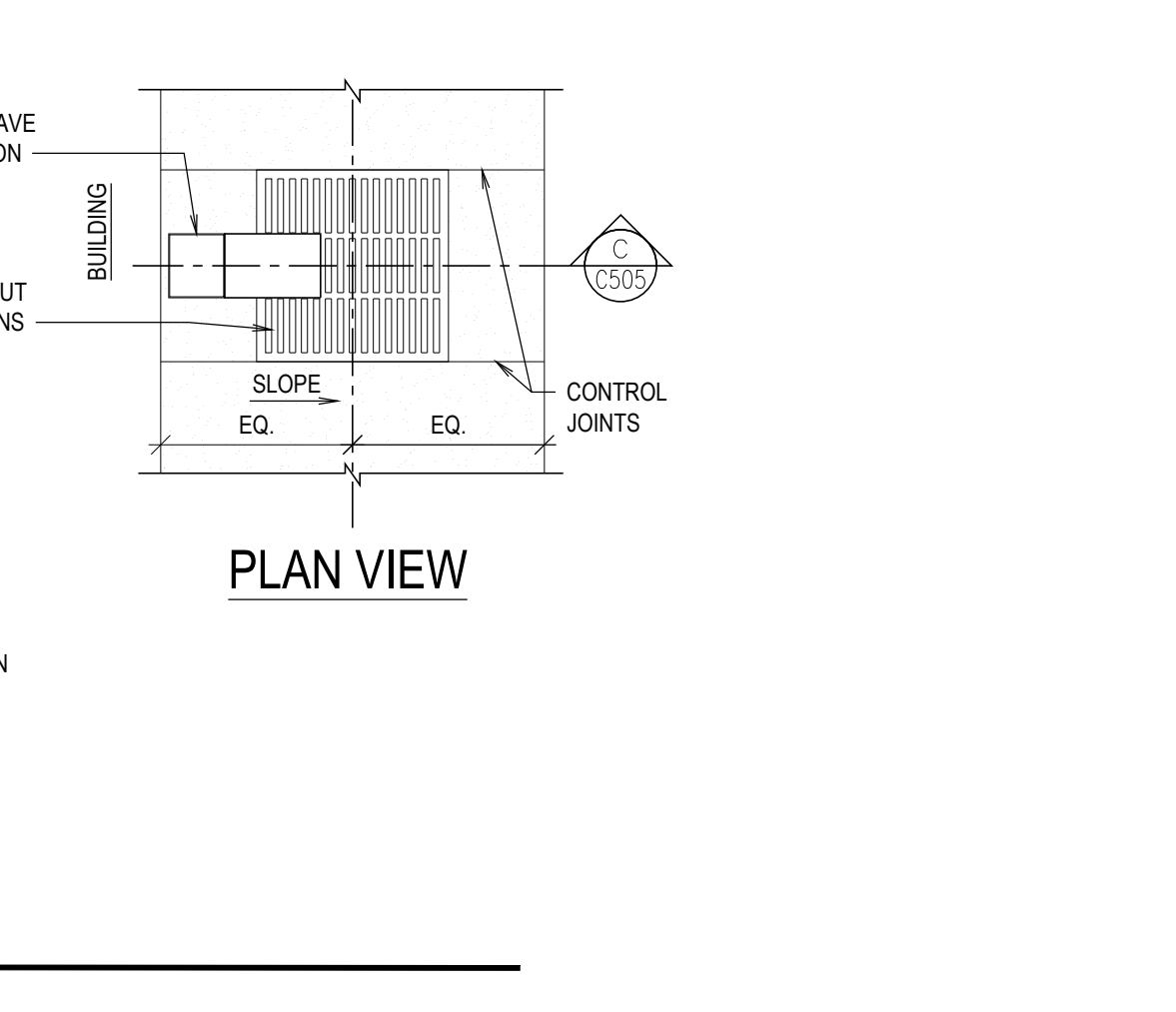
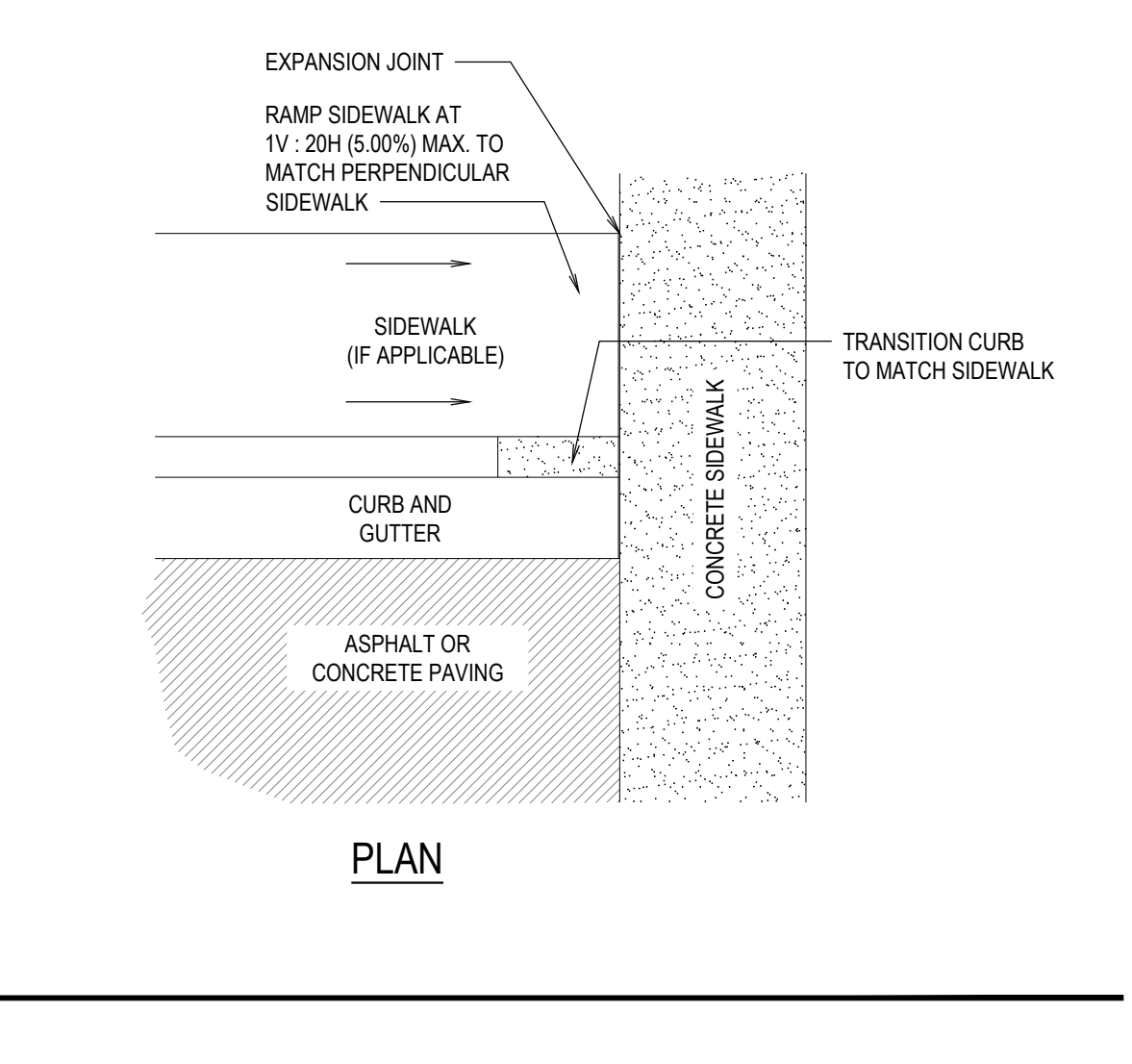
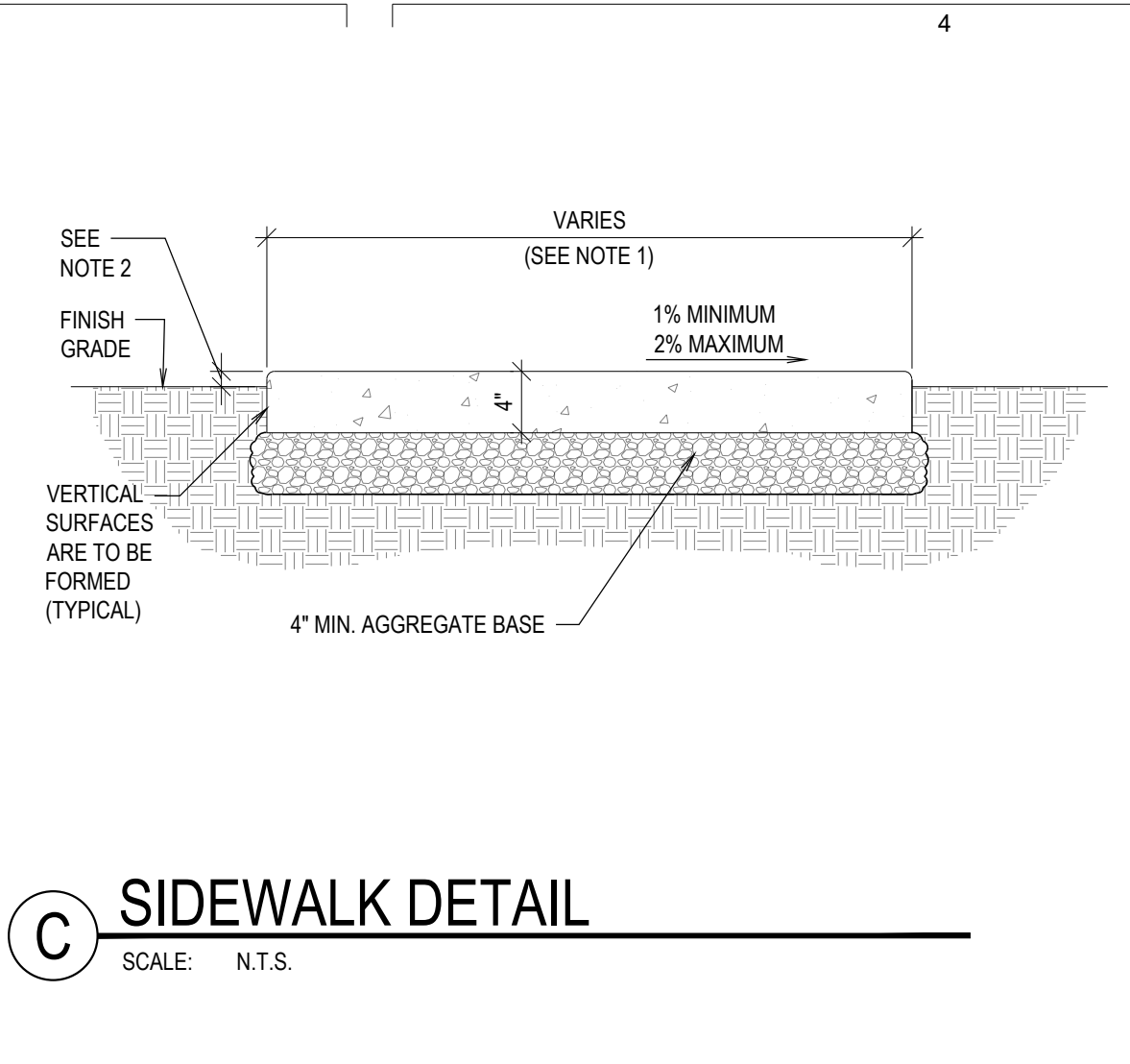
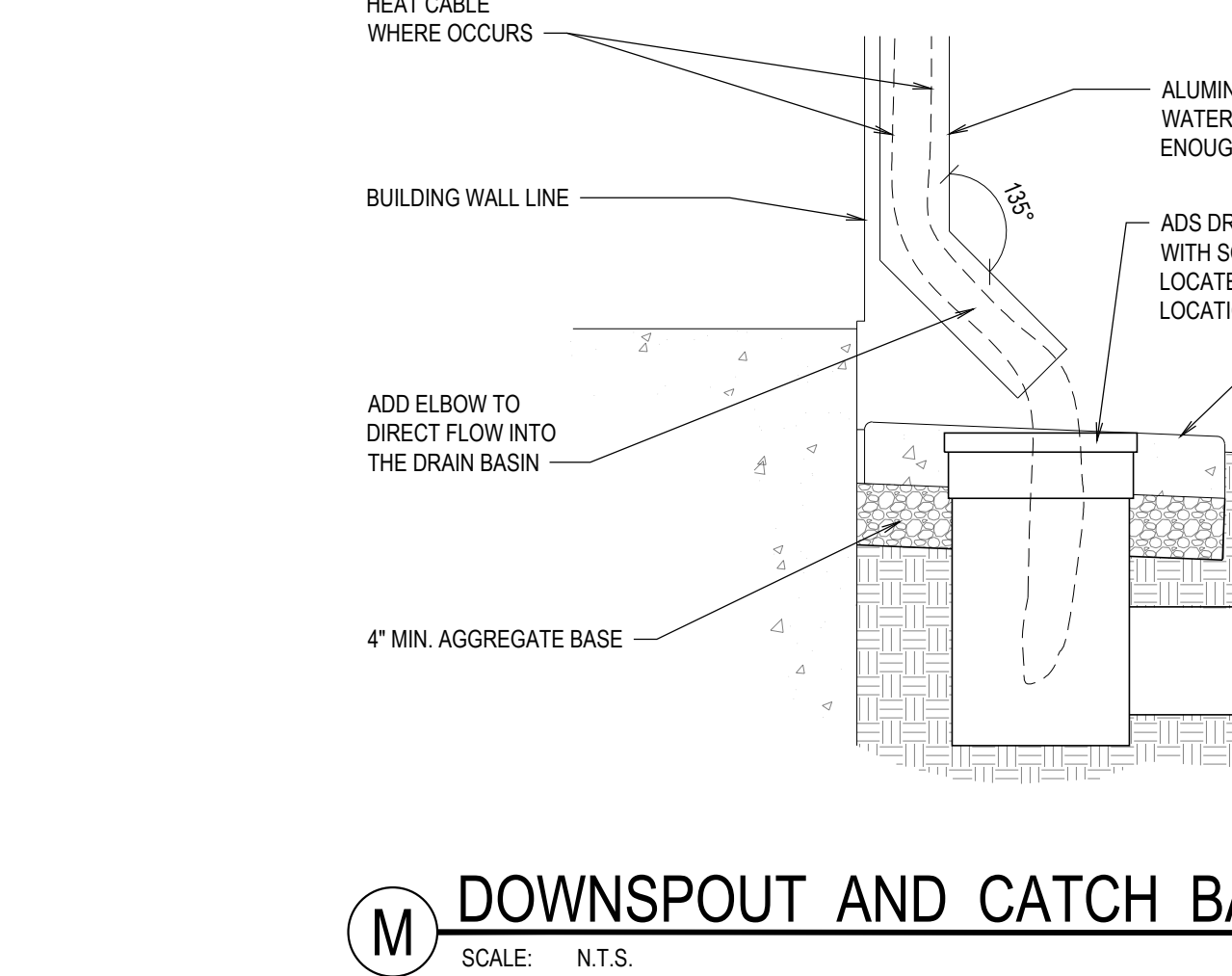
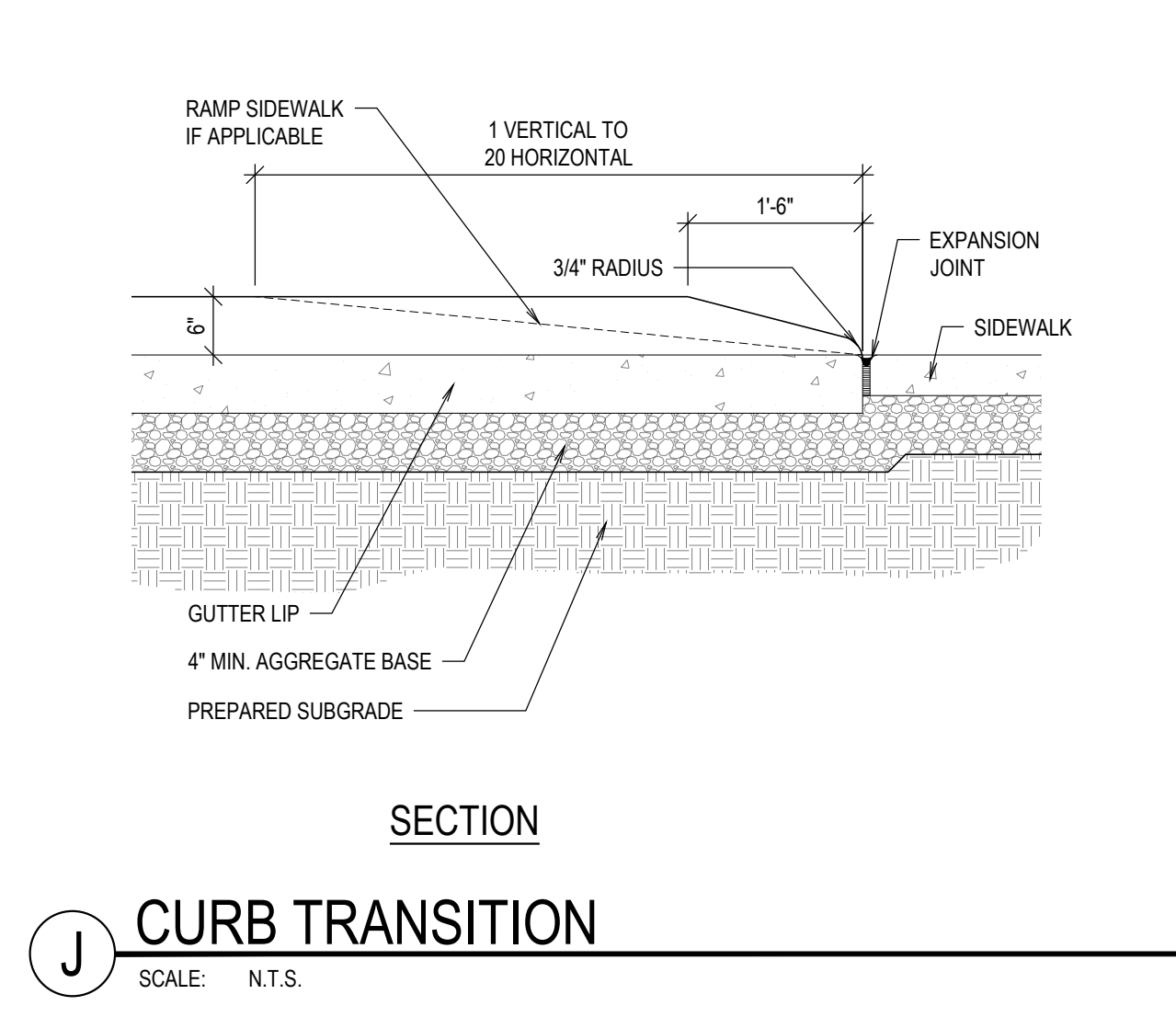
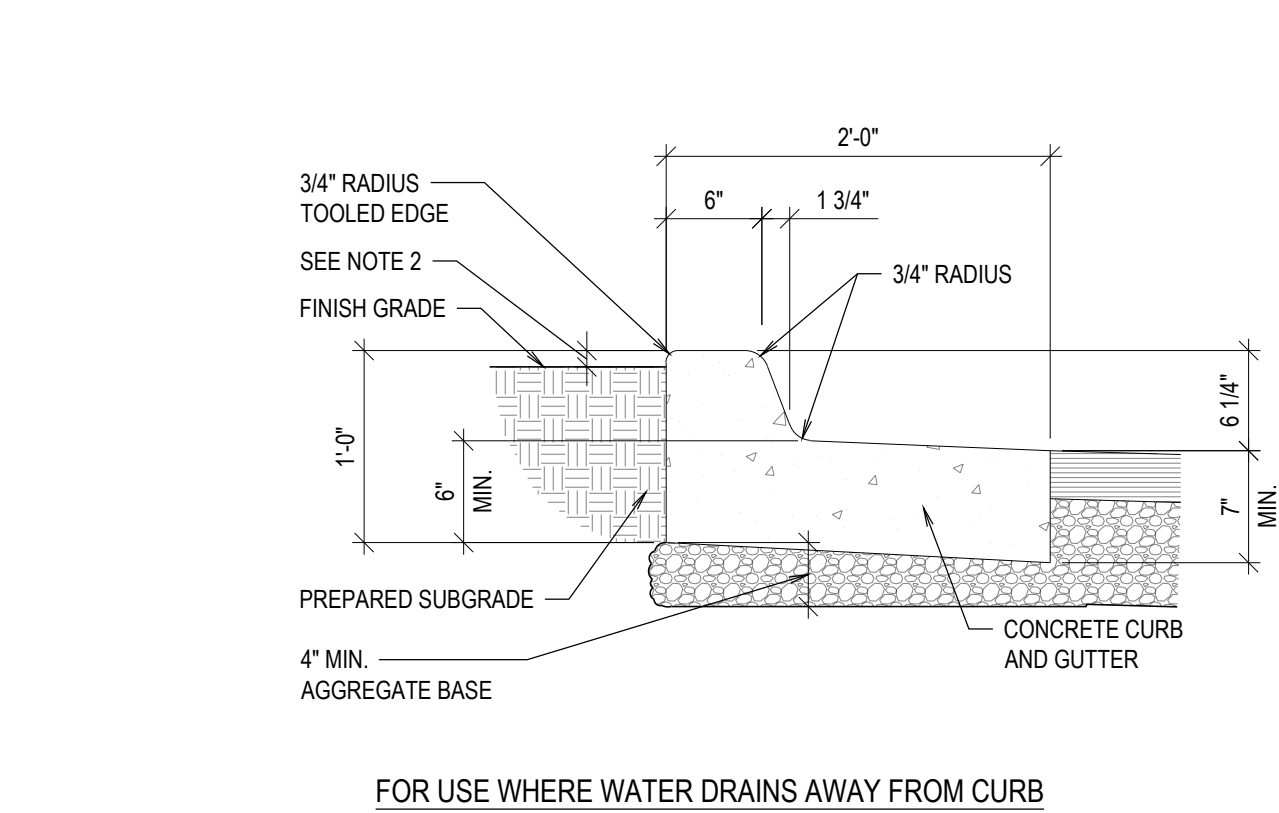
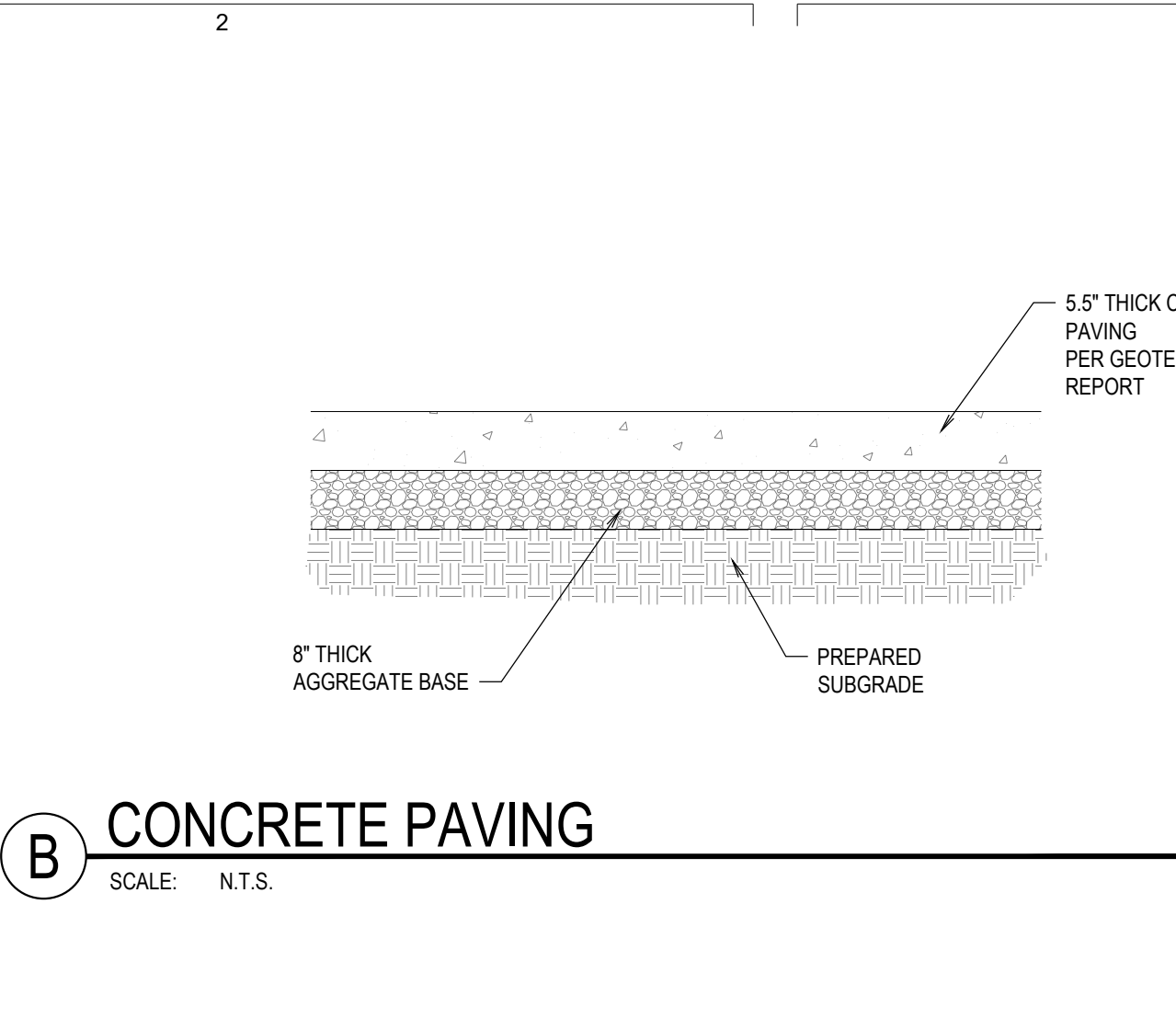
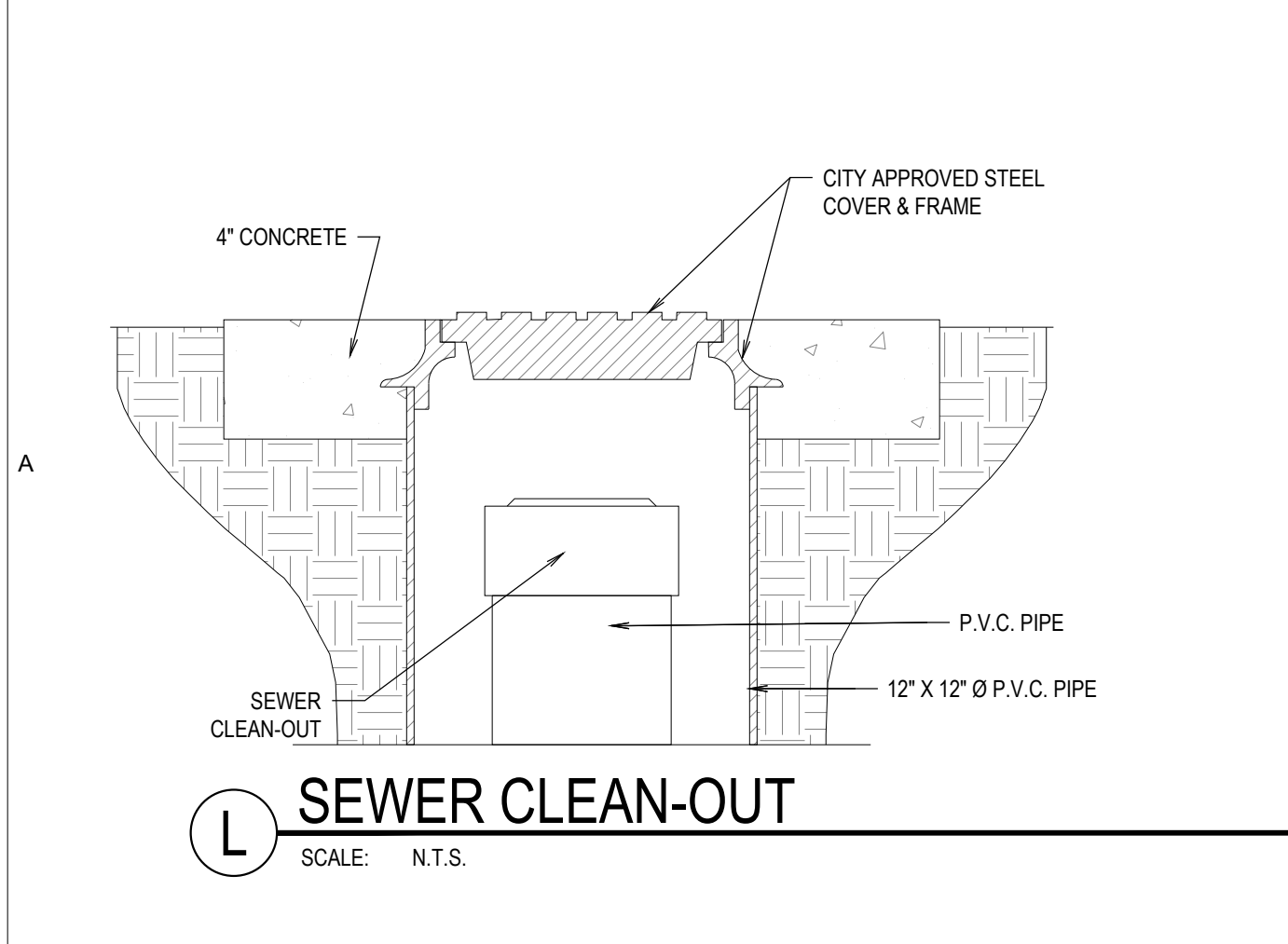
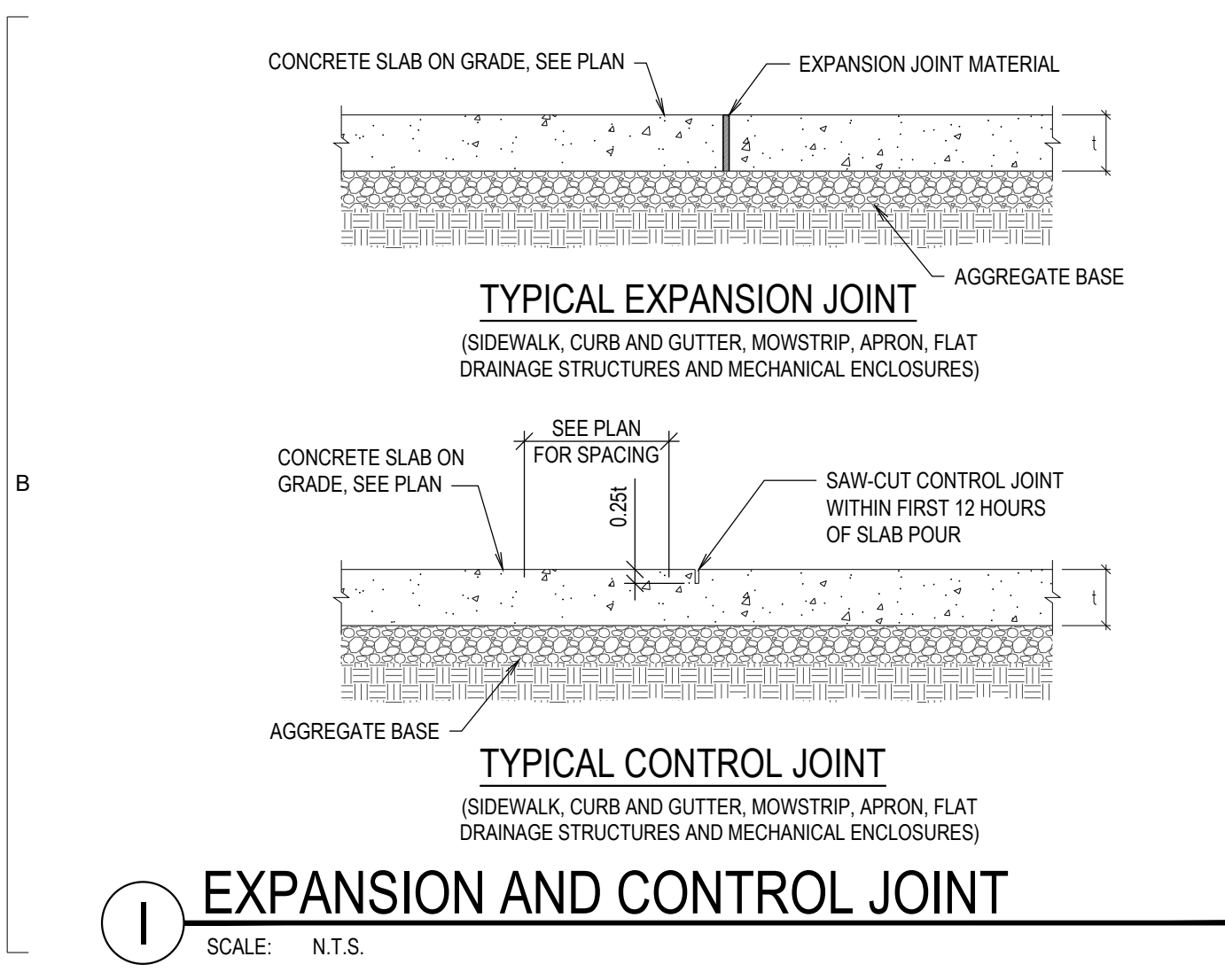
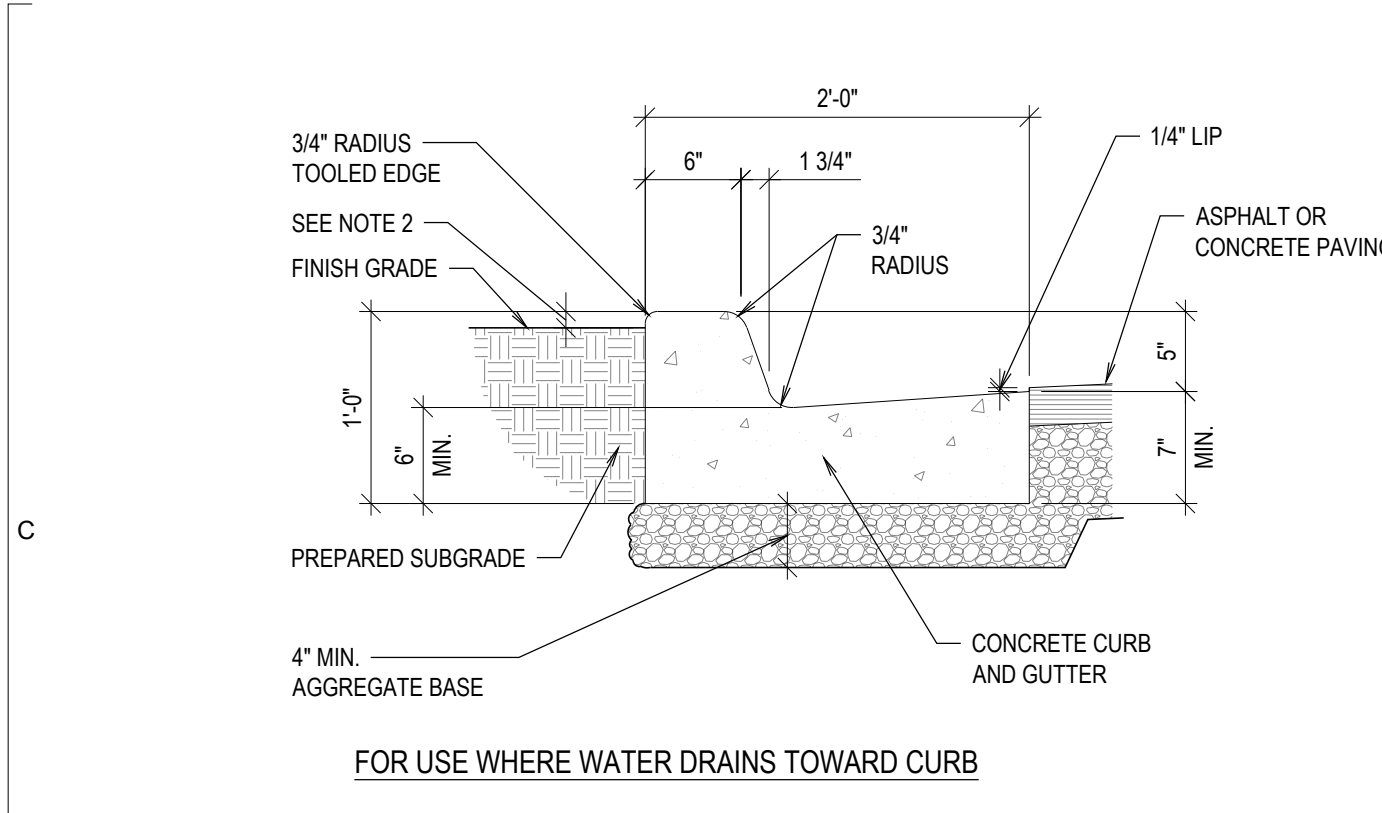
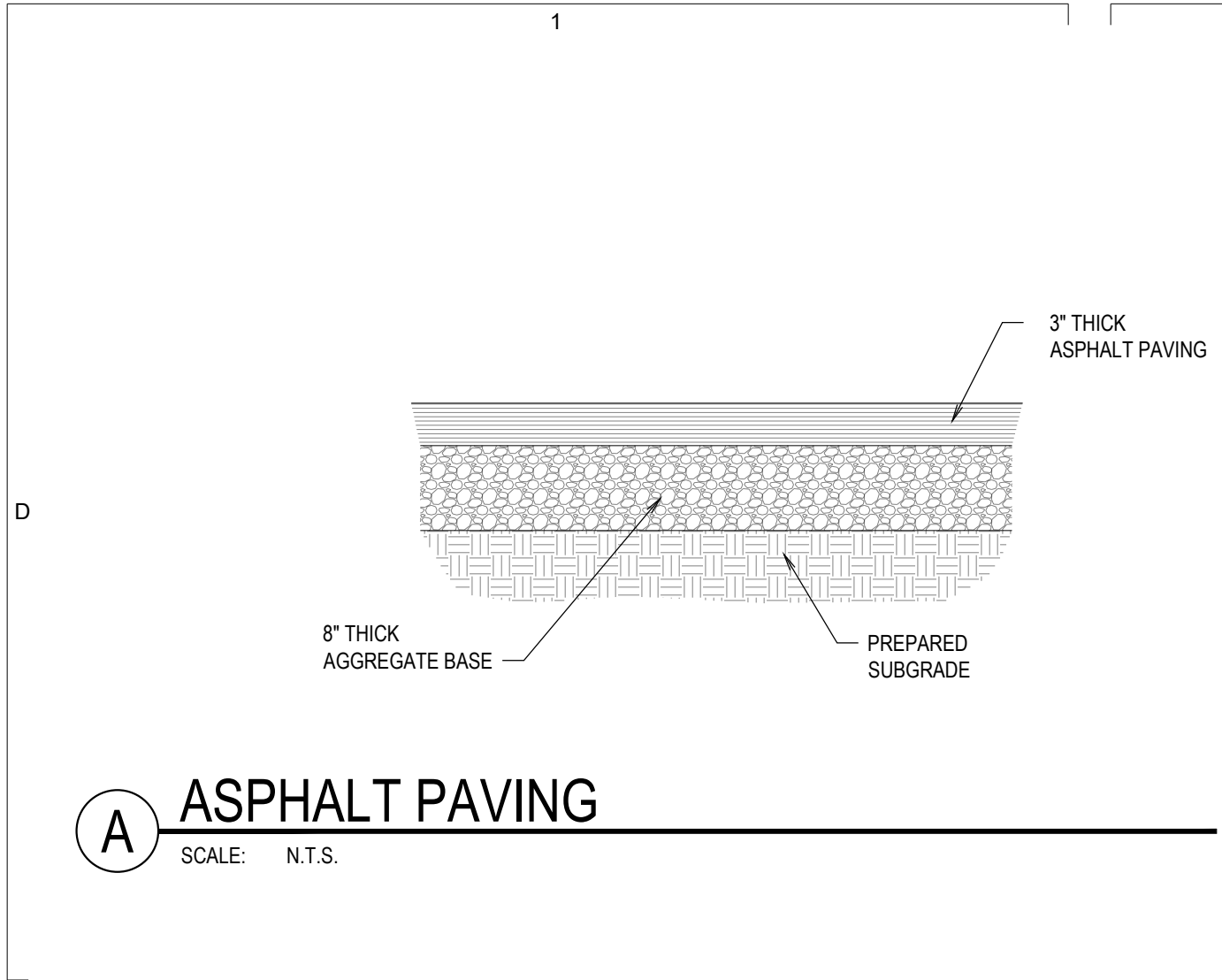
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV	DATE	DESCRIPTION
-----	------	-------------

SITE UTILITY
PLAN

C4.01



uncommon architects

684 W Center St
Midvale UT 84047

uncommonarch.com
(801) 417-9951

PROFESSIONAL ENGINEER

03-26-24
No. 198825-2202
DANIEL J. CANNING
STATE OF UTAH

McNEIL ENGINEERING

Structural Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

OWNER / DEVELOPER:

Church of Jesus Christ of Latter Day Saints

CONTACT INFO:

James Donaku
(801) 248-5174
jdonaku@churchofjesuschrist.org
505 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

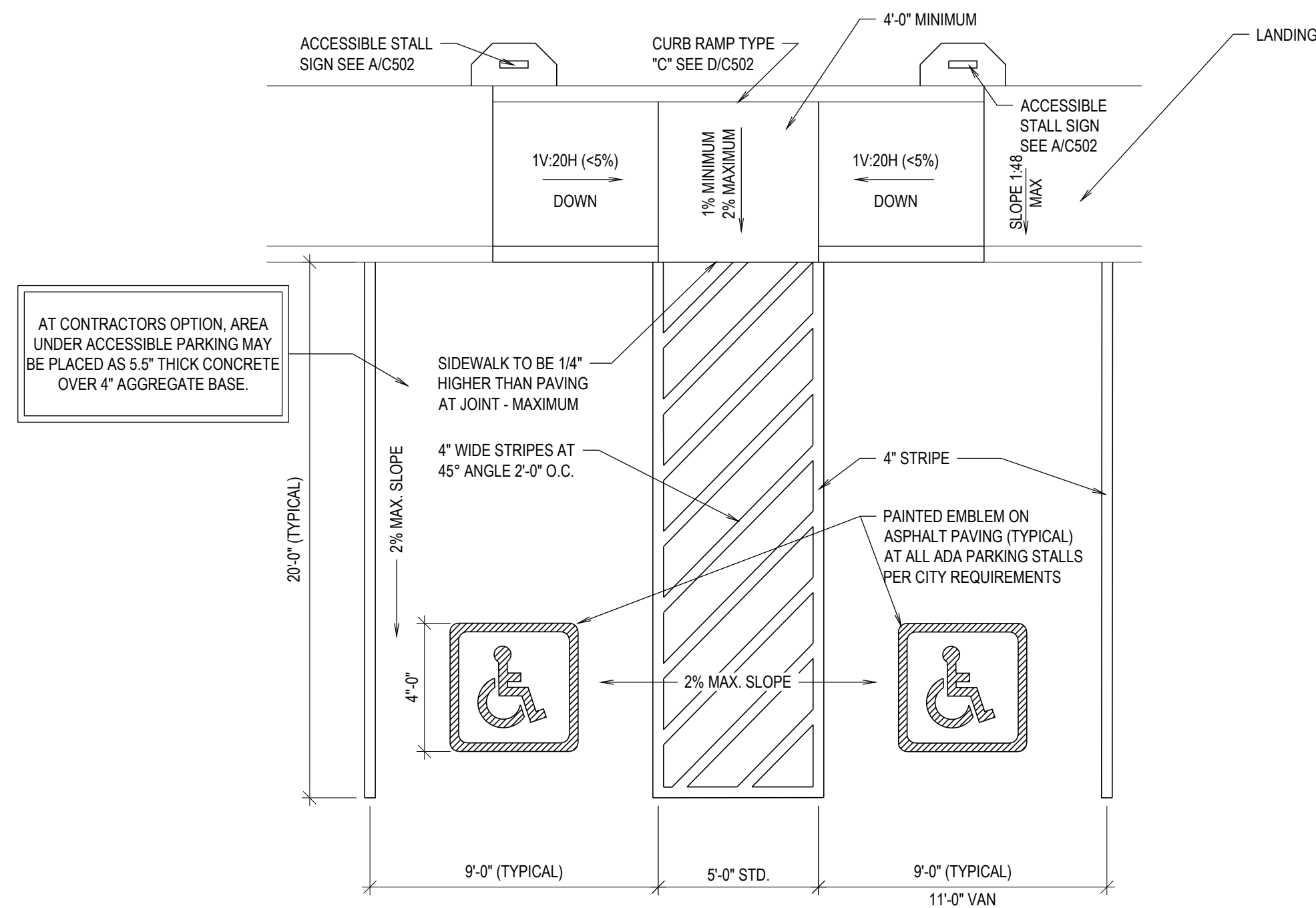
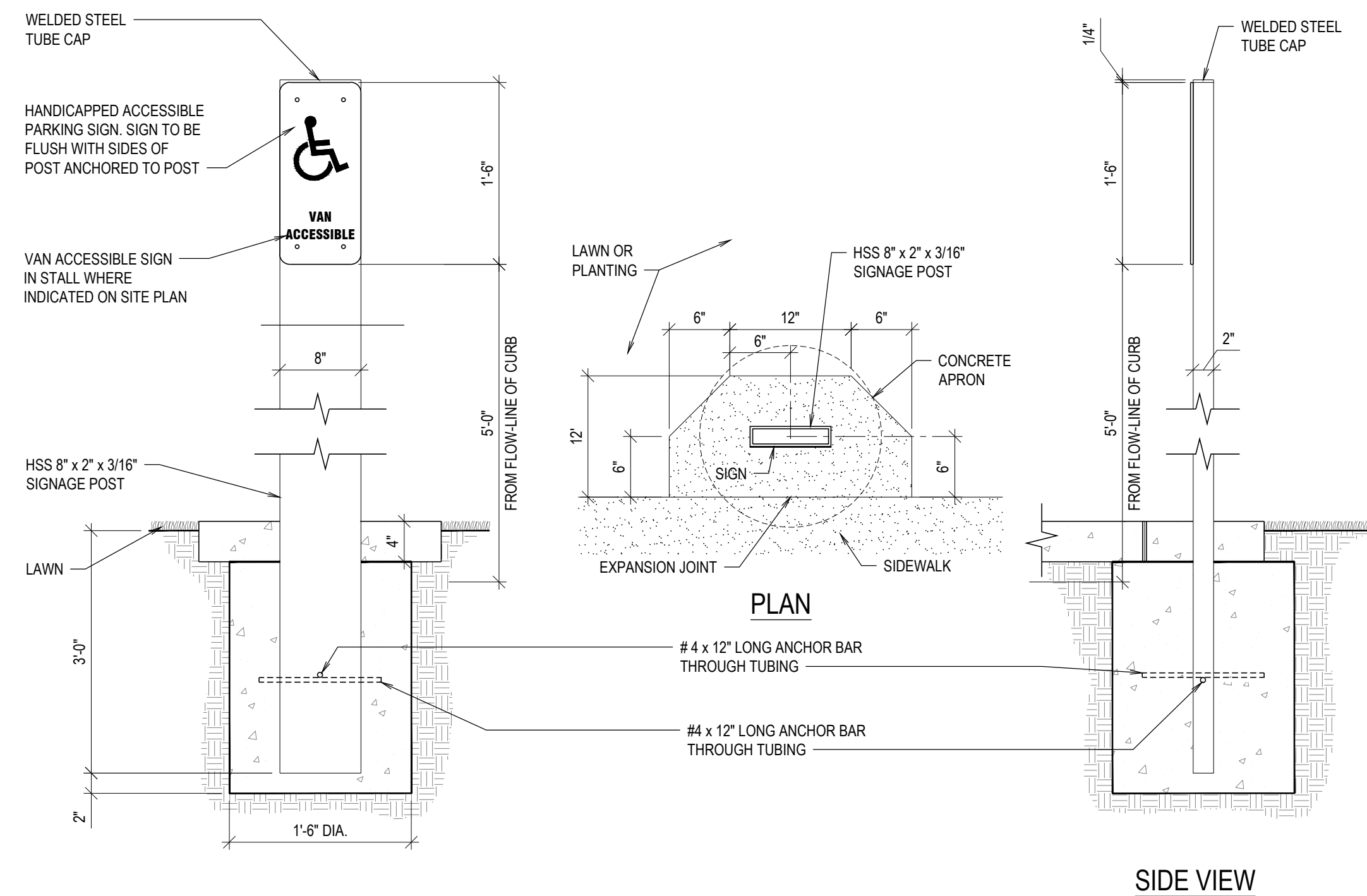
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV	DATE	DESCRIPTION
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CIVIL DETAILS

C5.01

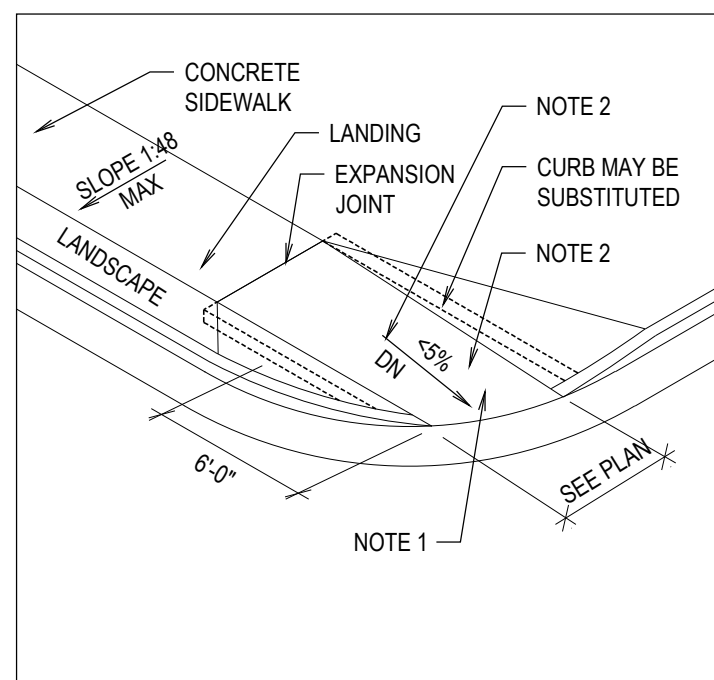


ACCESSIBLE STALL SIGN (TRAFFIC SIGNAGE)

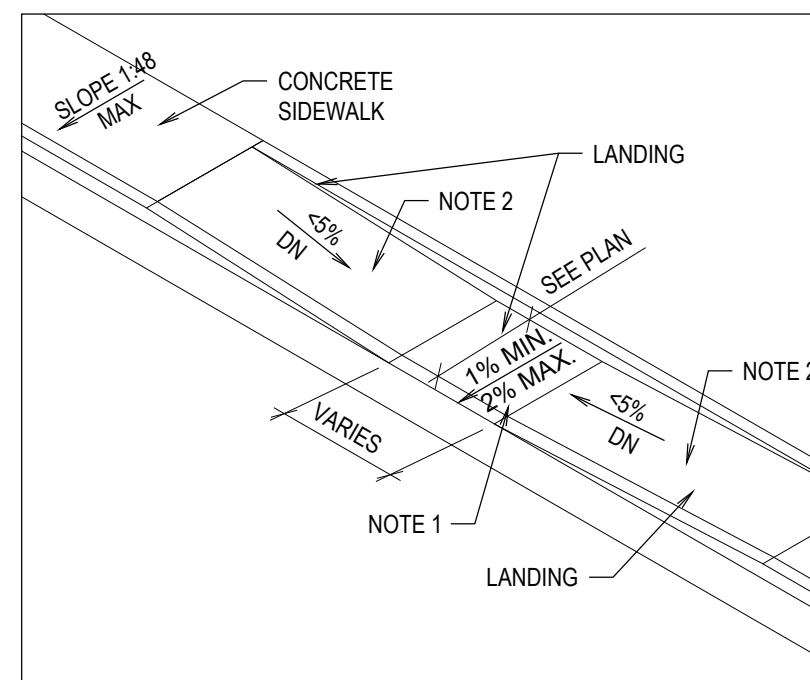
SCALE: N.T.S.

STEEL PER DIVISION 05
INSTALL PER DIVISION 03

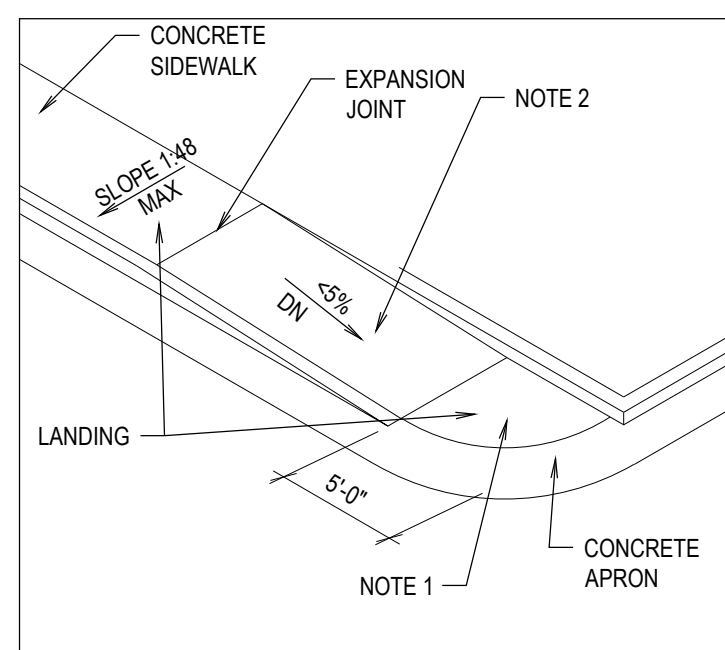
- NOTES:**
1. PROVIDE DETECTABLE WARNING PANELS PER ADA REQUIREMENTS AT PUBLIC RIGHT-OF-WAYS (MINIMUM OF 2" DEEP BY THE WIDTH OF RAMP).
 2. UNLESS REQUIRED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION, USE A LIGHT BROOM FINISH ON RAMPS AND LANDINGS TO MATCH THE FINISHES ON THE SIDEWALKS.
 3. 5% (MAXIMUM) IN DIRECTION OF TRAVEL. LIMIT CROSS SLOPE ON SIDEWALKS 2%.
 4. ALL LANDINGS MUST HAVE 1:48 CROSS SLOPE AND RUNNING SLOPE. LANDING MUST BE AS WIDE AS THE RAMP.
 5. CROSS SLOPE ON RAMP MUST BE 1:48 OR LESS.
 6. COUNTER SLOPES OF ADJOINING GUTTERS AND PAVING ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%), ALTHOUGH CODE ALLOWS A 1V/12H (8.33%) SLOPE.



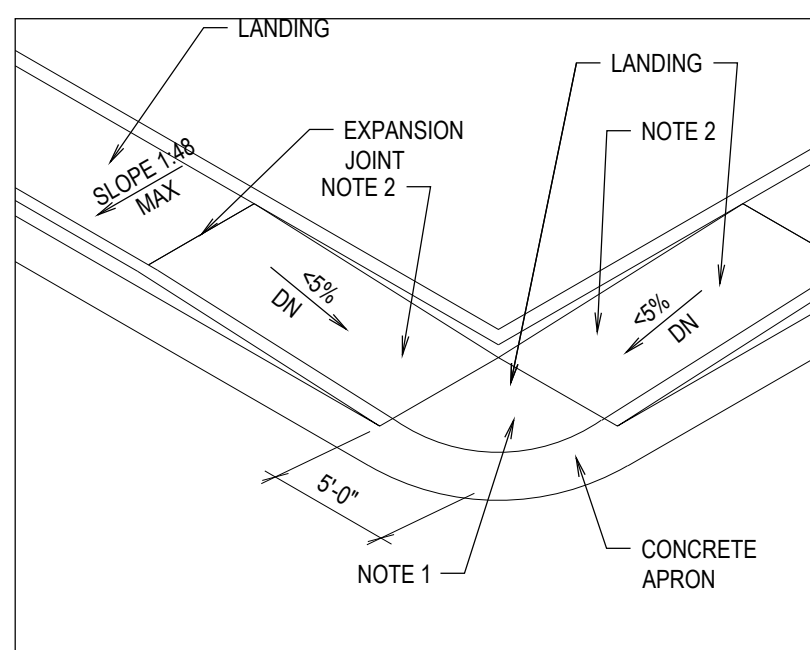
TYPE A



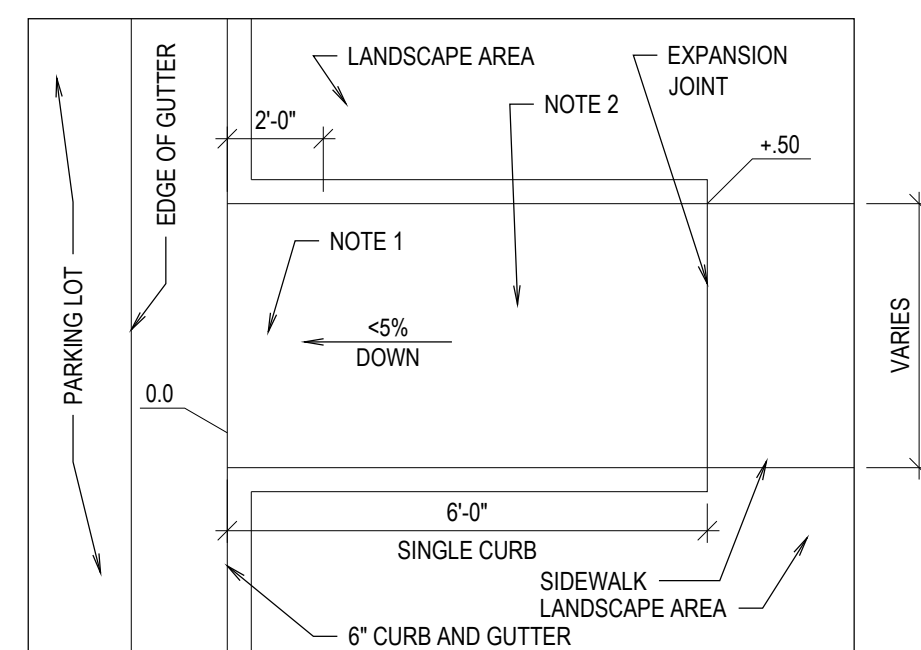
TYPE B



TYPE C



TYPE D



TYPE E

 ACCESSIBLE PARKING

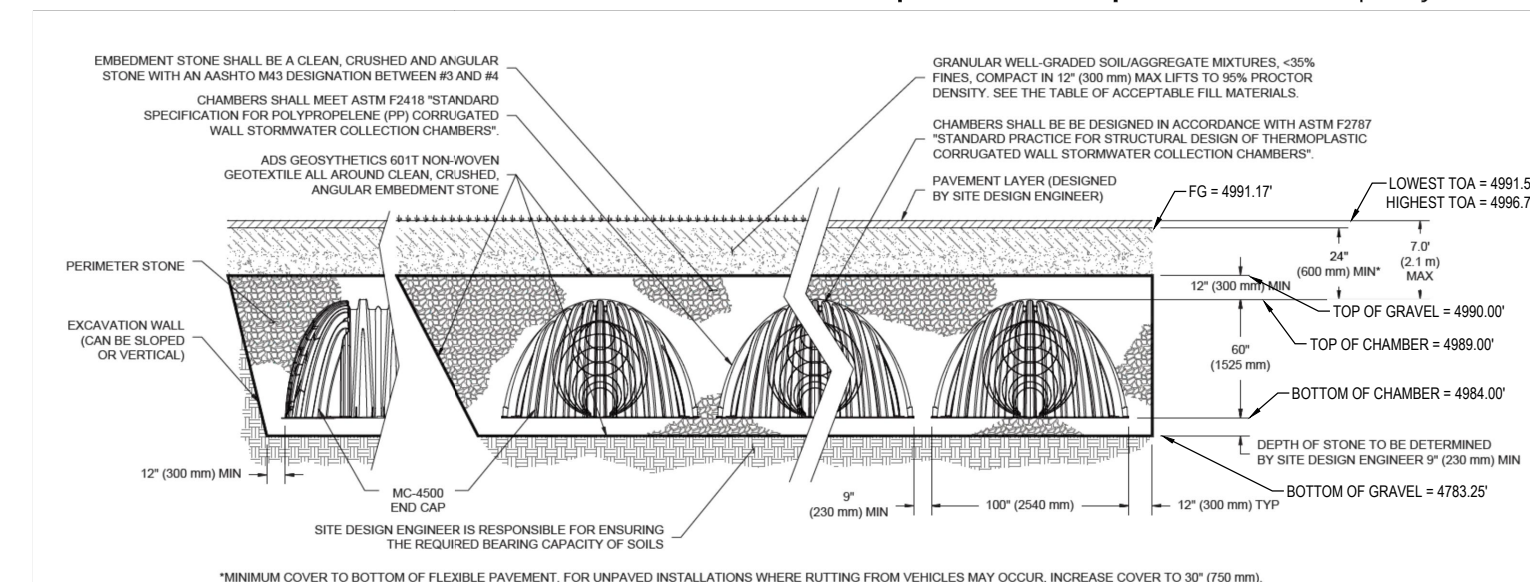
SCALE: N.T.S.

(SEE ANSI A117.1)

STEEL PER DIVISION 05
INSTALL PER DIVISION 03

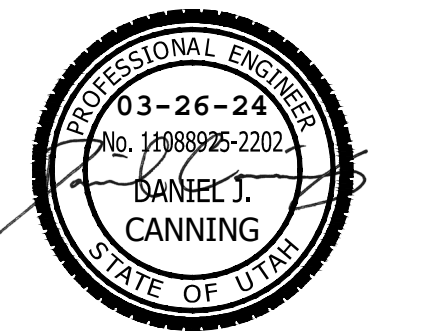


<u>User Inputs</u>		<u>Results</u>	
Chamber Model:	MC-7200	<u>System Volume and Bed Size</u>	
Outlet Control Structure:	No	Installed Storage Volume:	33539.54 cubic ft.
Project Name:	Elk Ridge Stake Center	Storage Volume Per Chamber:	175.90 cubic ft.
Engineer:	Daniel Canning	Number Of Chambers Required:	117
Project Location:	Utah	Number Of End Caps Required:	10
Measurement Type:	Imperial	Chamber Rows:	5
Required Storage Volume:	32805 cubic ft.	Maximum Length:	170.15 ft.
Stone Porosity:	40%	Maximum Width:	46.67 ft.
Stone Foundation Depth:	9 in.	Approx. Bed Size Required:	7760.88 square ft.
Stone Above Chambers:	12 in.	<u>System Components</u>	
Average Cover Over Chambers:	24 in.	Amount Of Stone Required:	1164 cubic yards
Design Constraint Dimensions:	(60 ft. x 185 ft.)	Volume Of Excavation (Not Including Fill):	1941 cubic yards
		Total Non-woven Geotextile Required:	2460 square yards
		Woven Geotextile Required (excluding Isolator Row):	85 square yards
		Woven Geotextile Required (Isolator Row):	382 square yards
		Total Woven Geotextile Required:	467 square yards
		Impervious Liner Required:	0 square yards



D ACCESSIBLE SLOPED WALK DETAILS

SCALE: N.T.S.



OWNER / Church of Jesus Christ of Latter Day
DEVELOPER: Saints

CONTACT INFO:

James dzineku
(801) 240-5174
JDzineku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT
84150

ELK RIDGE UT HERITAGE 23-2

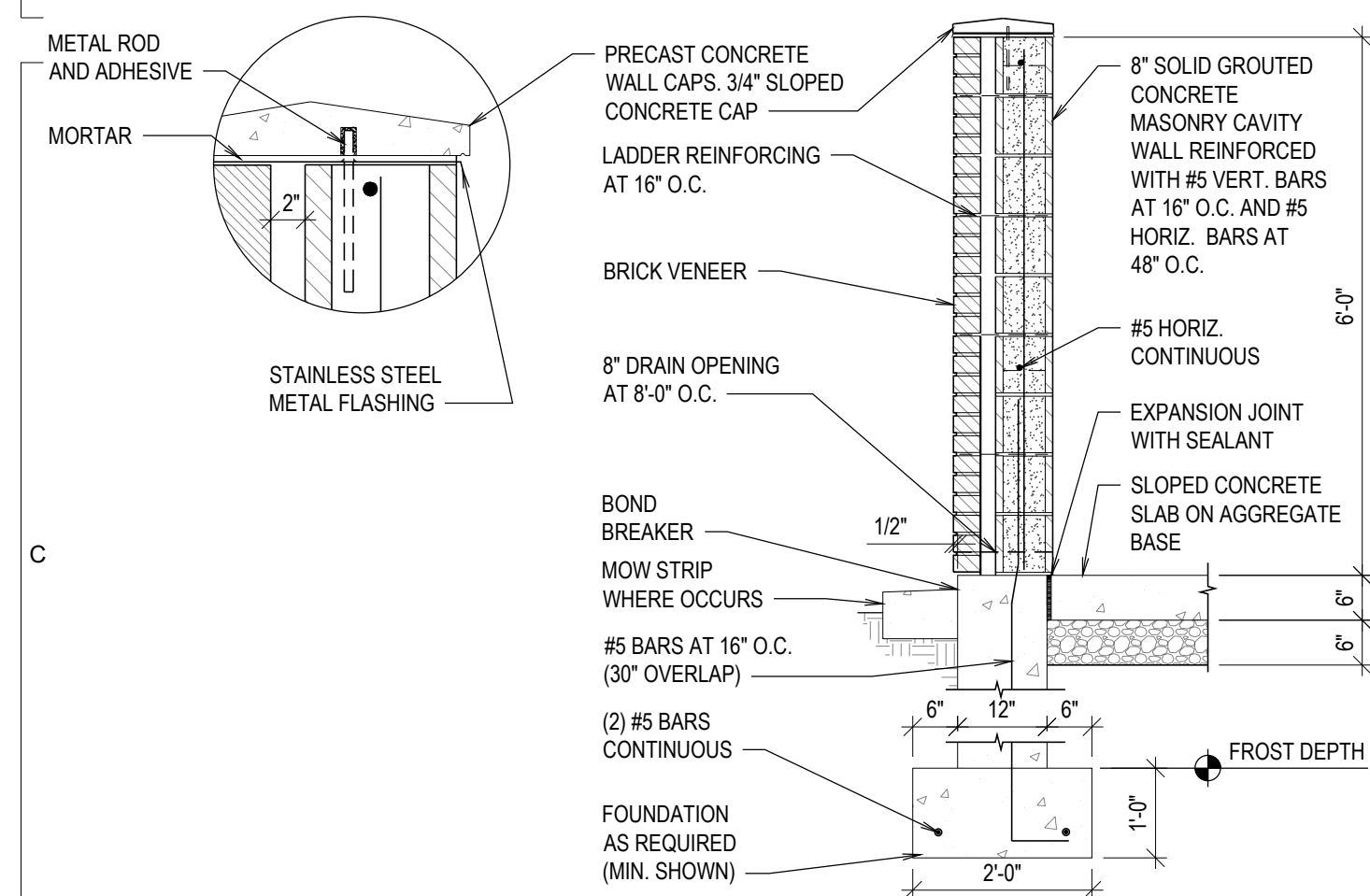
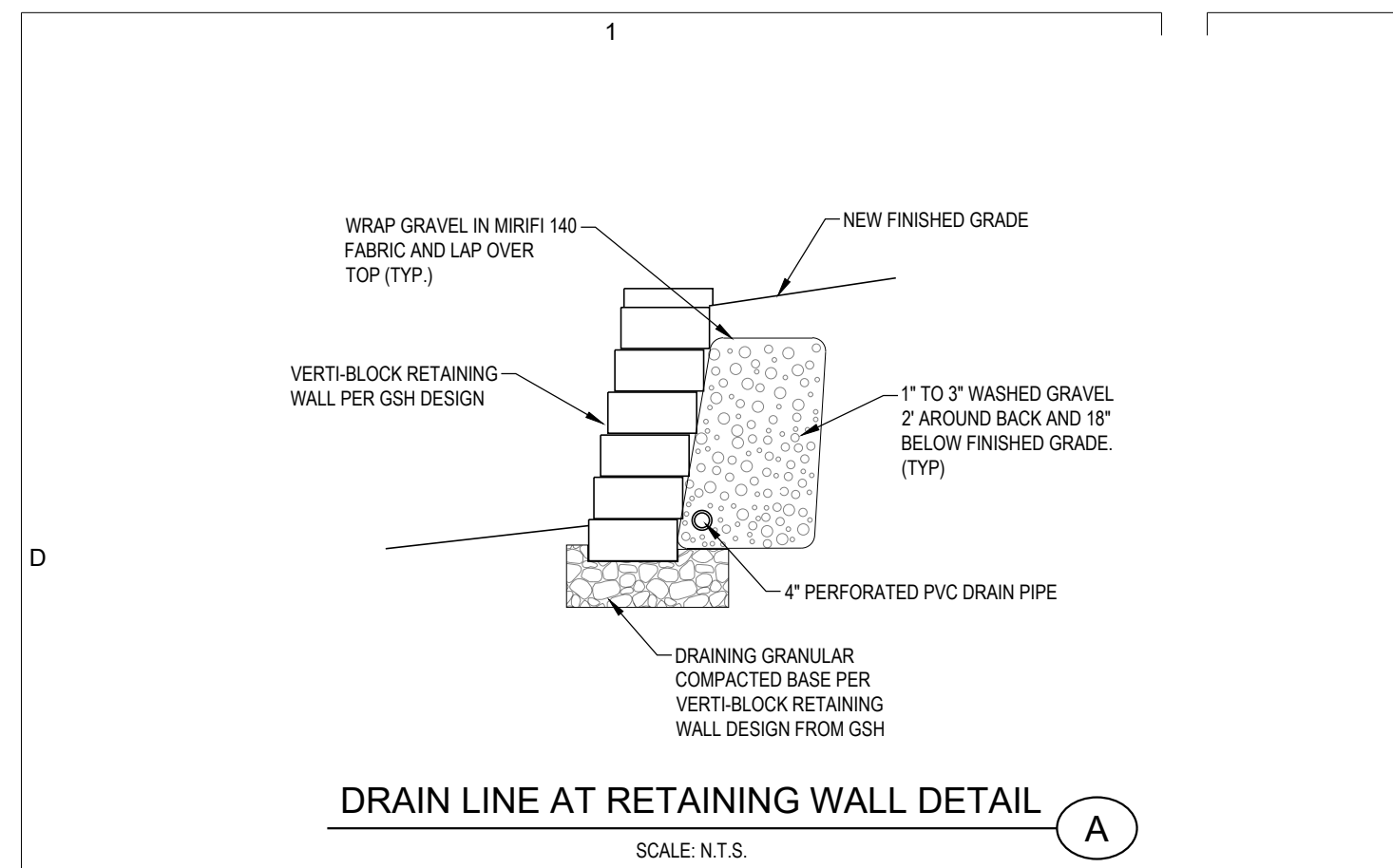
11120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV	DATE	DESCRIPTION
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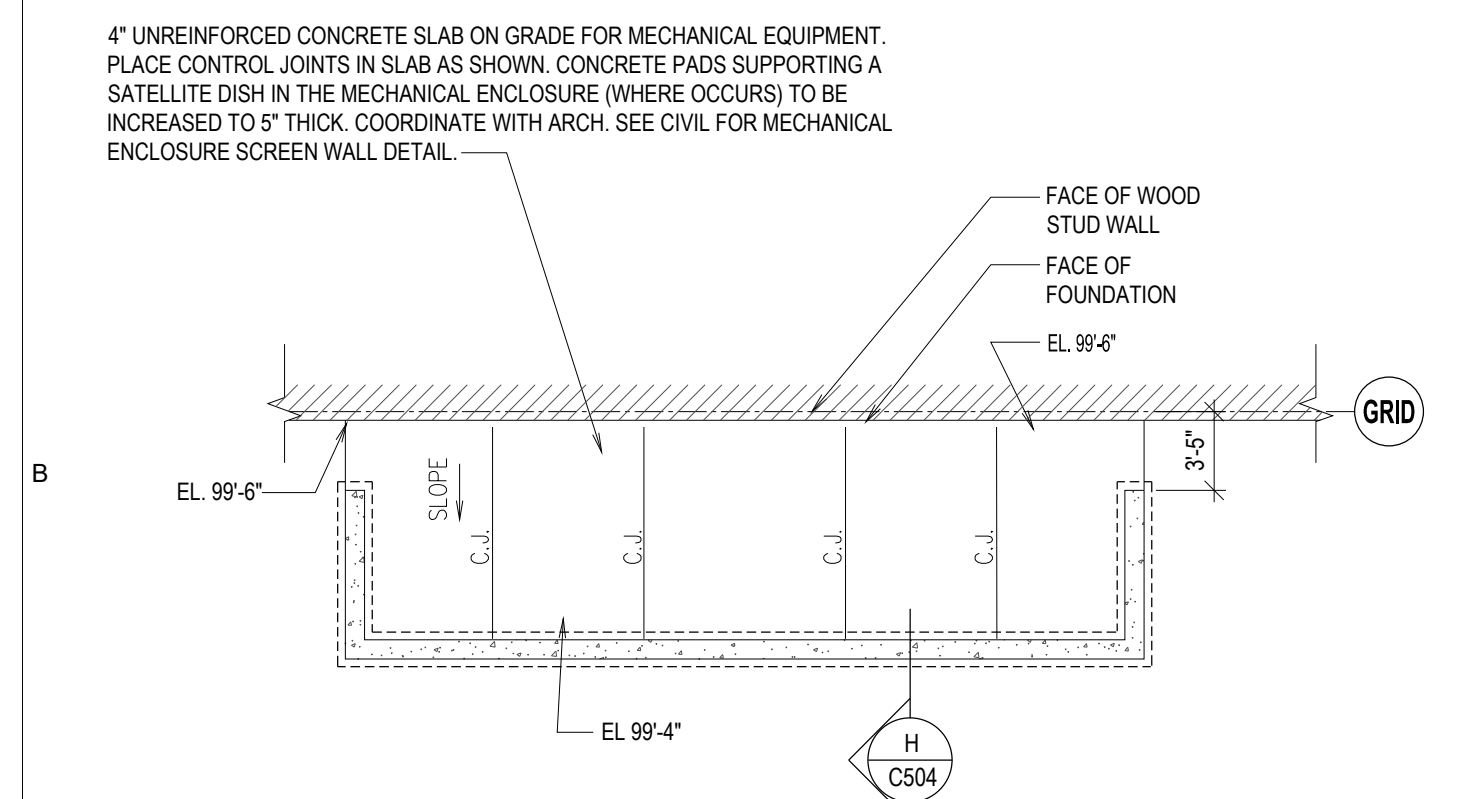
CIVIL DETAILS

C5.02



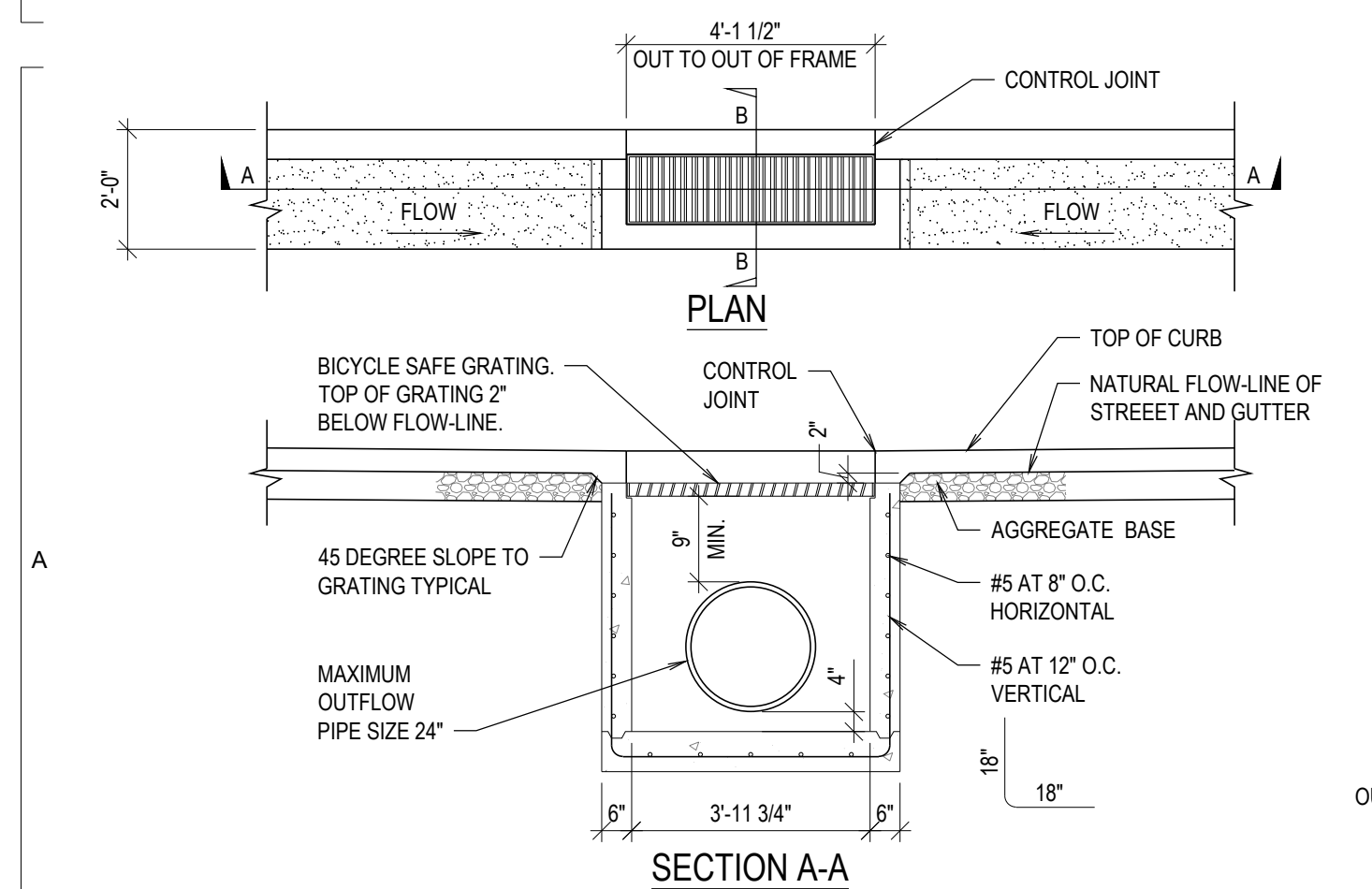
C MASONRY WALL DUMPSTER ENCLOSURE

SCALE: N.T.S.



F MECHANICAL ENCLOSURE AT STRAIGHT WALL

SCALE: N.T.S

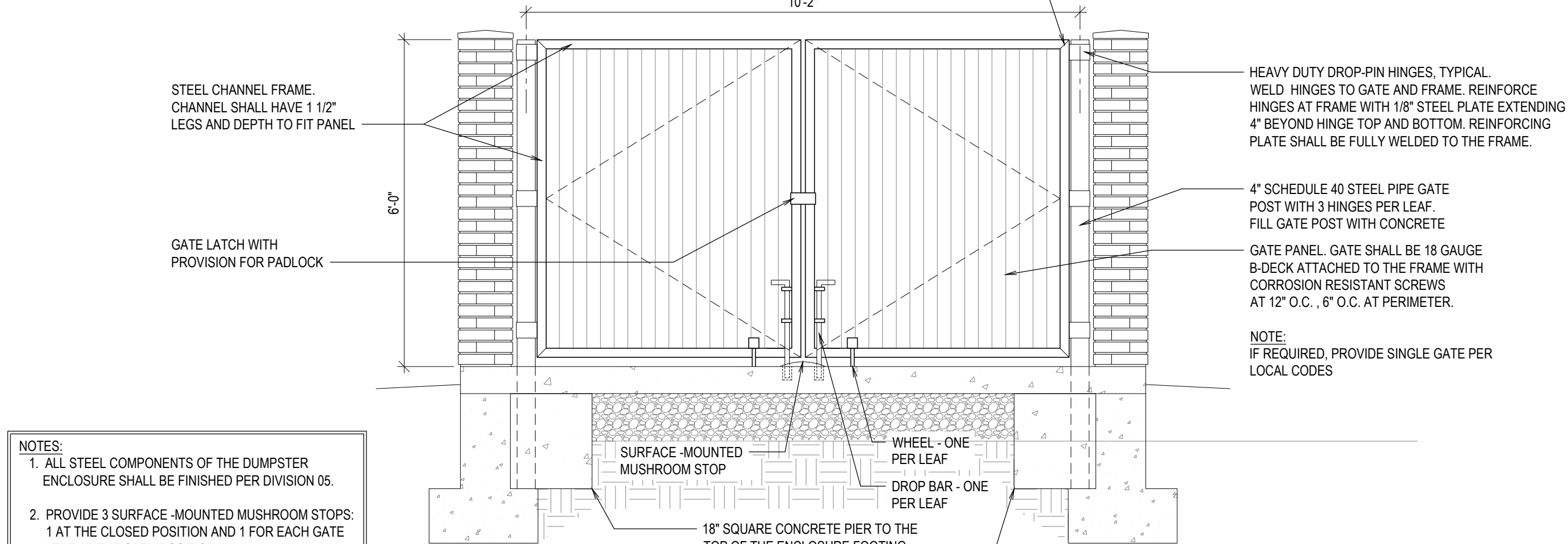


(M) SINGLE GUTTER INLET BOX

SCALE: N.T.S

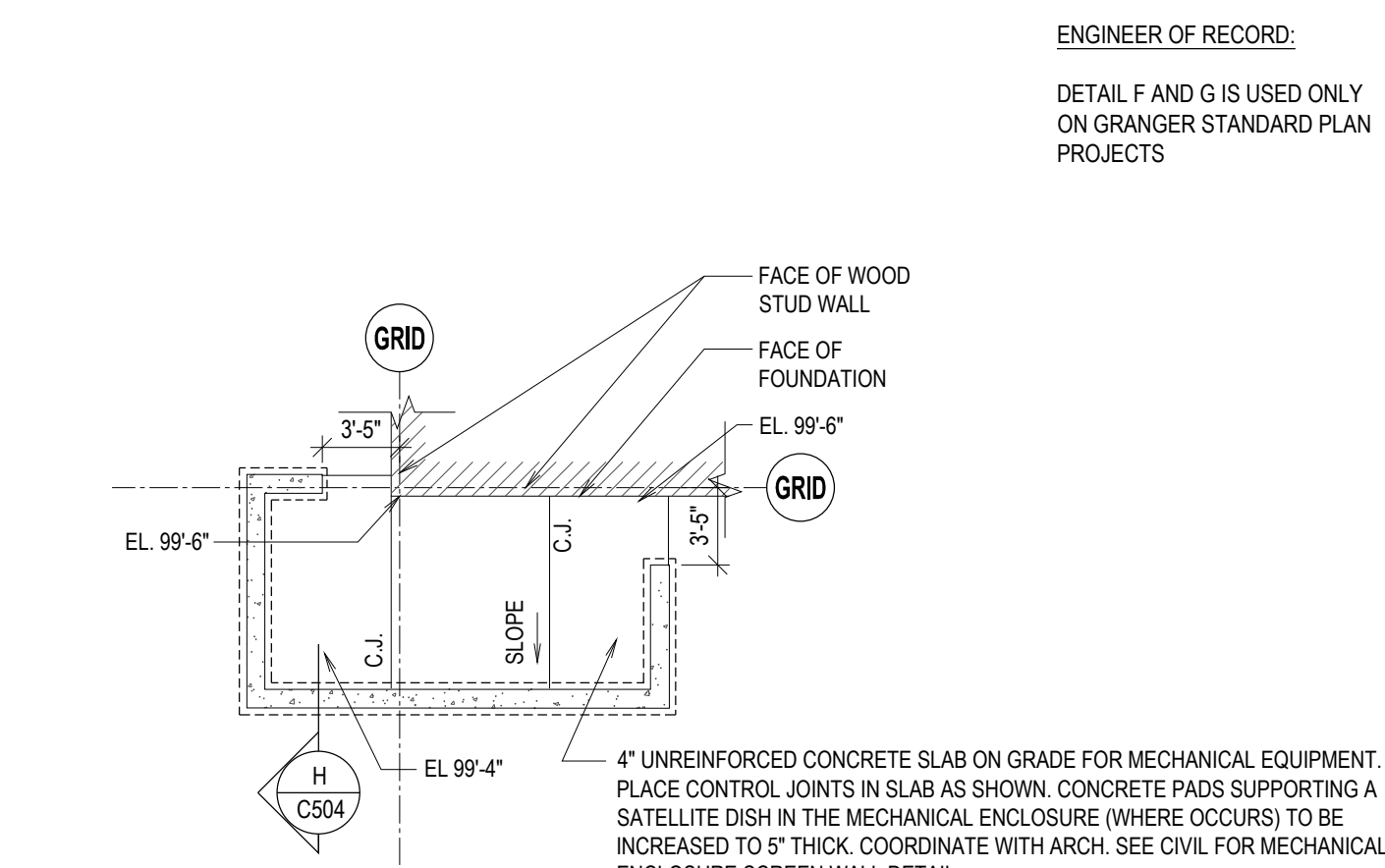
B MASONRY WALL DUMPSTER ENCLOSURE

SCALE: N.T.S



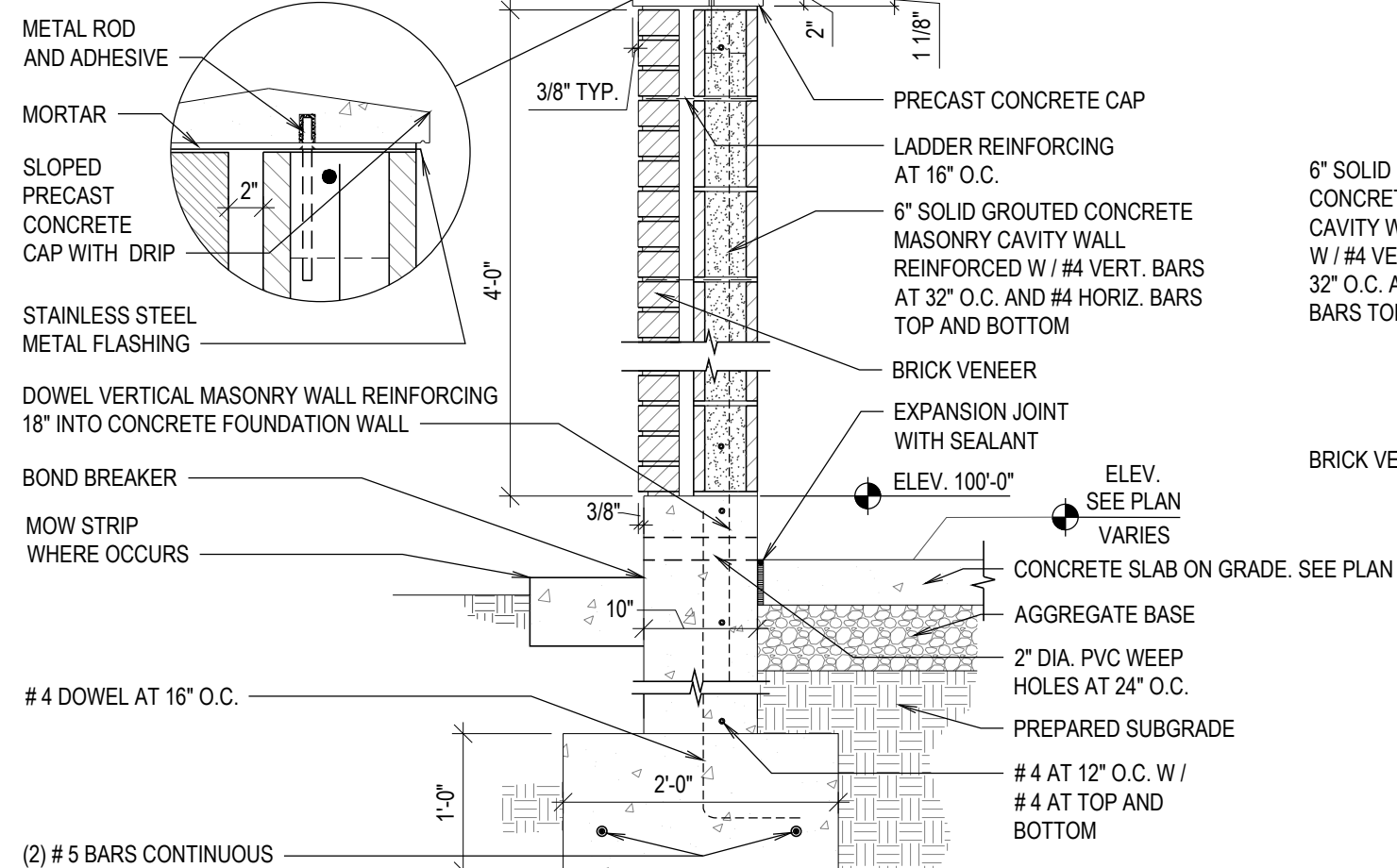
MASONRY WALL DUMPSTER GATE

SCALE: N.T.S.



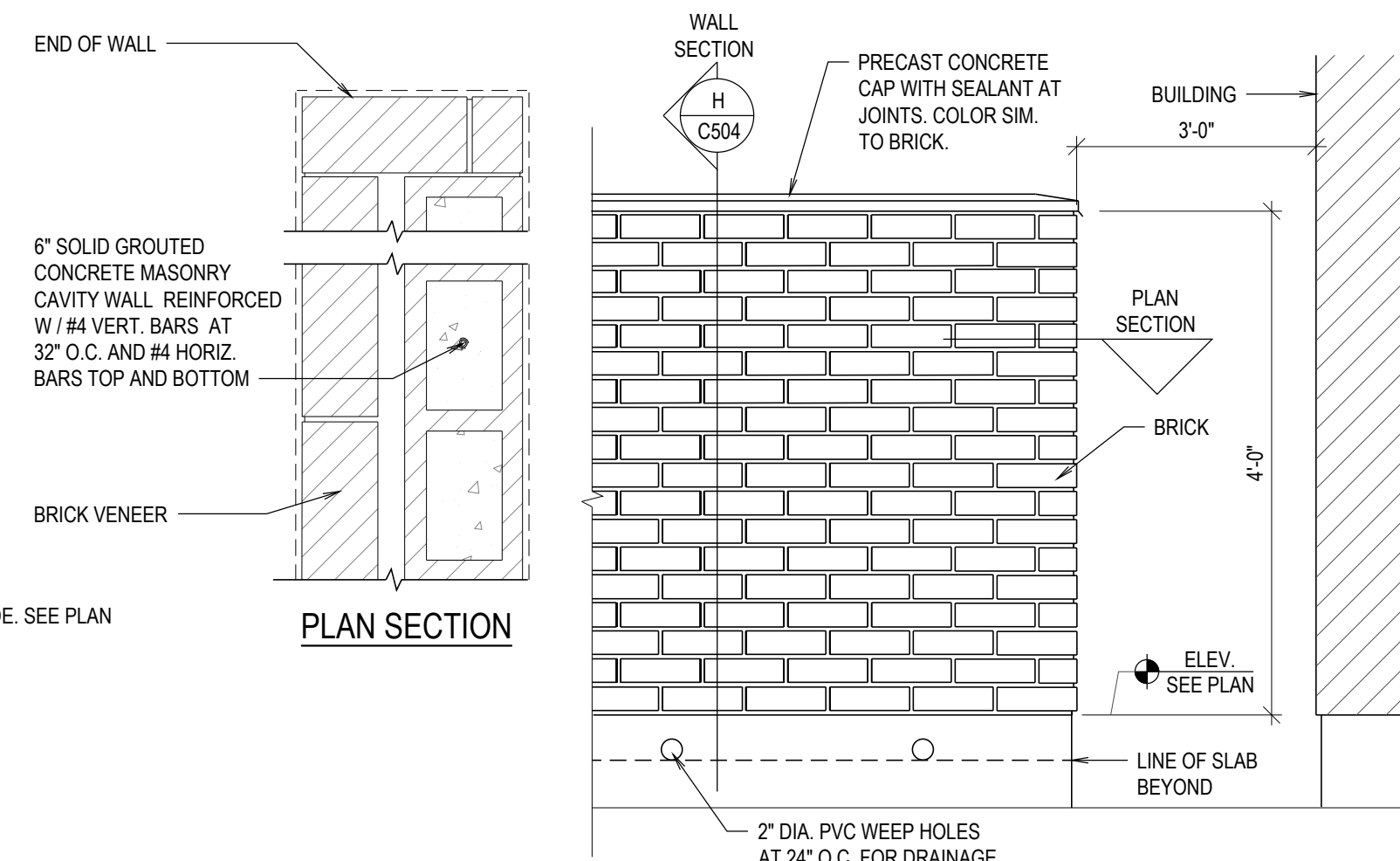
MECHANICAL ENCLOSURE AT CORNER WALL

SCALE: N.T.S.



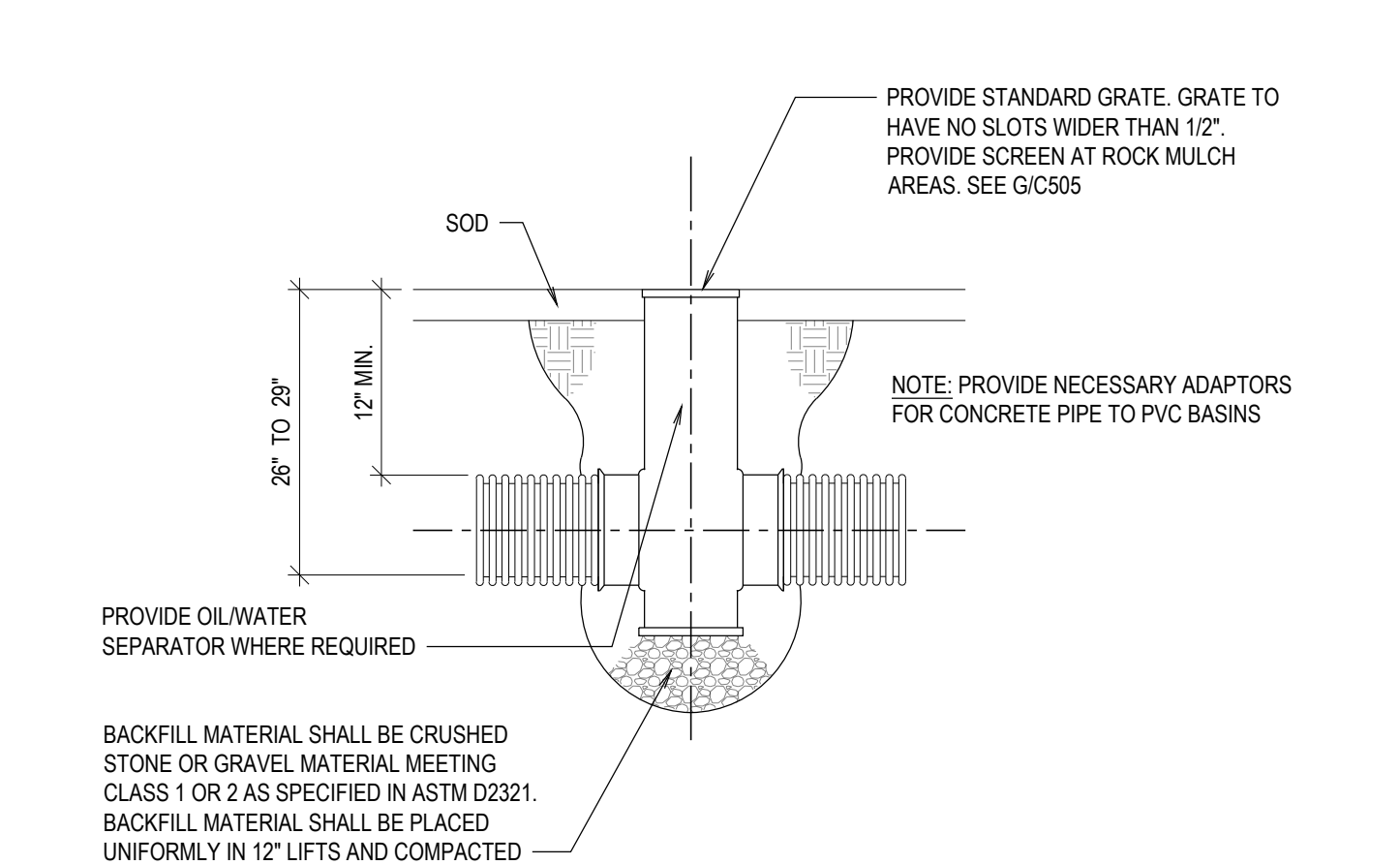
MASONRY WALL MECHANICAL ENCLOSURE

SCALE: N.T.S. (ALTERNATE TO G/C504) - FOR RIBBED SLAB FOUNDATION TYPE



MASONRY WALL MECH. ENCLOSURE ELEV.

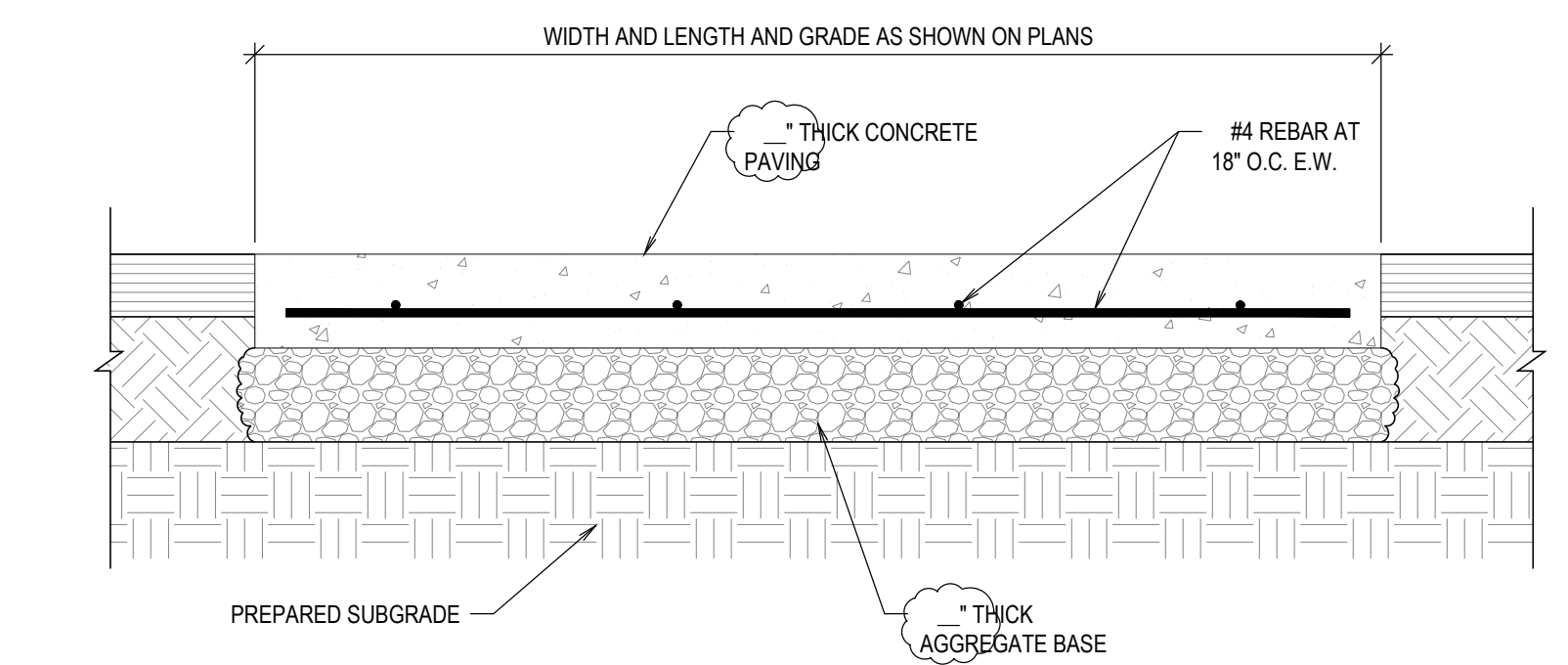
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12" AREA NYLOPLAST DRAIN BOX

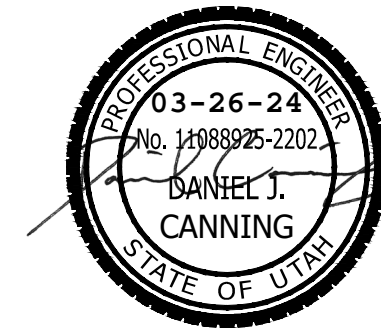
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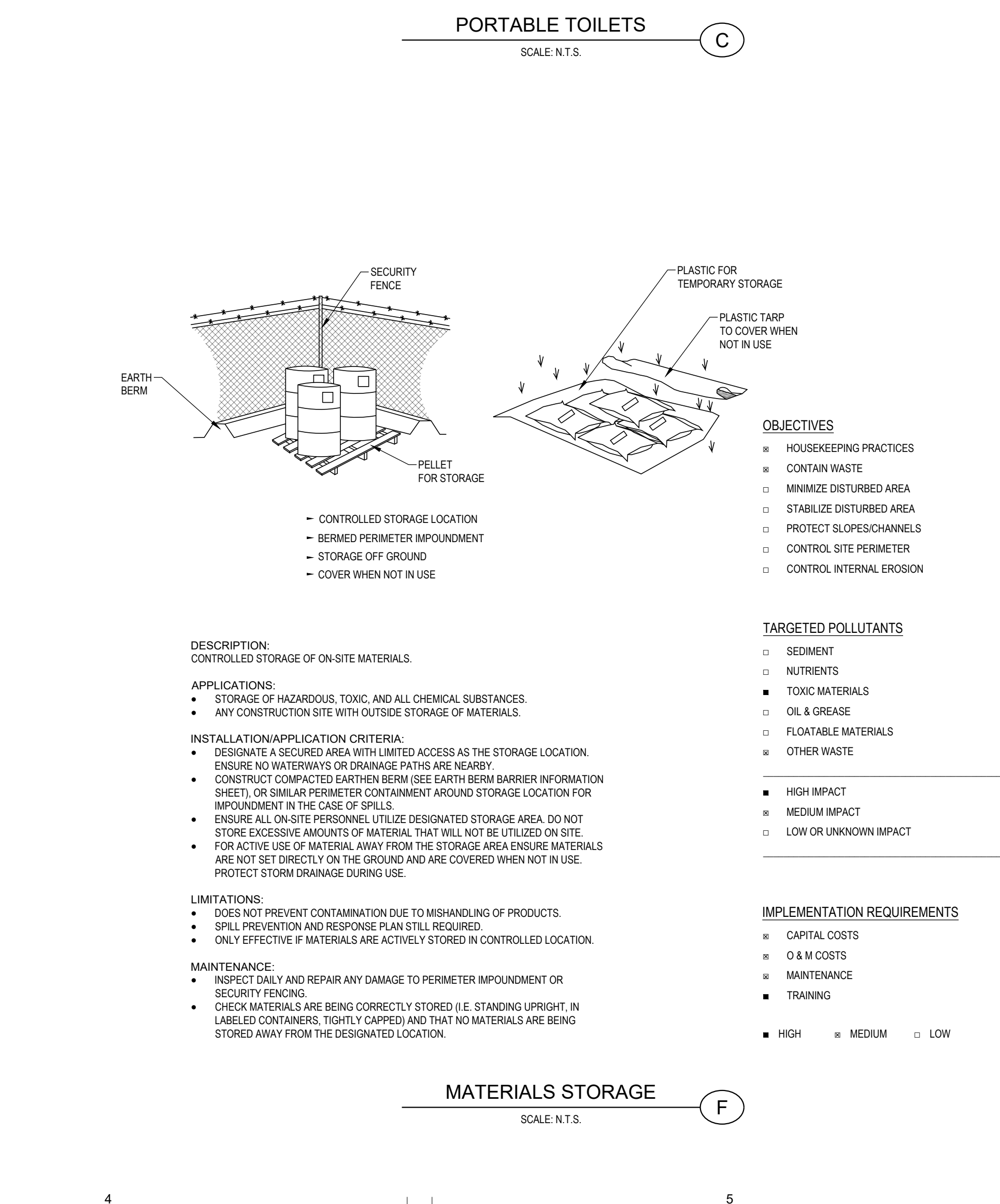
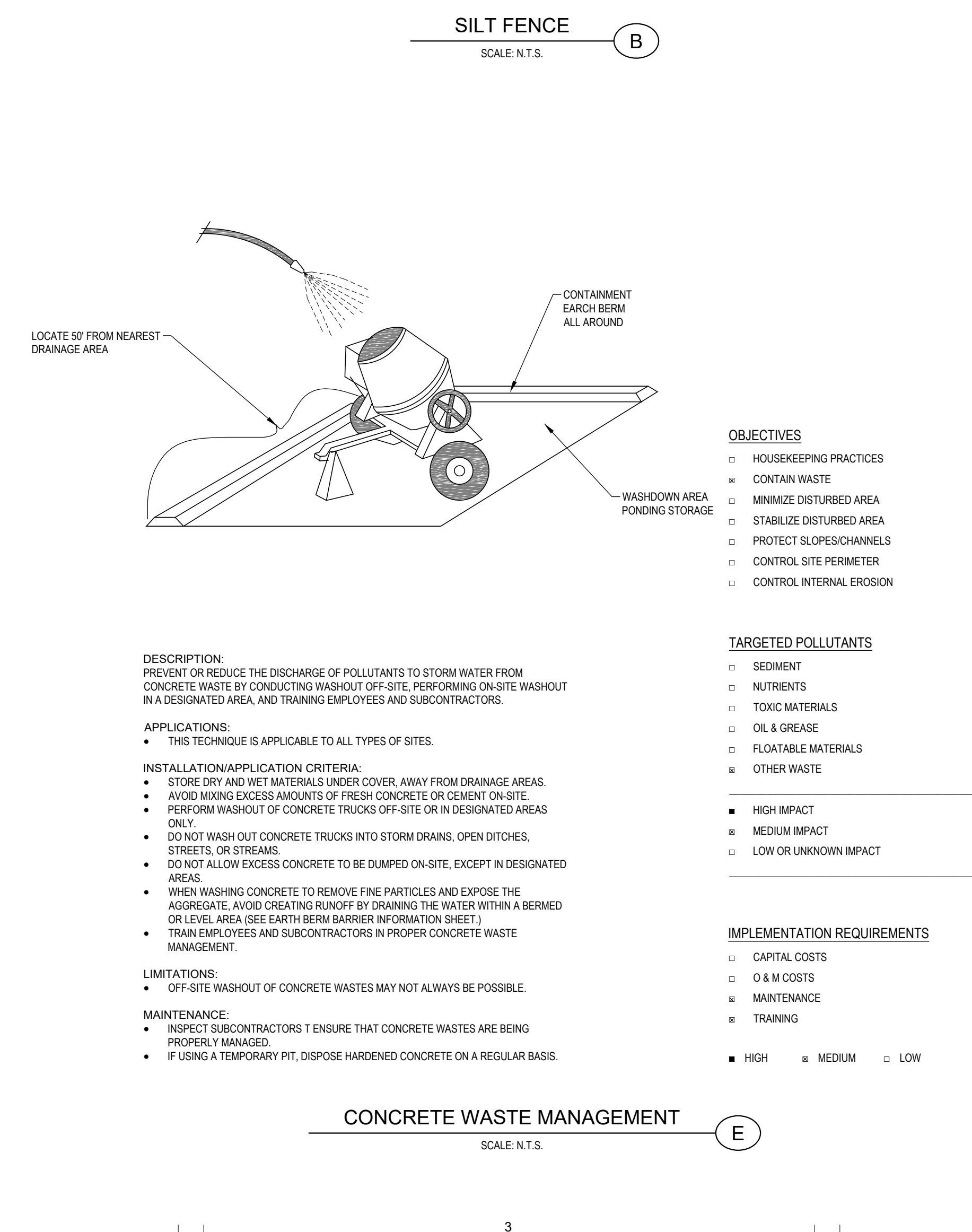
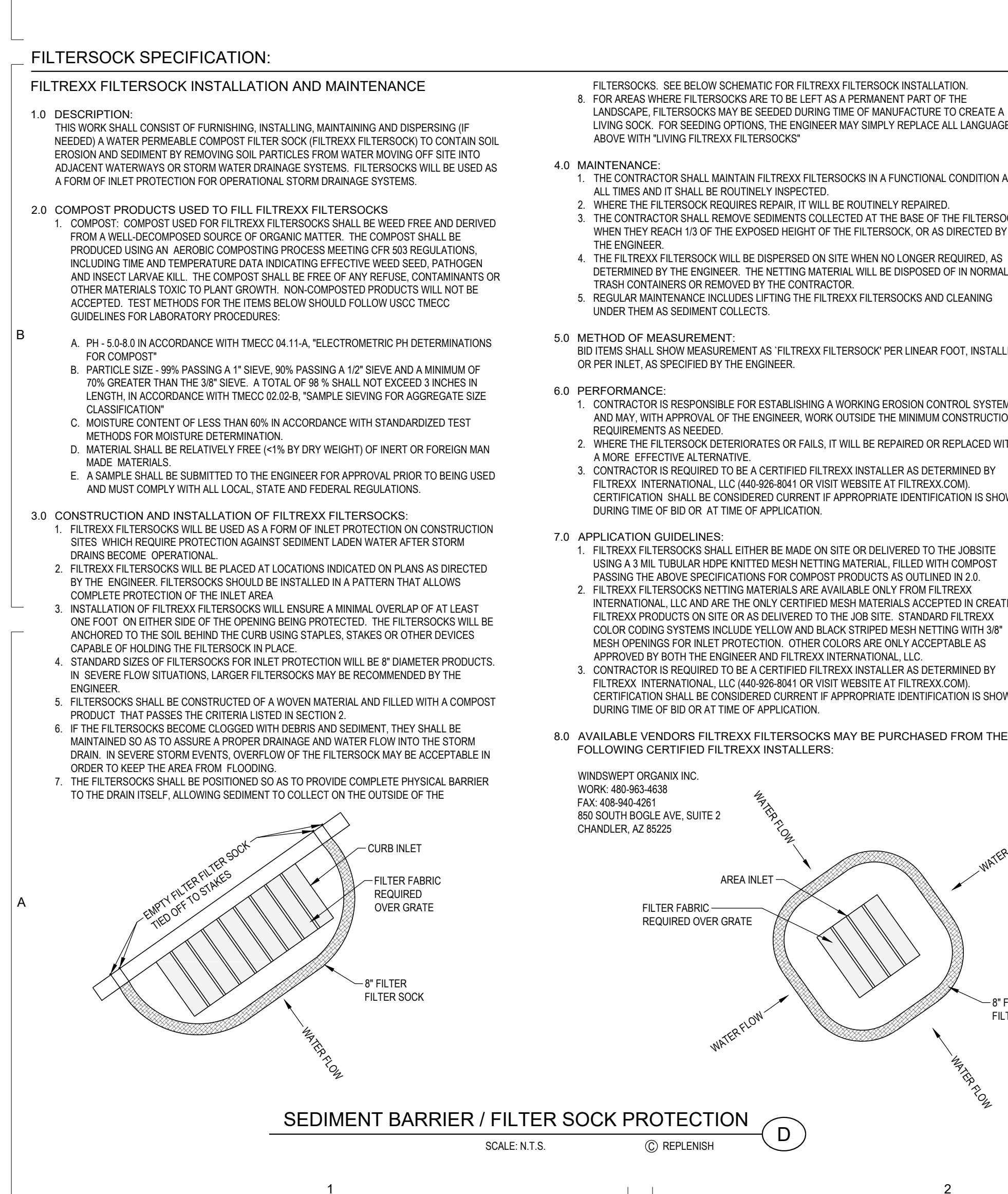
NOTE : (DIAMETER OF BASIN DETERMINED BY NUMBER OF PIPES IN AND OUT)



(F) DUMPSTER PAD SECTION

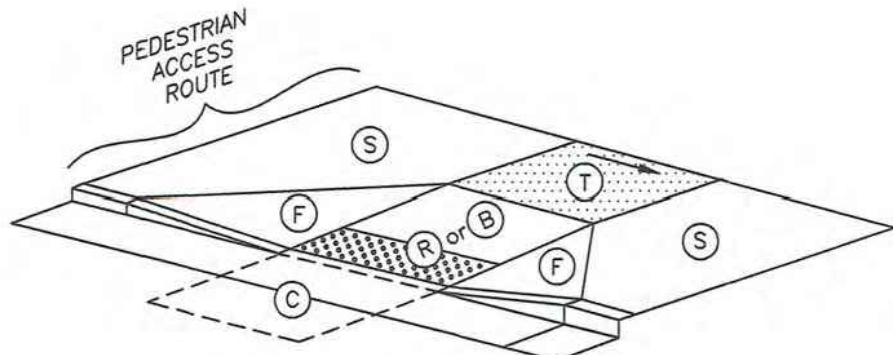
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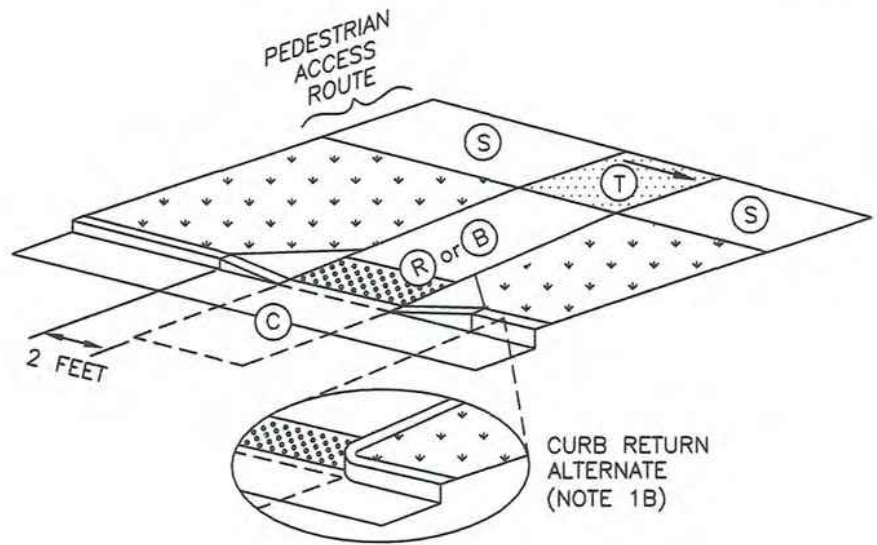


TURNING SPACE AT SIDEWALK LEVEL

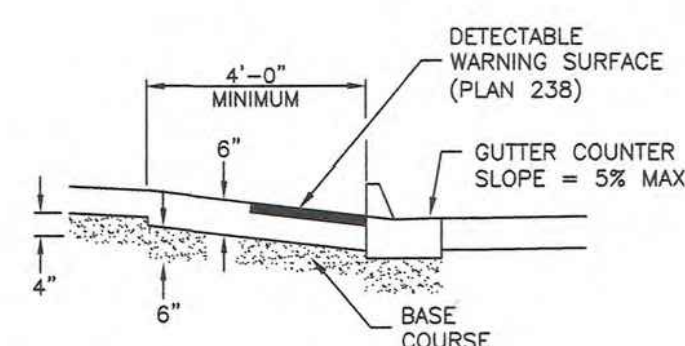
THE LOCATION OF THE PEDESTRIAN ACCESS ROUTE AFFECTS FLARE SLOPE CONSTRUCTION



EXAMPLE 1



EXAMPLE 2



MATERIALS

ELEMENT	DIMENSION
(R) (B)	4 FEET WIDE MINIMUM
(C) (T)	4 FEET SQUARE MINIMUM

WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS

	RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (%) MAXIMUM
TURNING SPACE (T) STREET GRADE	2	2 (c)
CURB RAMP (R) 8.33	2	2 (c)
BLENDED TRANSITION (B) 5	2 (c)	2
CLEAR SPACE (C) 5	2 (c)	2
SIDEWALK (S) STREET GRADE	2	2
FLARE (F) 10	2	2

(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

SLOPE TABLE



Mid-block curb cut assembly

Plan 236.1
September 2011



Bituminous pavement T-patch

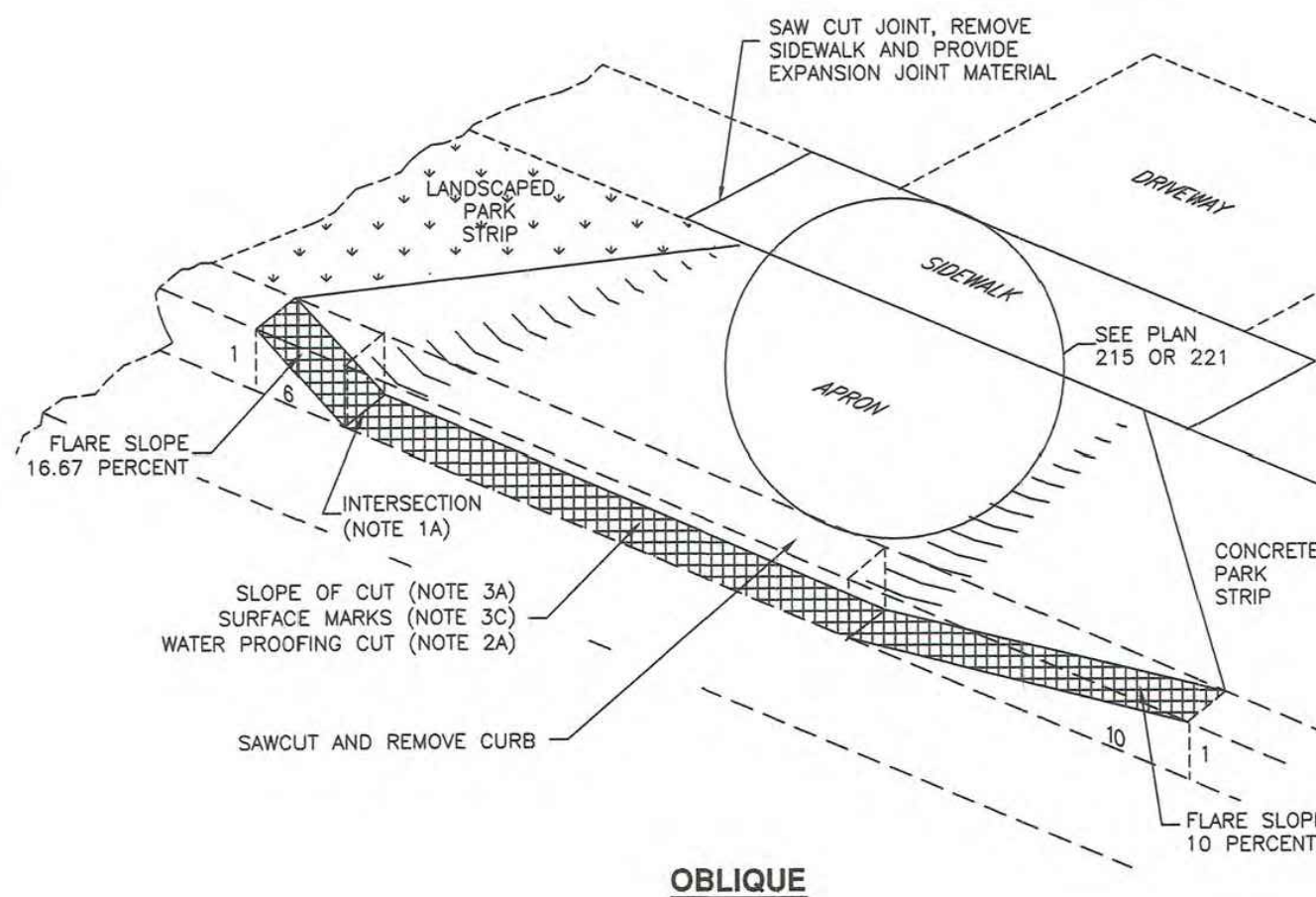
Plan 255
November 2015



Direct bearing thrust block

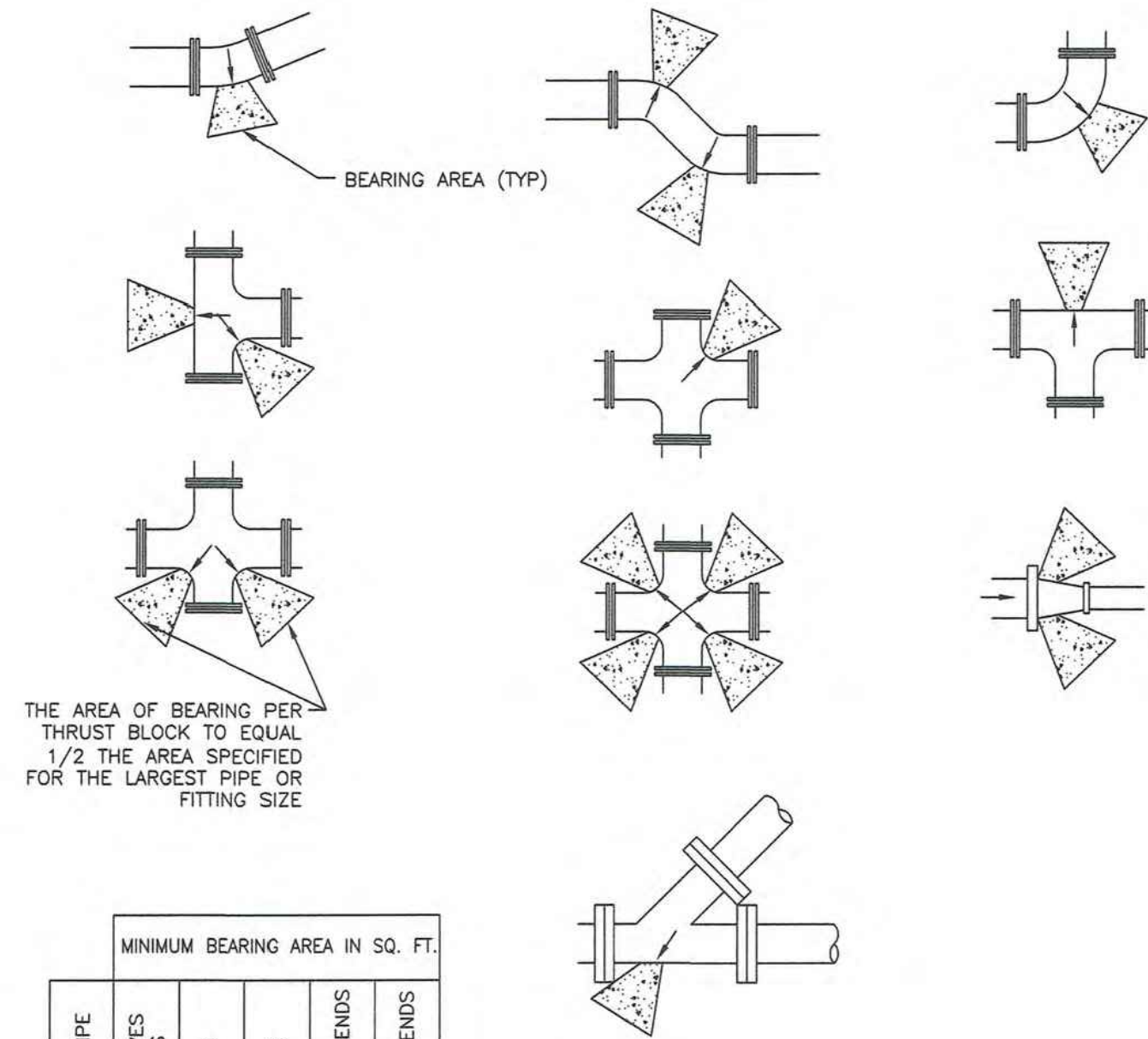
Plan 561
August 2010

NARRATIVE: THIS PLAN IS USED IF AN EXISTING CURB MUST BE CUT TO INSTALL A DRIVEWAY APPROACH. THE SLOPE OF THE CURB FLARE DEPENDS UPON WHETHER THE PARK STRIP IS LANDSCAPED OR IF THE PARK STRIP IS CONCRETE.



Saw-cut driveway approach

Plan 222
February 2011

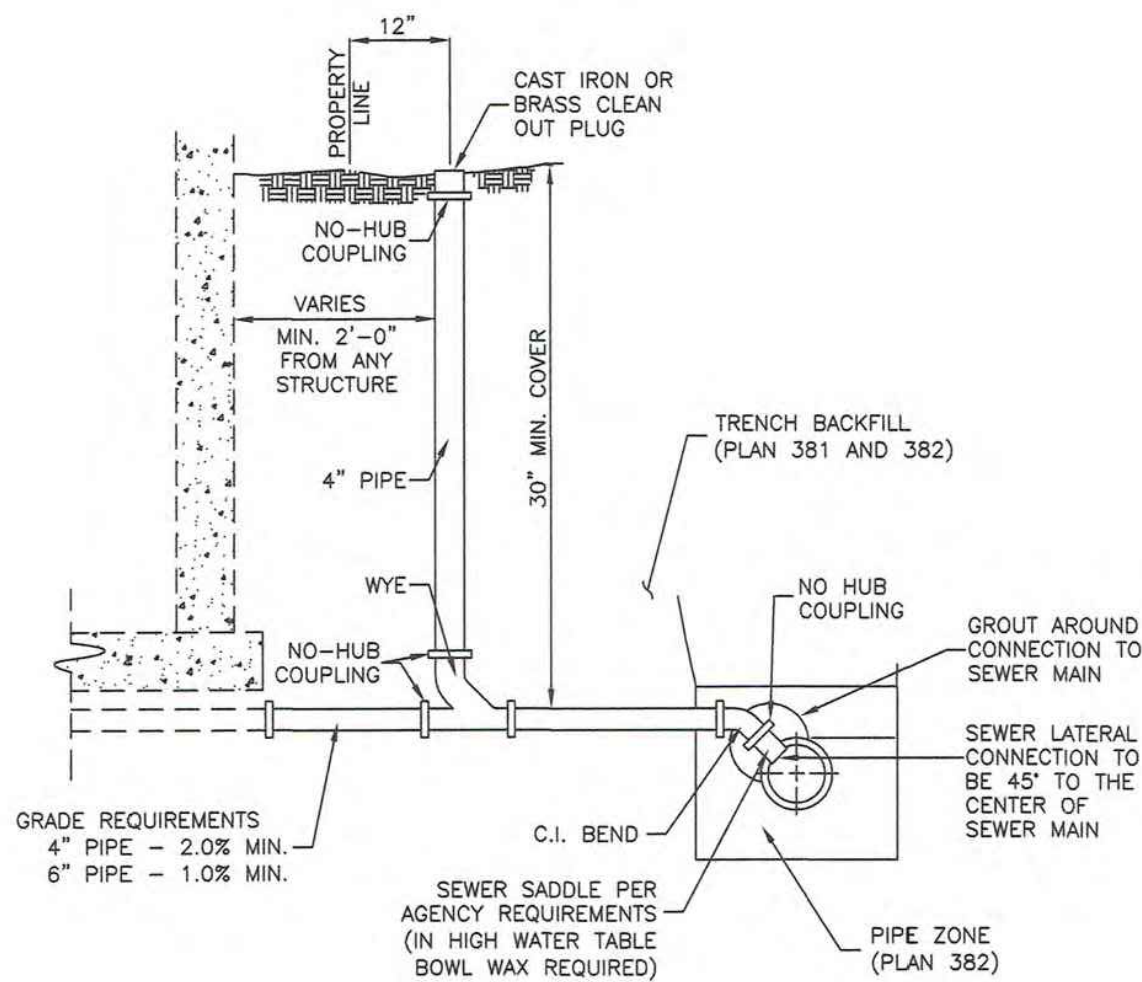


SIZE OF PIPE	TEES, VALVES, DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	2.5	2
8"	6.5	9.5	5	2.75	2.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	9
24"	33	74	41	21	12
30"	81	114	62	32	16



Direct bearing thrust block

Plan 561
August 2010

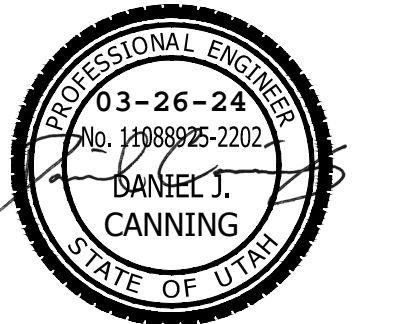


Sewer lateral connection

Plan 431
January 2011



684 W Center St
Midvale UT 84047
uncommonarch.com
(801) 417-9951



OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints

CONTACT INFO:
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jdonaku@churchofjesuschrist.org
605 North Temple St Salt Lake City UT 84150

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.12.2024

REV DATE DESCRIPTION

CIVIL DETAILS

C5.05



ELK RIDGE CITY DATA

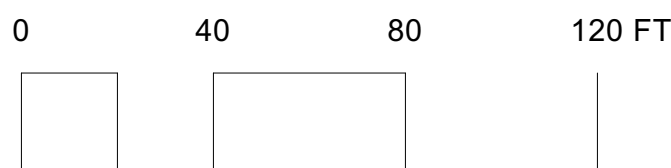
TITLE 10: DEVELOPMENT CODE

CH. 11: OTHER ZONES

ZONED AS	PUBLIC FACILITY	
TOTAL SITE AREA	179,738 S.F.	
ON-SITE LANDSCAPE AREA	43,383 S.F. = 24%	
GENERAL:	REQUIRED	PROVIDED
	LAWN AREA - 35% MAX. OF LANDSCAPE AREA	8,391 S.F. =190%
SETBACKS:	PLANT COVERAGE IN PLANTING BED AREAS	43%
	FRONT YARD	30'
	SIDE YARD (PARKING LOTS MAY BE LOCATED WITHIN SIDE YARD)	75'
	REAR YARD (PARKING LOTS MAY BE LOCATED WITHIN REAR YARD)	75'
ROCKY MOUNTAIN WAY STREETSCAPE:		
STREET TREES - 1 PER 50' (IN LANDSCAPE FRONT YARD)		392' / 50 = 8

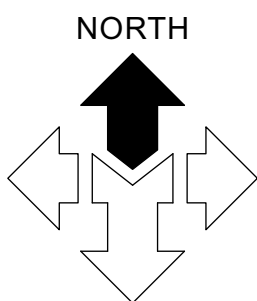
DRAWING INDEX

SHEET	DESCRIPTION
L111	OVERALL LANDSCAPE PLANTING PLAN
L112	LANDSCAPE PLANTING PLAN
L121	OVERALL LANDSCAPE IRRIGATION PLAN
L122	LANDSCAPE IRRIGATION PLAN
L501	LANDSCAPE DETAILS
L502	LANDSCAPE IRRIGATION DETAILS
L503	LANDSCAPE IRRIGATION DETAILS
L504	LANDSCAPE IRRIGATION DETAILS



LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL
DECIDUOUS TREES					
	4	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL	D/L501
	7	CORAL SUN GOLDEN RAIN TREE	KOELREUTERIA PANICULATA 'CORAL SUN'	2" CAL	D/L501
	13	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL	D/L501
EVERGREEN TREES					
	7	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN'	6' MIN. HT.	E/L501
	1	HOOPSII BLUE SPRUCE	PICEA PUNGENS 'HOOPSII'	6' MIN. HT.	E/L501
	3	BRISTLECONE PINE	PINUS ARISTATA	6' MIN. HT.	E/L501
SHRUBS					
	122	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.	B/L501
	107	SAND SAGEBRUSH	ARTEMISIA FILIFOLIA	5 GAL.	B/L501
	77	FOURWING SALTBUSH	ATRIPLEX CANESCENS	5 GAL.	B/L501
	40	CURL-LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	5 GAL.	B/L501
	80	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	5 GAL.	B/L501
	41	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	5 GAL.	B/L501
	40	HILLSIDE CREEPER SCOTCH PINE	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	5 GAL.	B/L501
	103	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	B/L501
	3	TIGER EYES SUMAC	RHUS TYPHINA 'BAILTIGER'	5 GAL.	B/L501
ORNAMENTAL GRASSES					
	161	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.	A/L501
	269	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	1 GAL.	A/L501
	109	PINK MUHLY	MUHLENBERGIA CAPILLARIS	1 GAL.	A/L501
	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	DETAIL
	6,976 S.F.	"IMPERIAL BLUE" LAWN SOD	INSTALL OVER MINIMUM 5" TOPSOIL LAYER.	CHANSARE FARMS (866) SOD-EASY OR APPROVED EQUAL	H/L501
BOULDERS					
	92	"BROWN'S CANYON RED VEIN" BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS	2'-4" DIAMETER IN ALL DIRECTIONS	BOULDERS FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374. G/L501
CRUSHED ROCK					
	13,042 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1-1/2" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374. F/L501
	6,766 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	2"-4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374. F/L501
	9,880 S.F.	"BROWN'S CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	3/4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS. ONESOURCEMATERIALS.COM, (385) 447-9374. F/L501
	ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL				



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before You Dig

1-800-662-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



GENERAL NOTES

1. REFER TO SHEET L111 FOR LANDSCAPE SCHEDULE
2. TREE BASE CLEARANCE - 3' DIAMETER AROUND EVERY TREE SHALL BE KEPT CLEAR OF TURF OR CRUSHED ROCK. IN PARKING LOT ISLANDS AND OTHER NARROW LANDSCAPE AREAS, THE CLEARANCE AREA MAY BE REDUCED TO 2' DIAMETER.

REFERENCE NOTES

- L-1. CONCRETE MOWSTRIP
DETAIL J/L501
- L-2. 6' HT. BLACK VINYL-COATED CHAIN LINK METAL FENCE
ALONG PROPERTY LINE, WITH 12" CONCRETE
MOWSTRIP.
DETAIL J/L501



684 W Center St
Midvale UT 84047
uncommonarch.com
(801) 417-9951



ELK RIDGE UT HERITAGE 23-2

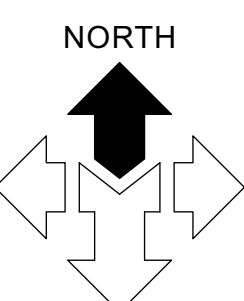
11200 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH

JOB NUMBER: 501-2698
OWNER: LDS CHURCH
DATE: OCTOBER 2023

REV	DATE	DESCRIPTION
1	03/22/24	ADDENDUM #2

LANDSCAPE
PLANTING PLAN

L112



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
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ROCKY MOUNTAIN WAY

PROPOSED BUILDING

SURVEYED PARCEL CONTAINS
179,626.57 SQUARE FEET
4.13 ACRES

0 40 80 120 FT

IRRIGATION SCHEDULE

SYMBOL	TYPE	MANUFACTURER	MODEL	ARC	DETAIL
OUTLETS					
○	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10F	360°	A/L502
○	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10H	180°	A/L502
○	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-10Q	90°	A/L502
●	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-15H	225°	A/L502
●	1800 Series 04in Pop-Up MPR	RAIN BIRD	1804-SAM-PRS-15H	180°	A/L502
■	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-25H	180°	C/L504
■	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-25Q	90°	C/L504
■	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-35H	180°	C/L504
◆	5000 Series 04in Pop-Up MPR	RAIN BIRD	5004-PC-MPR-35Q	90°	C/L504
DRIP AREAS					
■	TREE DRIPPER LINE RING SPACED @ 24" O.C.	NETAFIM	TLCV9-12		I/L502
■	DIPPER LINE IN PLANTING BED SPACED @ 18" O.C.	Netafim (r)	TLCV4-18		C/L5.04
SYMBOL VALVES					
■	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV		F/L502
■	LAWN CIRCUIT CONTROL VALVE	RAIN BIRD	150-PEB		E/L502
OTHER EQUIPMENT					
■	SMART CONTROLLER	HYDROPOINT	WEATHERTRAK ET PRO3		D & E/L504
■	POINT OF CONNECTION				A/L503
■	CONCRETE PAD FOR BACKFLOW PREVENTER				C/L503
SYMBOL PIPE					
---	1" DRIP SUPPLY LINE. 1/2" FUNNY PIPE AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.		SCHEDULE 40 PVC PIPE & FITTINGS.		C/L502
---	1-1/2" MAIN LINE		SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.		C/L502
---	3/4" - 1-1/2" LATERAL LINE		SCHEDULE 40 PVC PIPE & FITTINGS.		C/L502
---	PIPE SLEEVE UNDER NEW PAVING		SCHEDULE 40 PVC		D/L502
○	# VALVE NUMBER gpm VALVE FLOW				

EMITTER SCHEDULE

PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL
AUTUMN BRILLIANCE SERVICEBERRY	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
BRISTLECONE PINE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
COLOGREEN JUNIPER	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
CORAL SUN GOLDEN RAIN TREE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
GREEN VASE ZELKOVA	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
HOOPSII BLUE SPRUCE	Tree Drip Ring (22 gph)	NETAFIM	TLCV-9-12	I/L502
ALPINE CARPET JUNIPER	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
BLONDE AMBITION BLUE GRAMA GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
CURL-LEAF MOUNTAIN MAHOGANY	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
FOURWING SALTBUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
HILLSIDE CREEPER SCOTCH PINE	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
PANCHITO MANZANITA	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
PAWNEE BUTTES WESTERN SAND CHERRY	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
PINK MUHLY	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
SAND SAGEBRUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
SAPPHIRE BLUE OAT GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
TIGER EYES SUMAC	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504
WICHITA BLUE JUNIPER	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	A/L504

NORTH

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ELK RIDGE UT HERITAGE 23-2

11200 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH

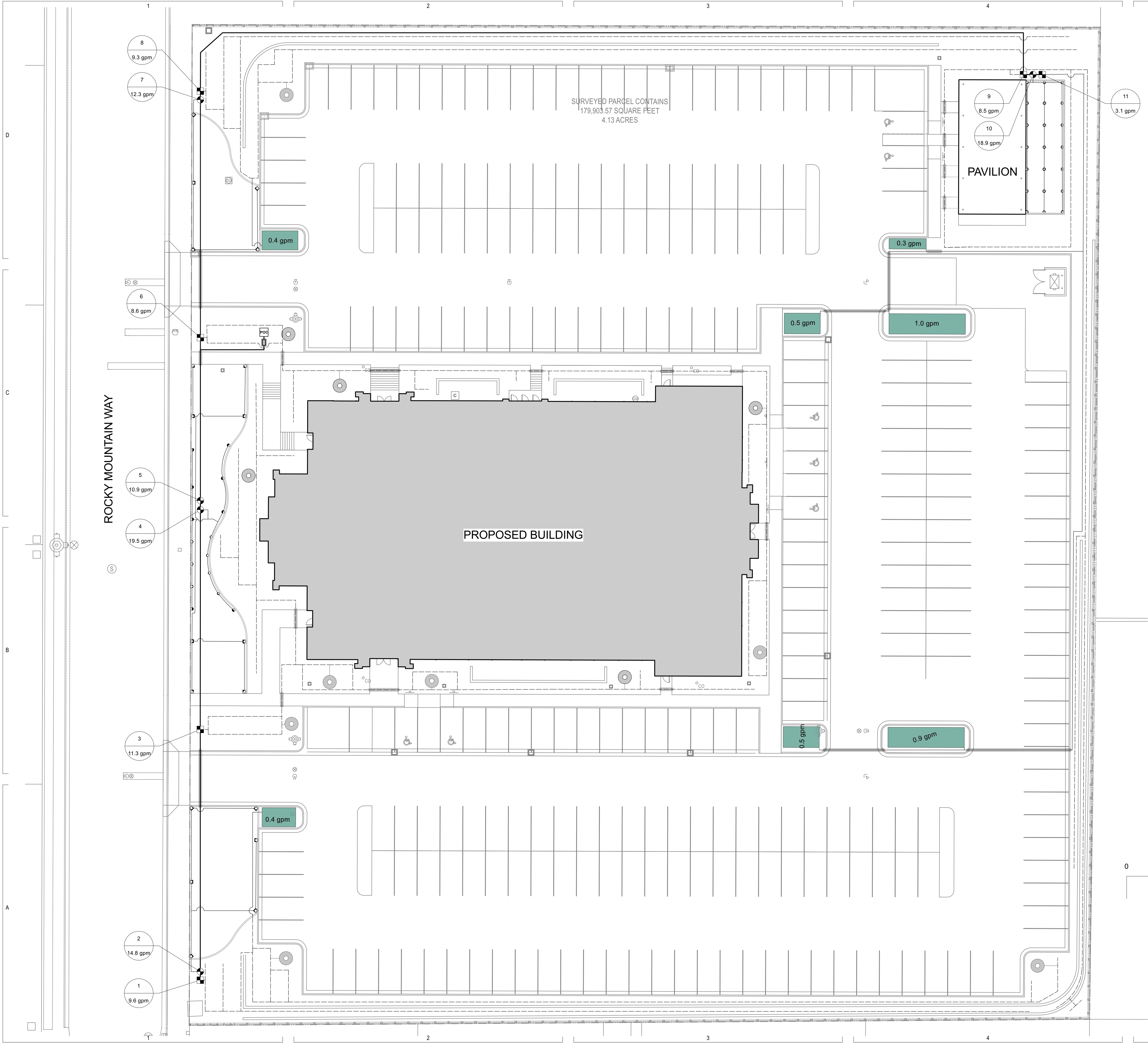
JOB NUMBER: 501-2698
OWNER: LDS CHURCH
DATE: OCTOBER 2023

REV DATE DESCRIPTION
1 03/22/24 ADDENDUM #2

OVERALL
LANDSCAPE
IRRIGATION PLAN

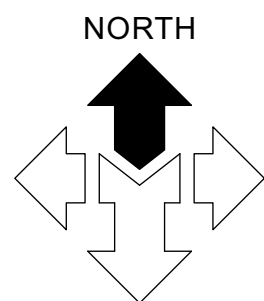
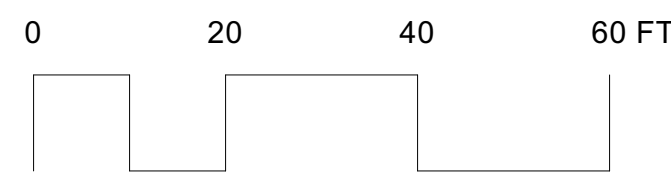
L121

01 January, 2000



GENERAL NOTES

1. REFER TO SHEET L122 FOR IRRIGATION AND EMITTER SCHEDULES



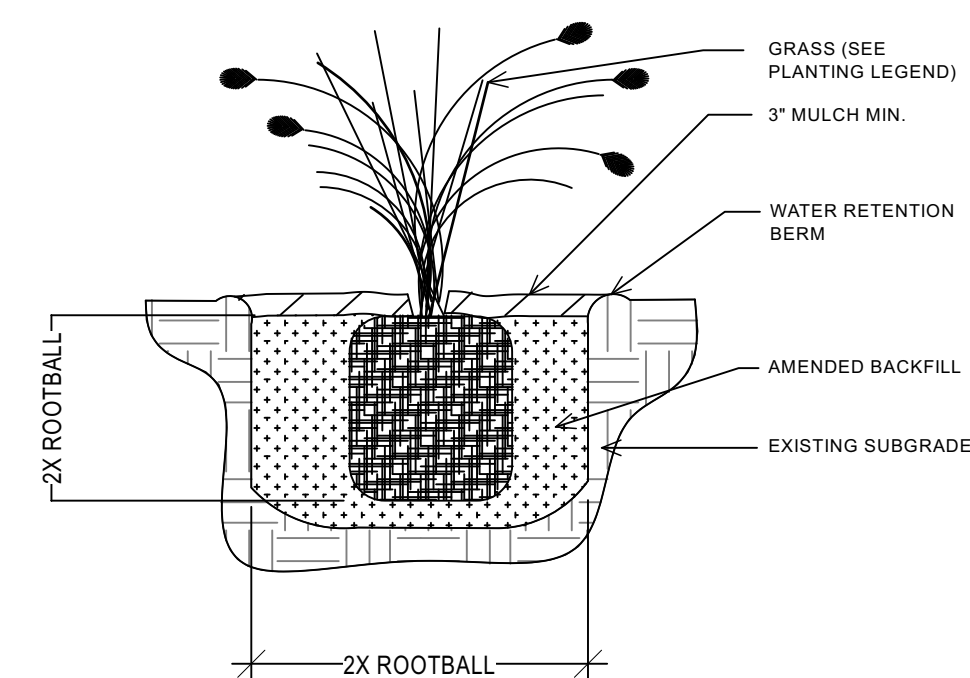
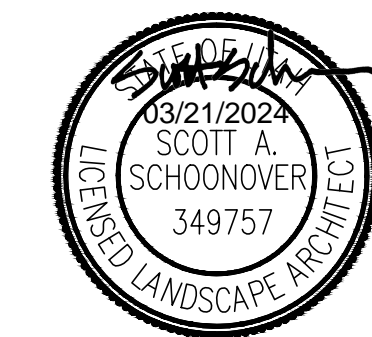
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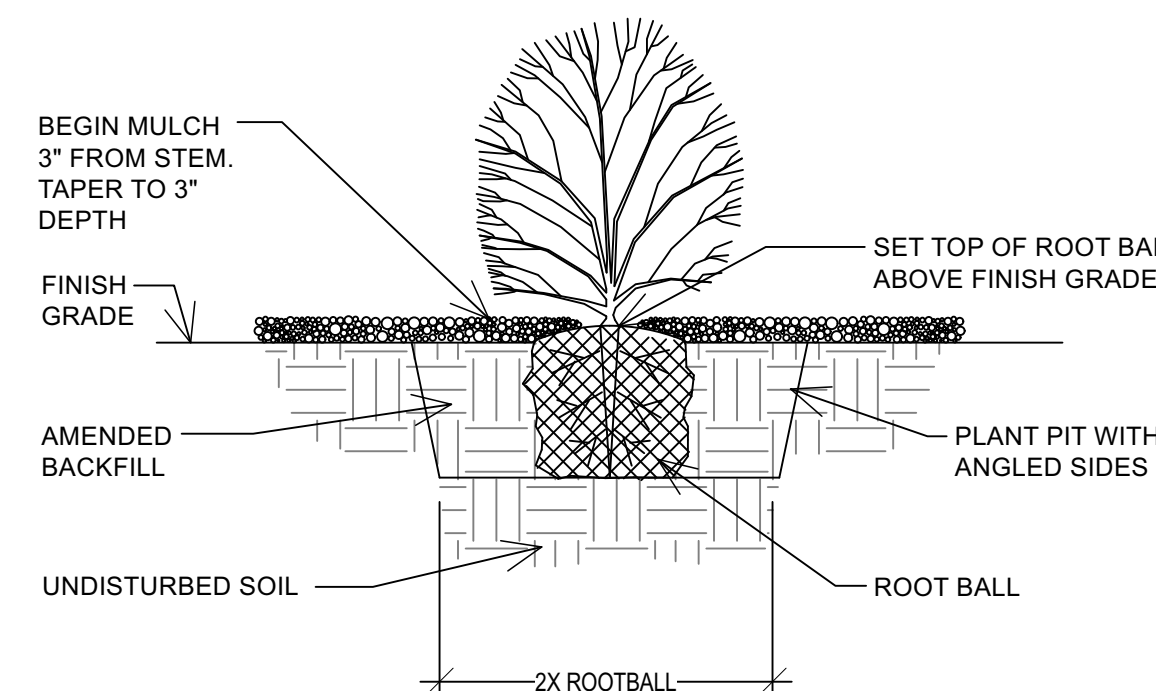
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NOTICE!

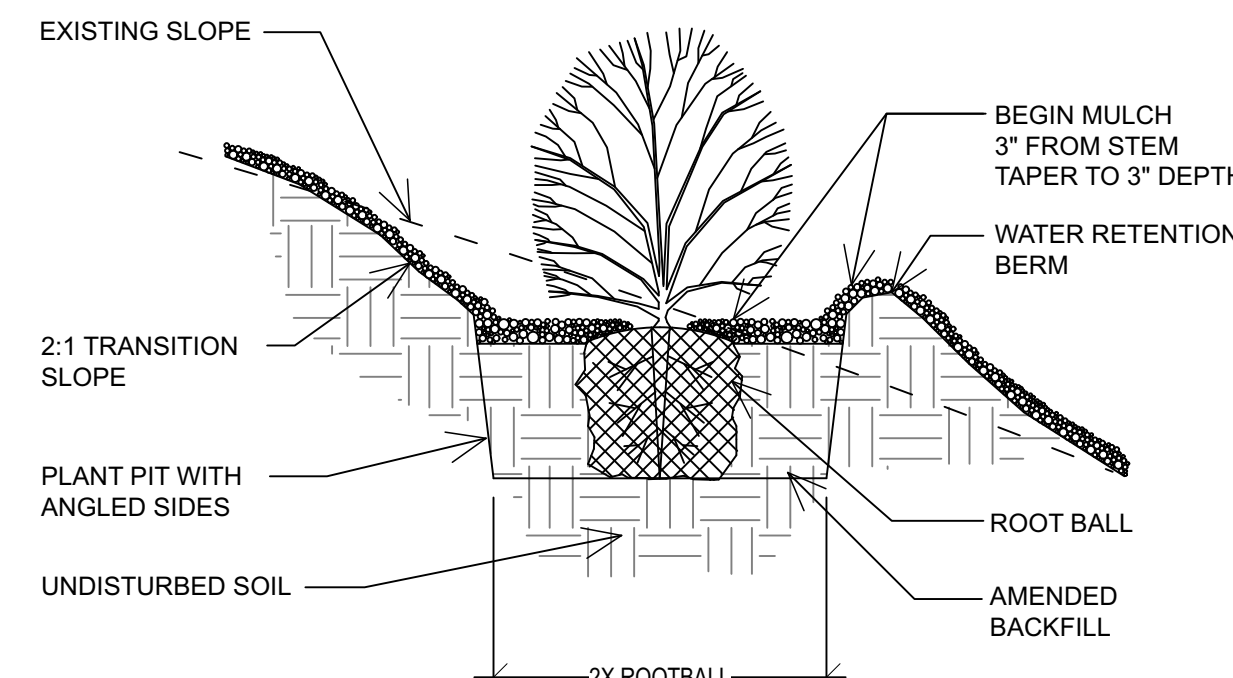
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



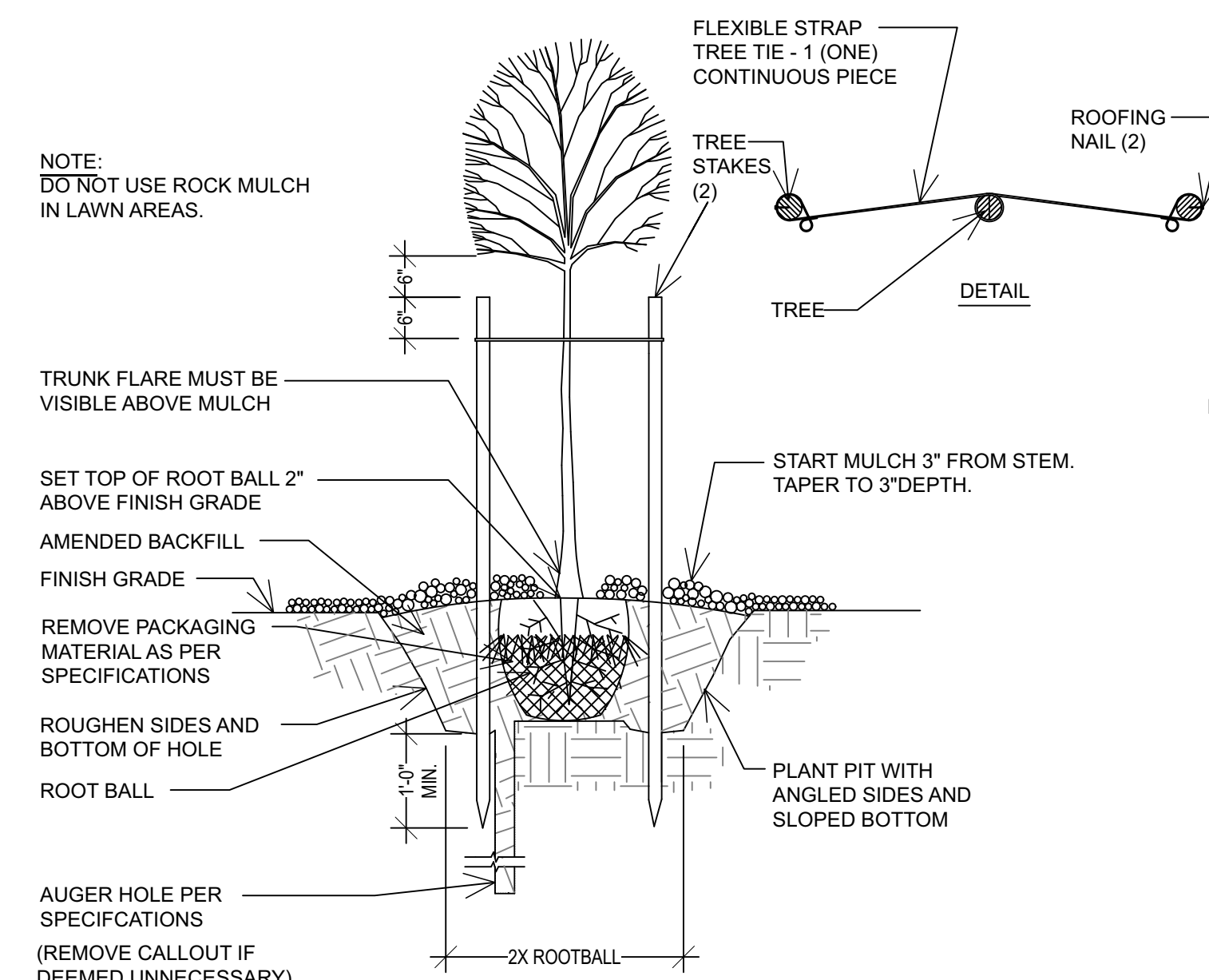
A ORNAMENTAL GRASSES PLANTING



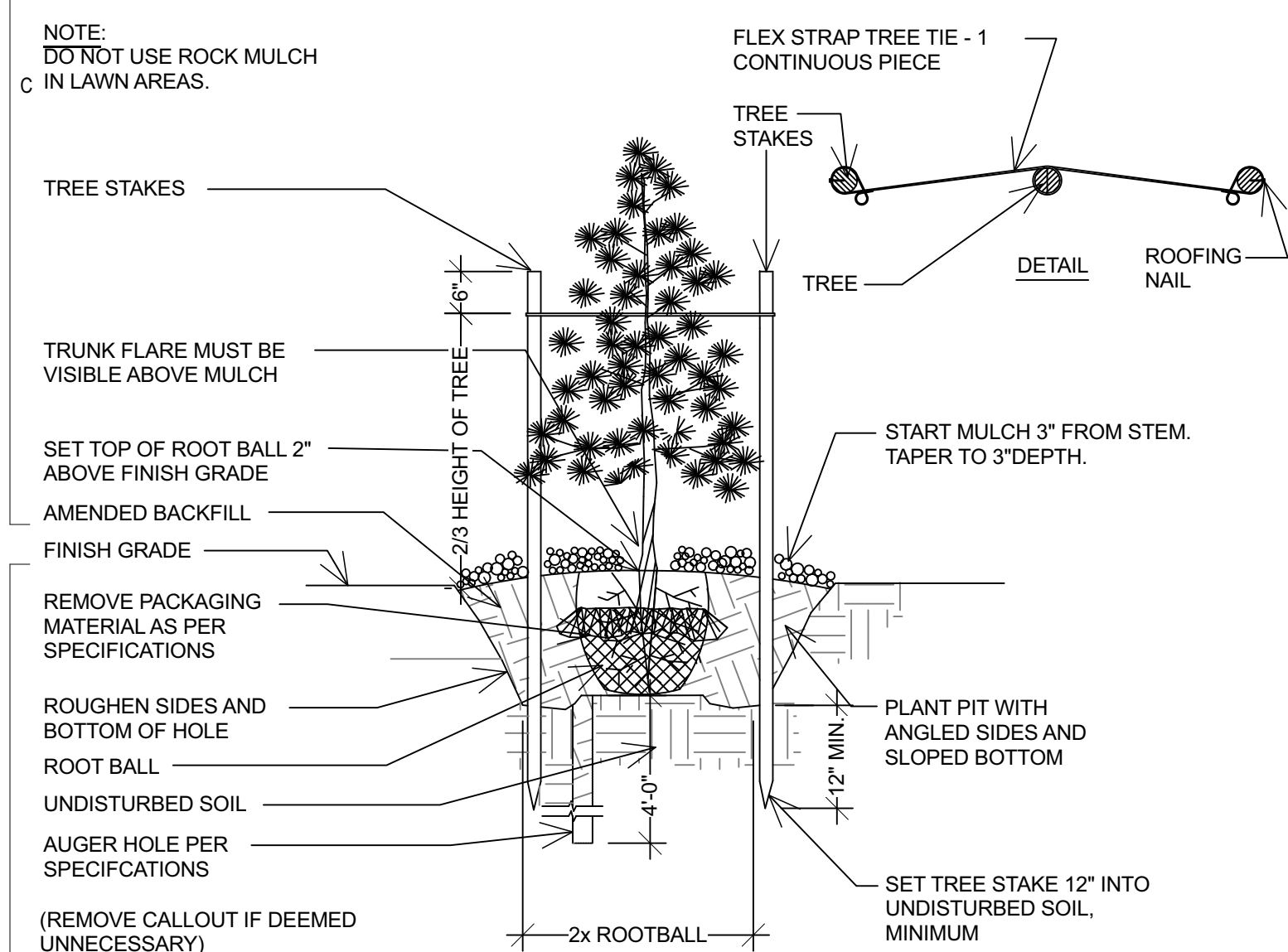
B SHRUB PLANTING



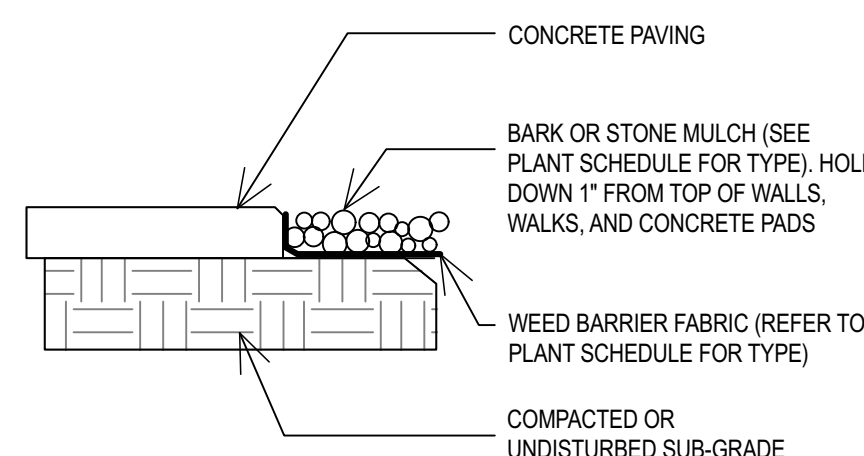
C PLANTING ON SLOPE



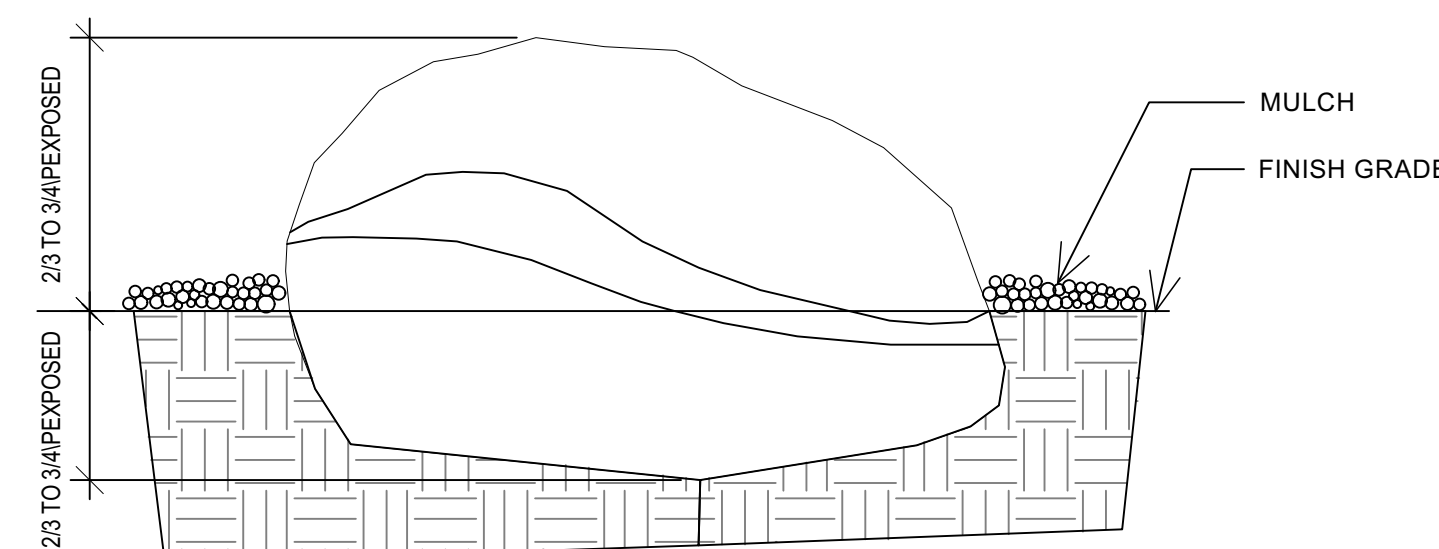
D TREE PLANTING AND STAKING



E CONIFER PLANTING AND STAKING

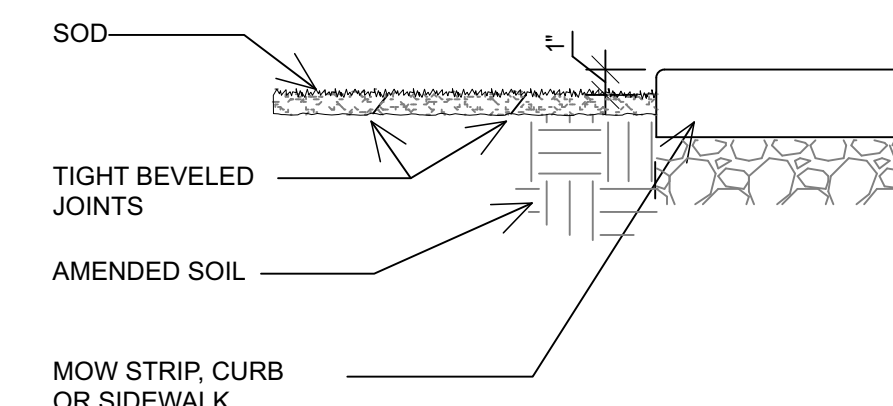


F MULCH
NO SCALE



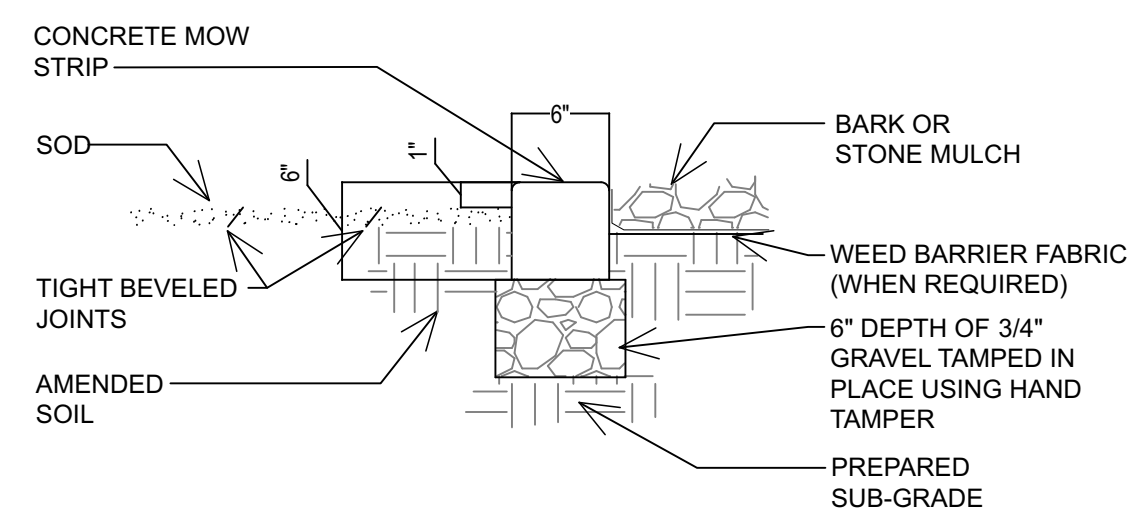
**BOULDER PLACEMENT
DETAIL**

G NO SCALE

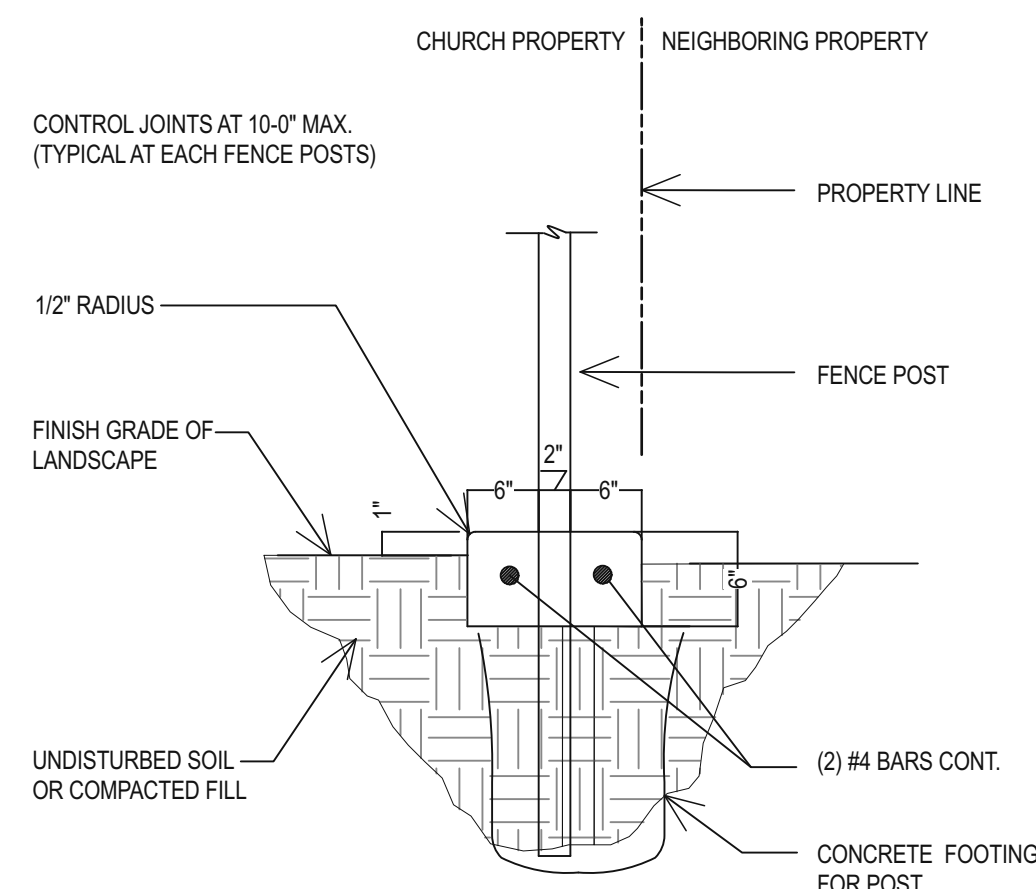


H SOD INSTALLATION

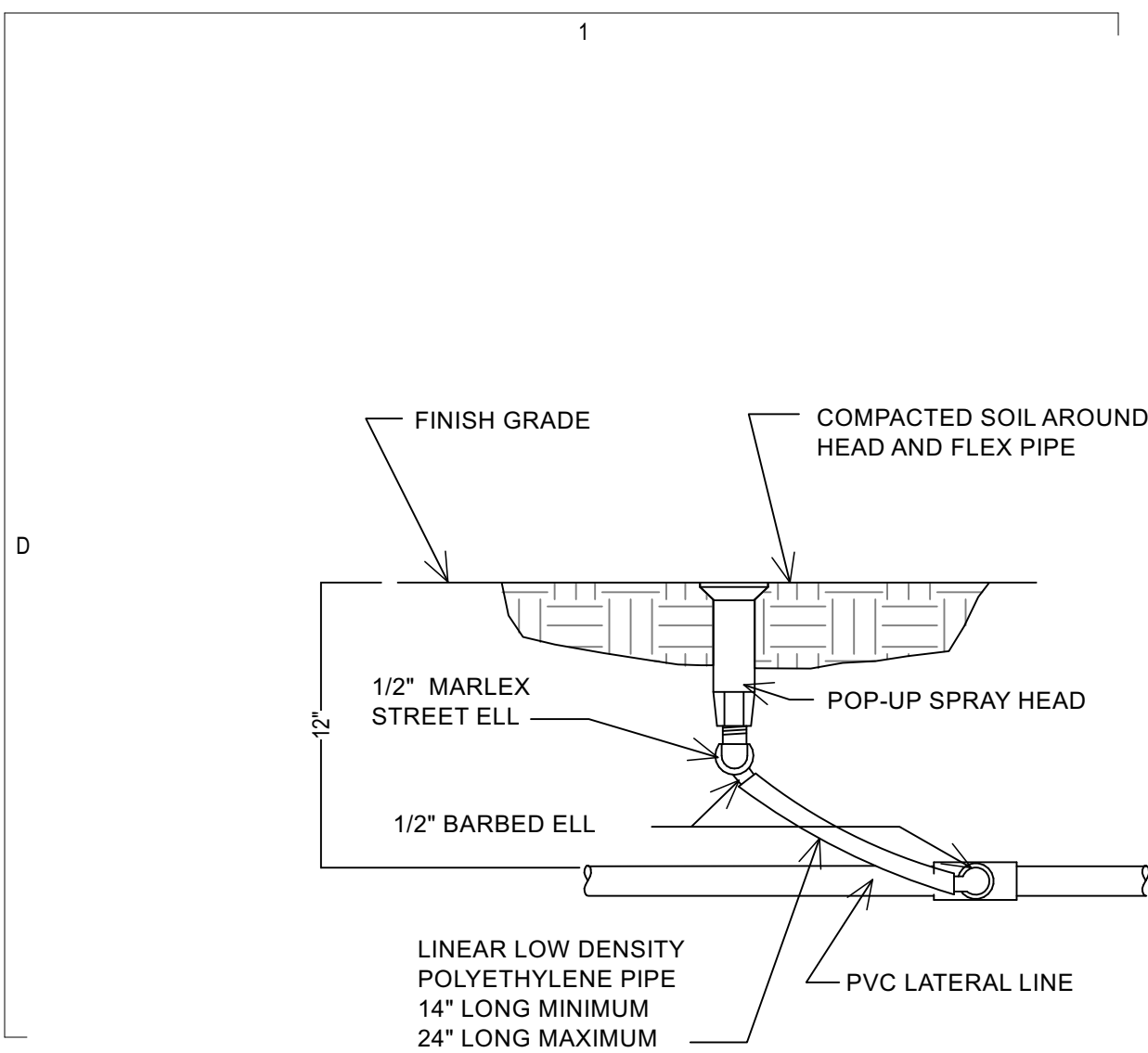
- NOTES:**
1. MOW STRIP TO BE 4,500 PSI CONCRETE WITH 6% AIR \pm 1 1/2.
 2. INSTALL EXPANSION AND CONTROL JOINTS AS PER SPECIFICATIONS.
 3. PROVIDE POSITIVE DRAINAGE AROUND MOW STRIPS. DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOW STRIP.
 4. MAXIMUM 1/2" WIDTH VARIATION.
 5. FOLLOW LAYOUT PLAN PRECISELY AS SHOWN ON MOW STRIP/EDGING DIMENSION PLAN.
 6. RAISE THE LAWN GRADE 1" WHEN SEEDING.



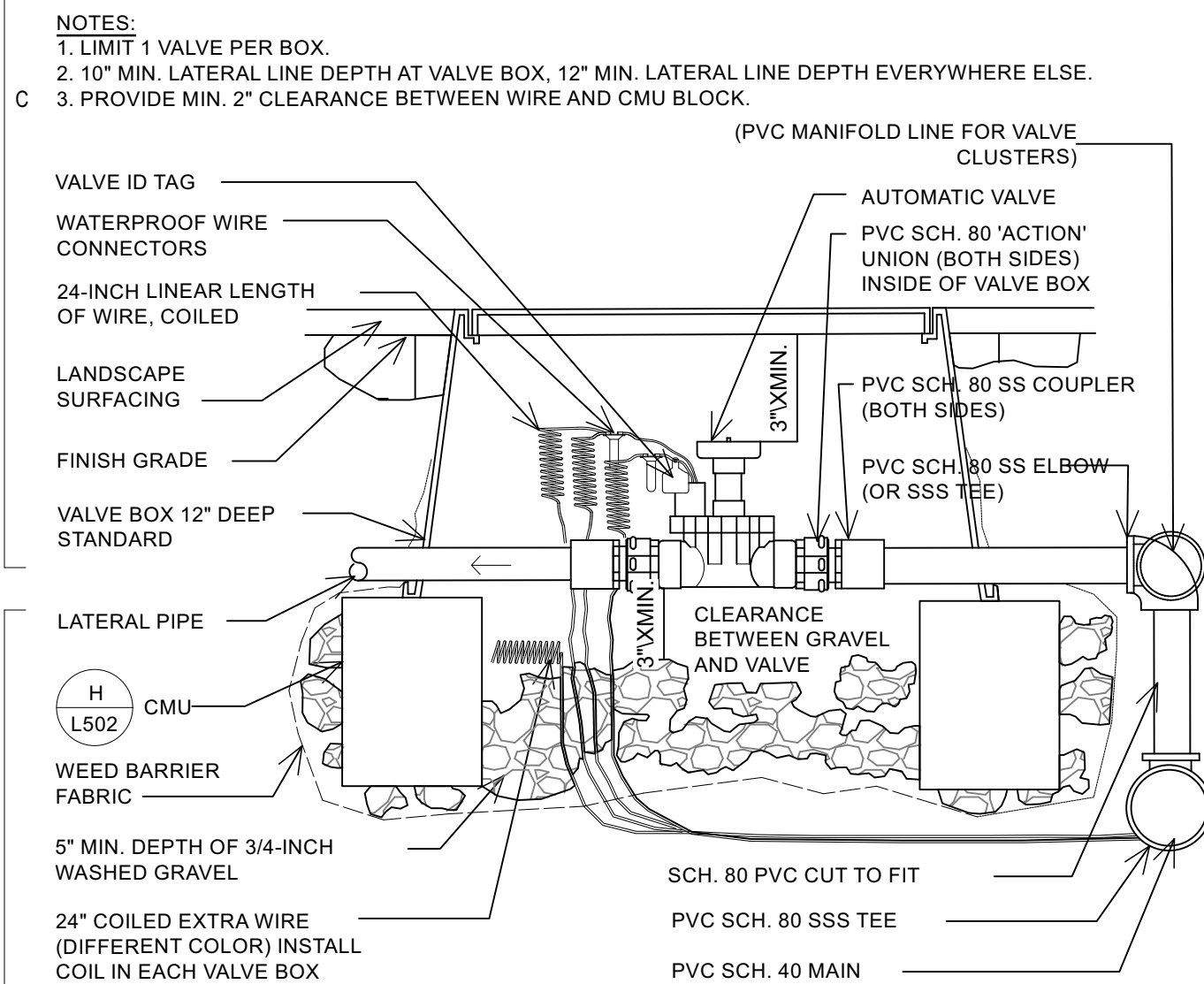
CONCRETE MOW STRIP



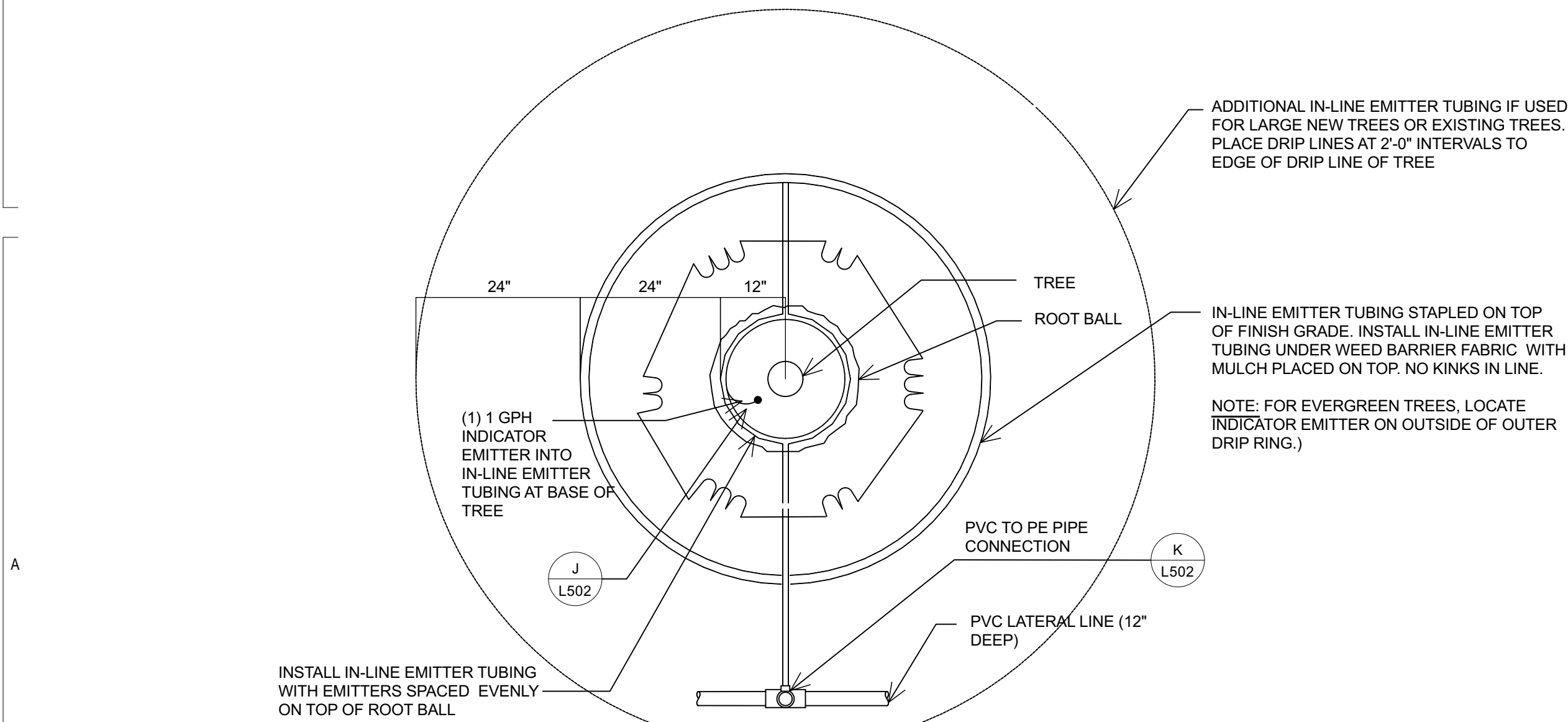
J CONCRETE MOWSTRIP AT @ FENCE
SCALE: 1"=1'



A SPRAY HEAD ASSEMBLY
NO SCALE

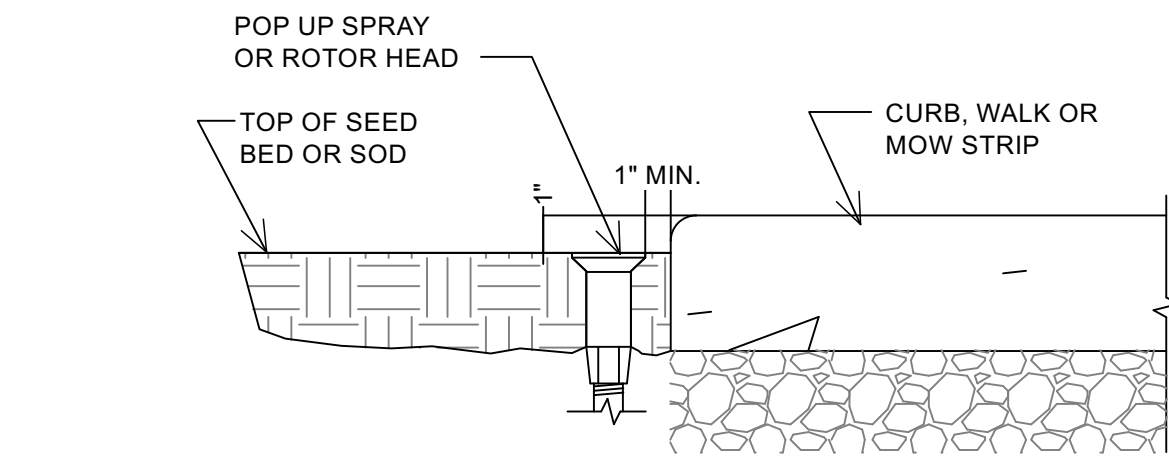


E AUTOMATIC VALVE WITH CONVENTIONAL WIRE SYSTEM
NO SCALE

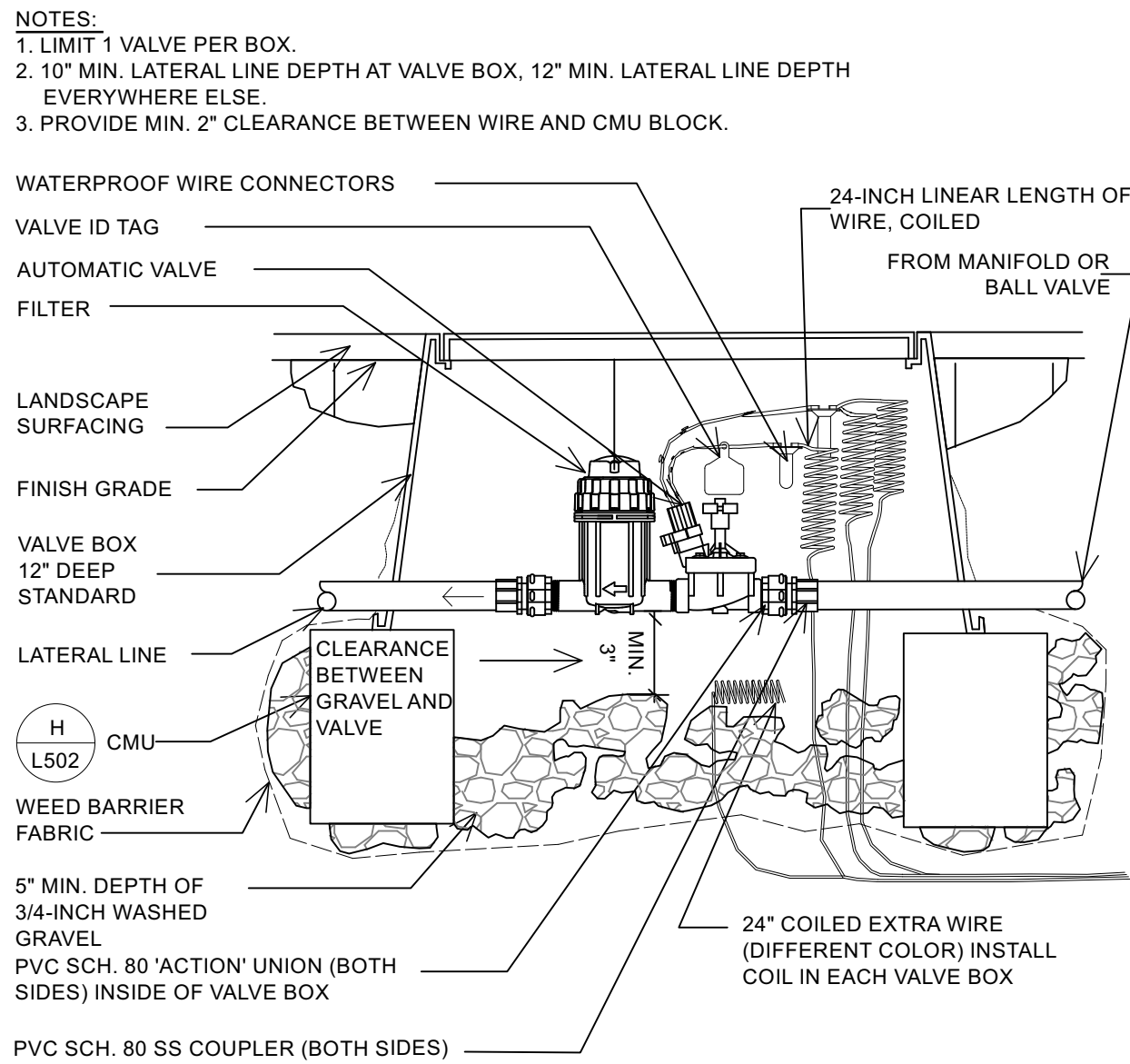


I TREE DRIP - PLAN VIEW (Planter Areas)
NO SCALE

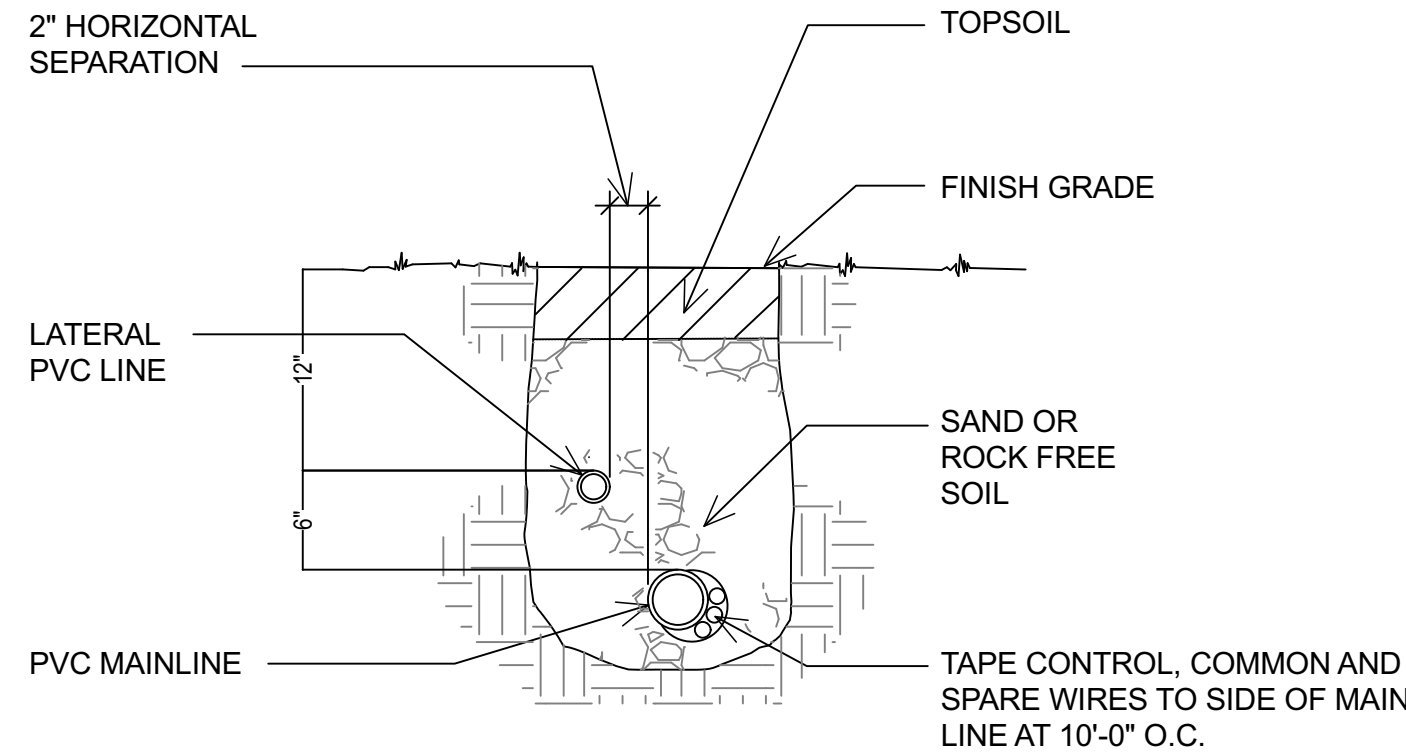
NOTE: FITTINGS TO IN-LINE DRIP TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.



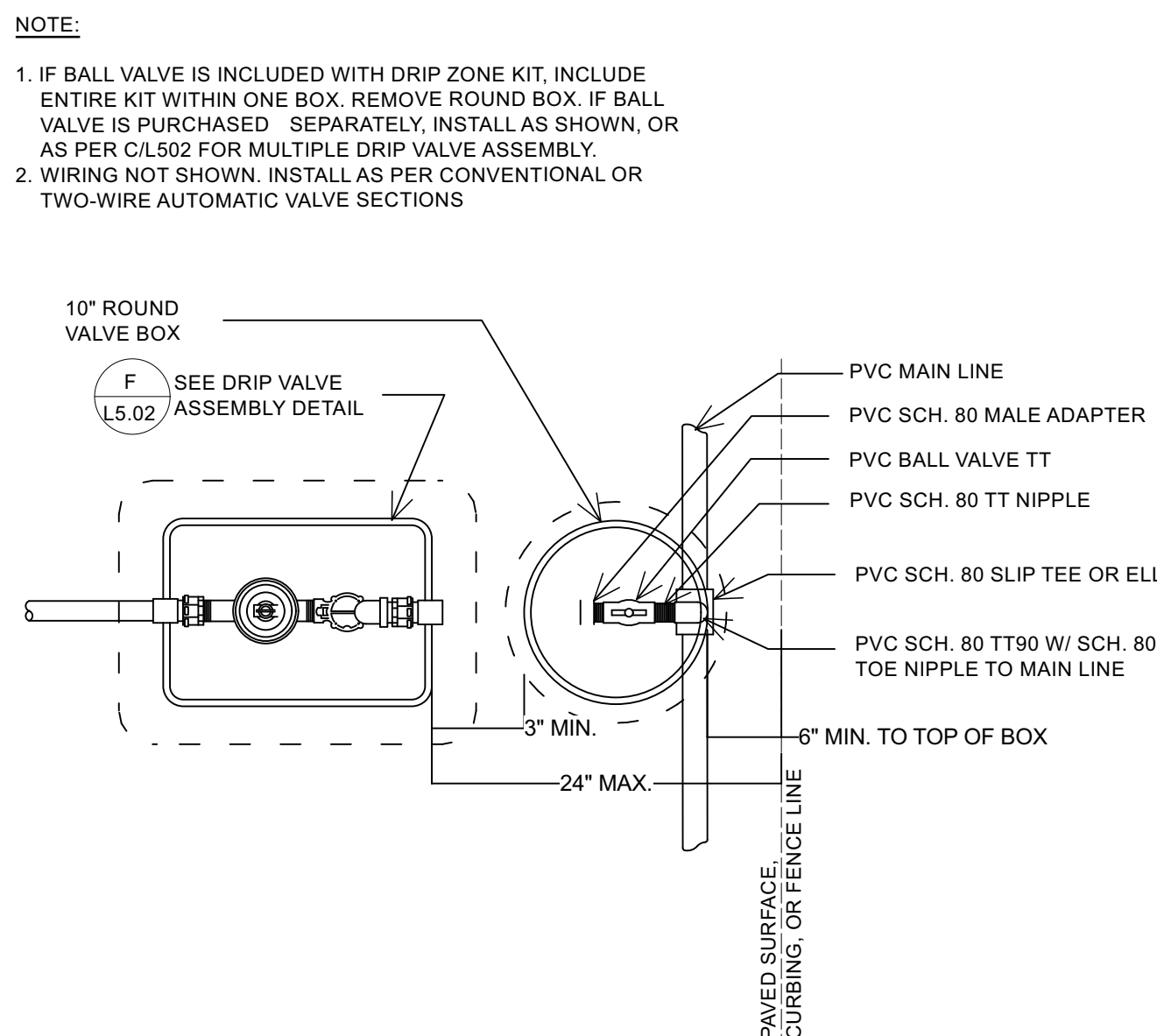
B SPRINKLER HEAD OR ROTOR NEXT TO CURB OR WALK
NO SCALE



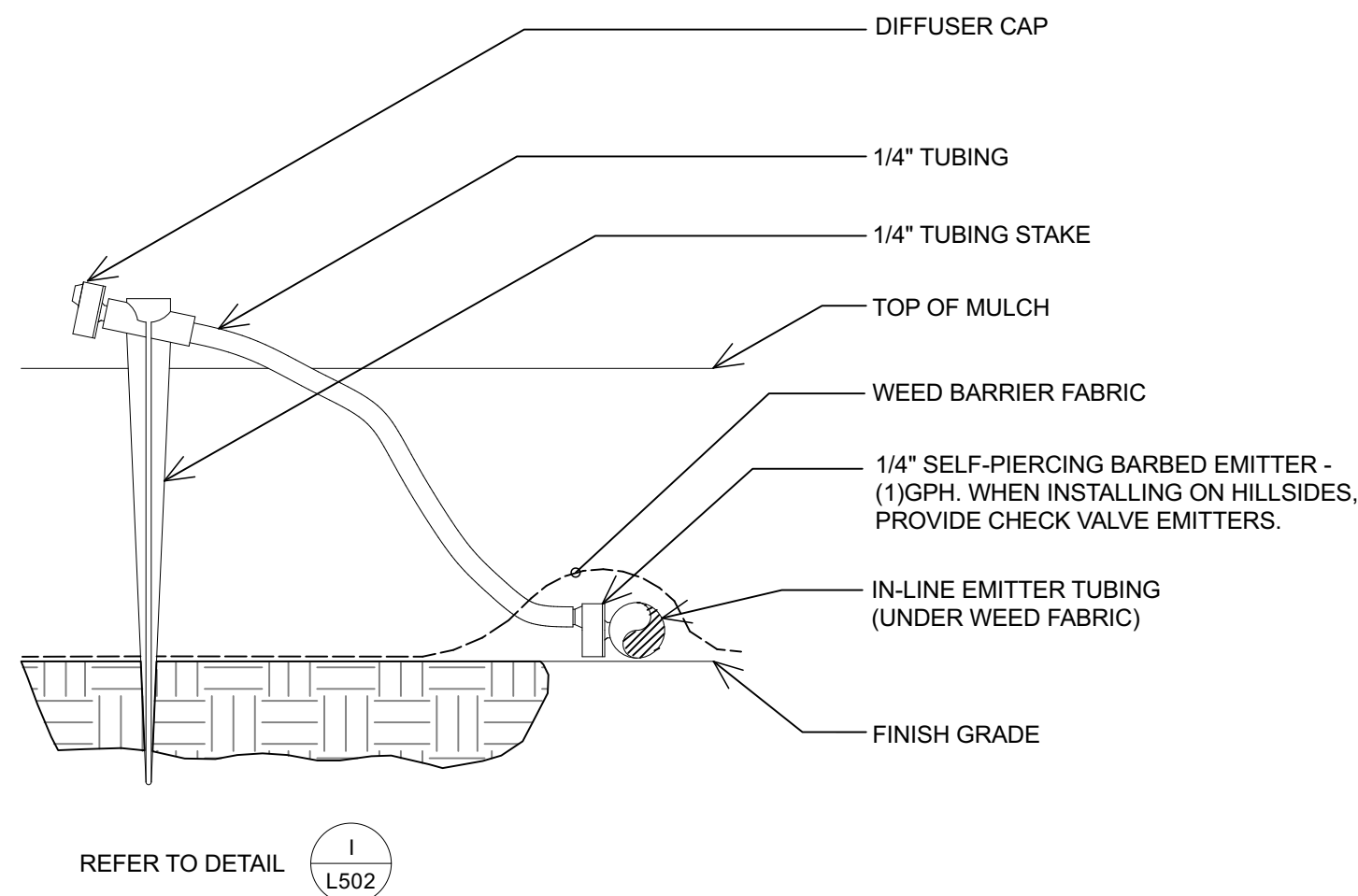
F DRIP VALVE ASSEMBLY-SECTION CONVENTIONAL WIRE SYSTEM
NO SCALE



C TRENCH SECTION - CONVENTIONAL WIRE SYSTEM
NO SCALE

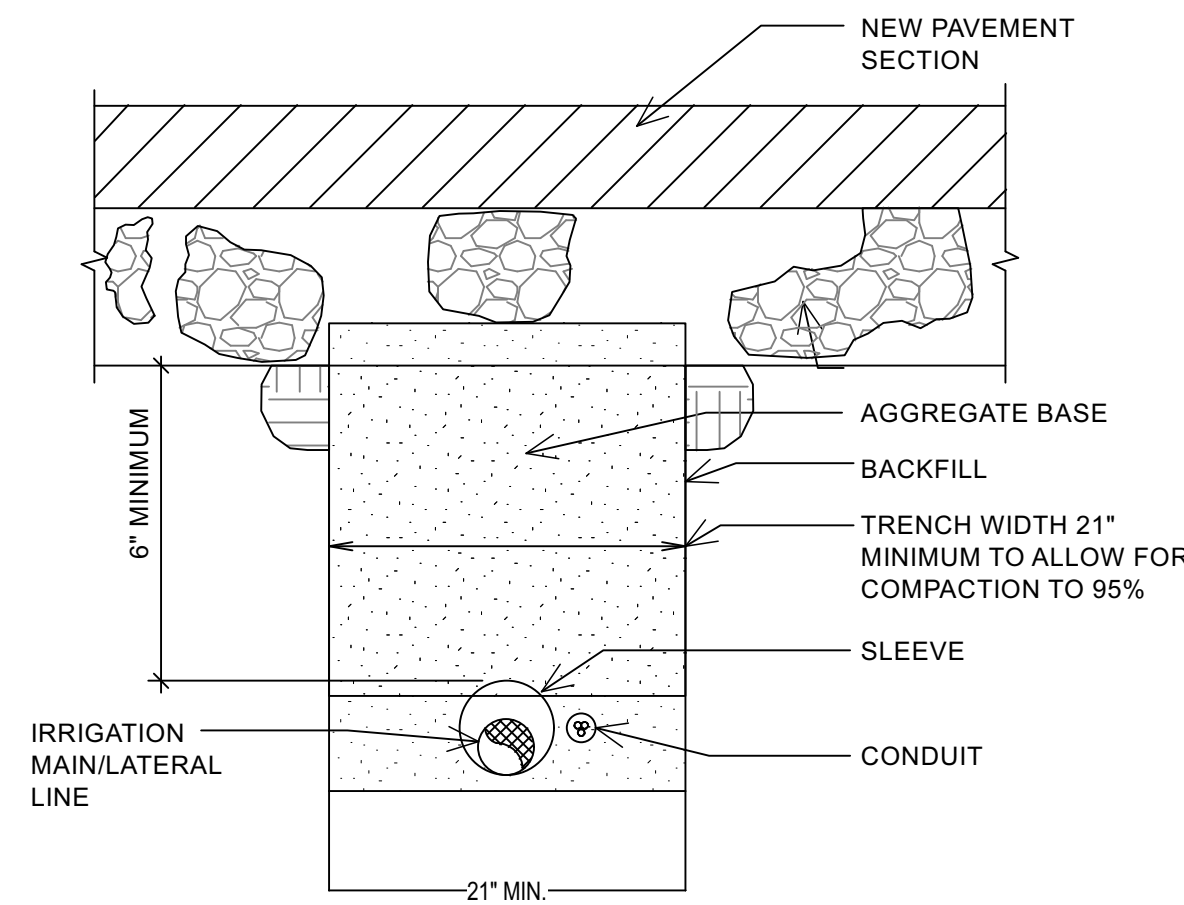


G DRIP VALVE ASSEMBLY
NO SCALE



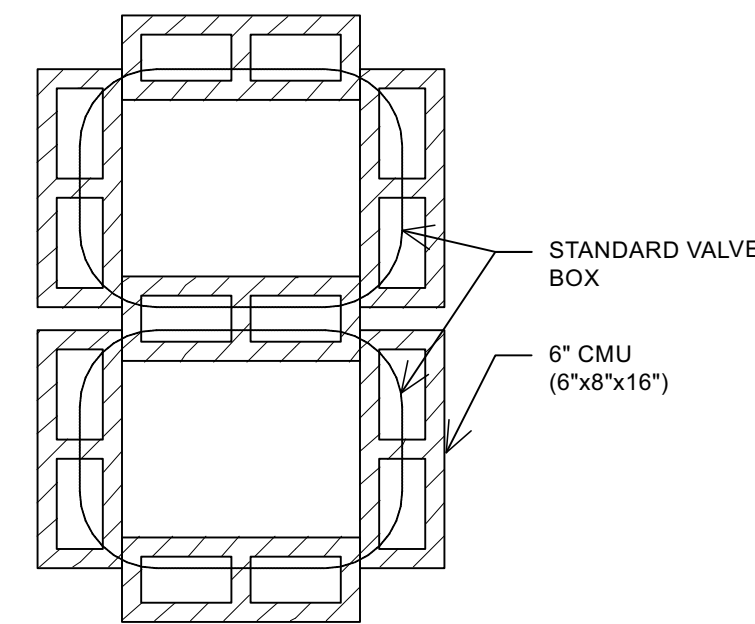
J INDICATOR EMITTER
NO SCALE

NOTE:
1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING.
2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED.
3. 1/4\"/>

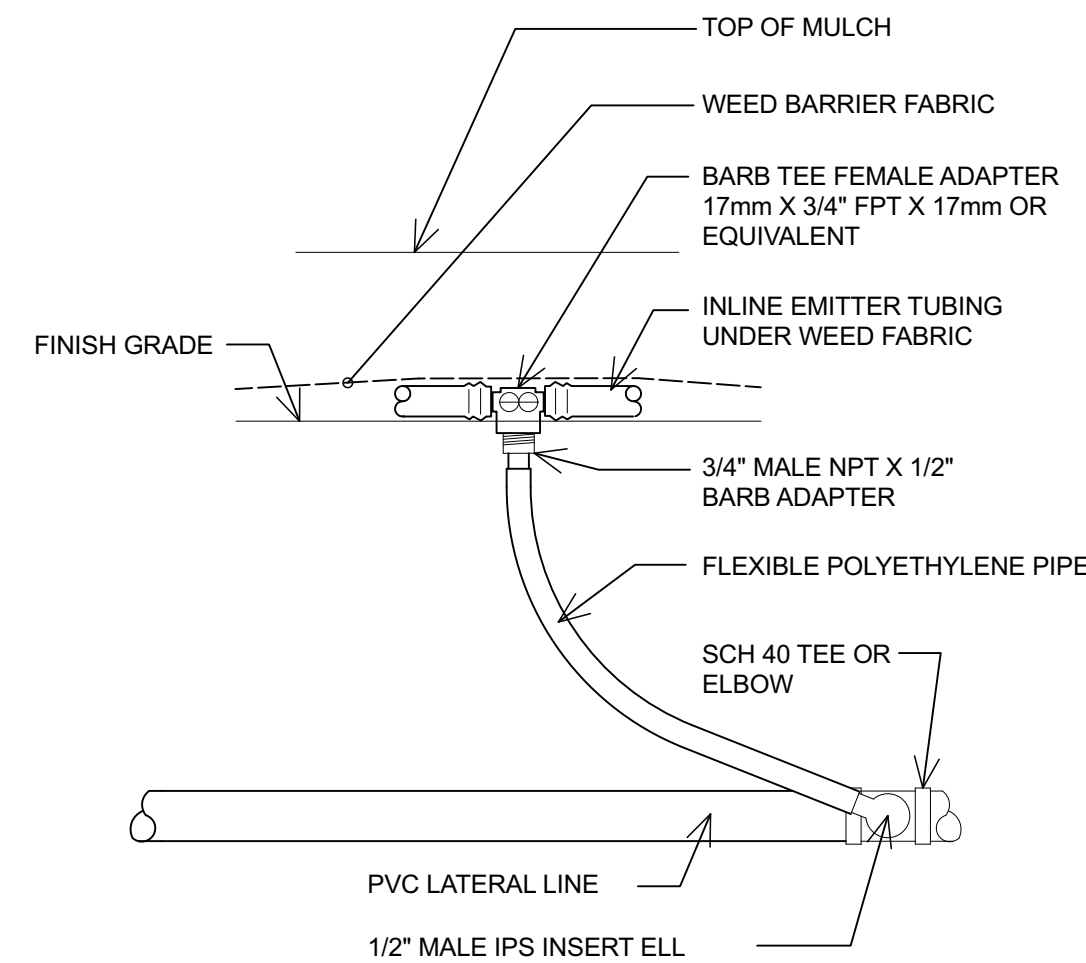


D MISC. PIPE TRENCH DETAIL NEW PAVEMENT AREAS
NO SCALE

NOTES:
1. VALVE BOX TO REST ON (4) CMU BLOCKS (ONE FOR EACH SIDE).
2. CLUSTERED VALVE BOXES MAY SHARE A CMU BLOCK.

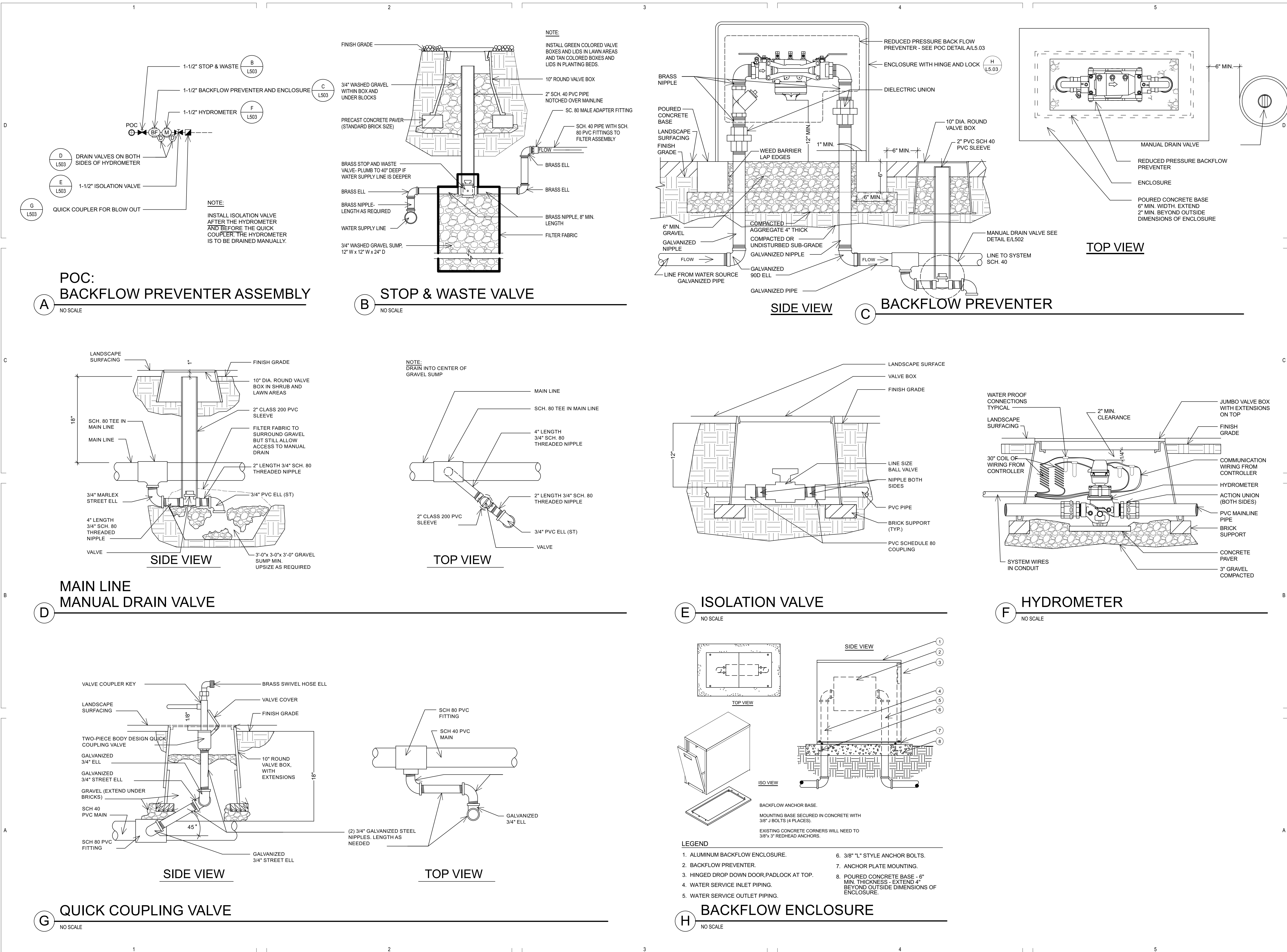


H CMU PLACEMENT
NO SCALE

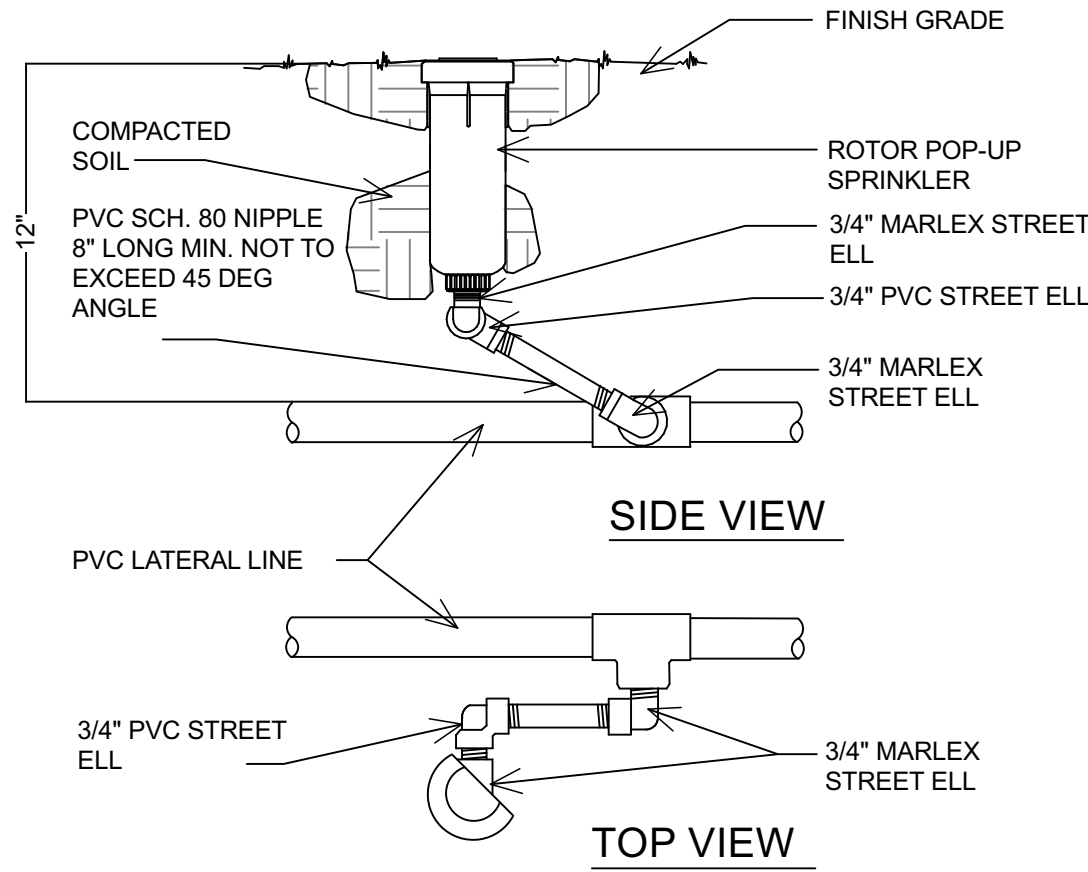
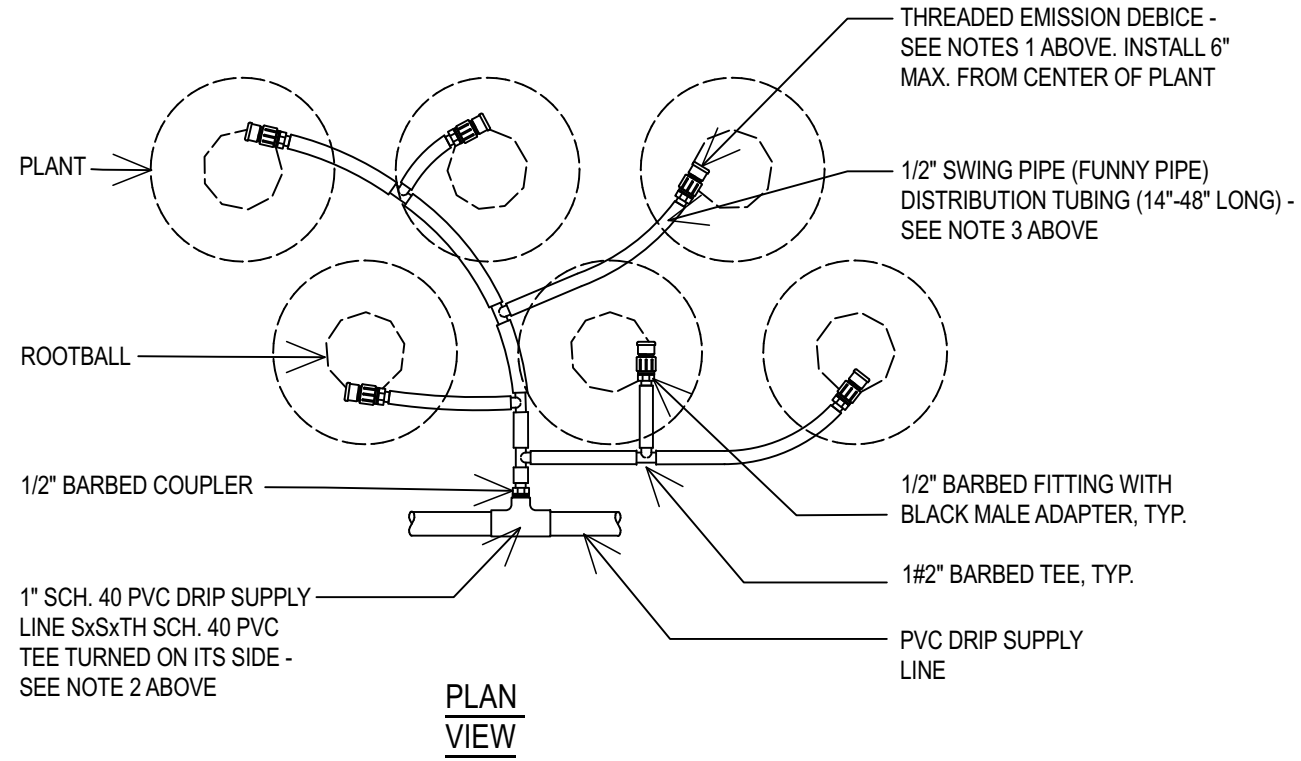
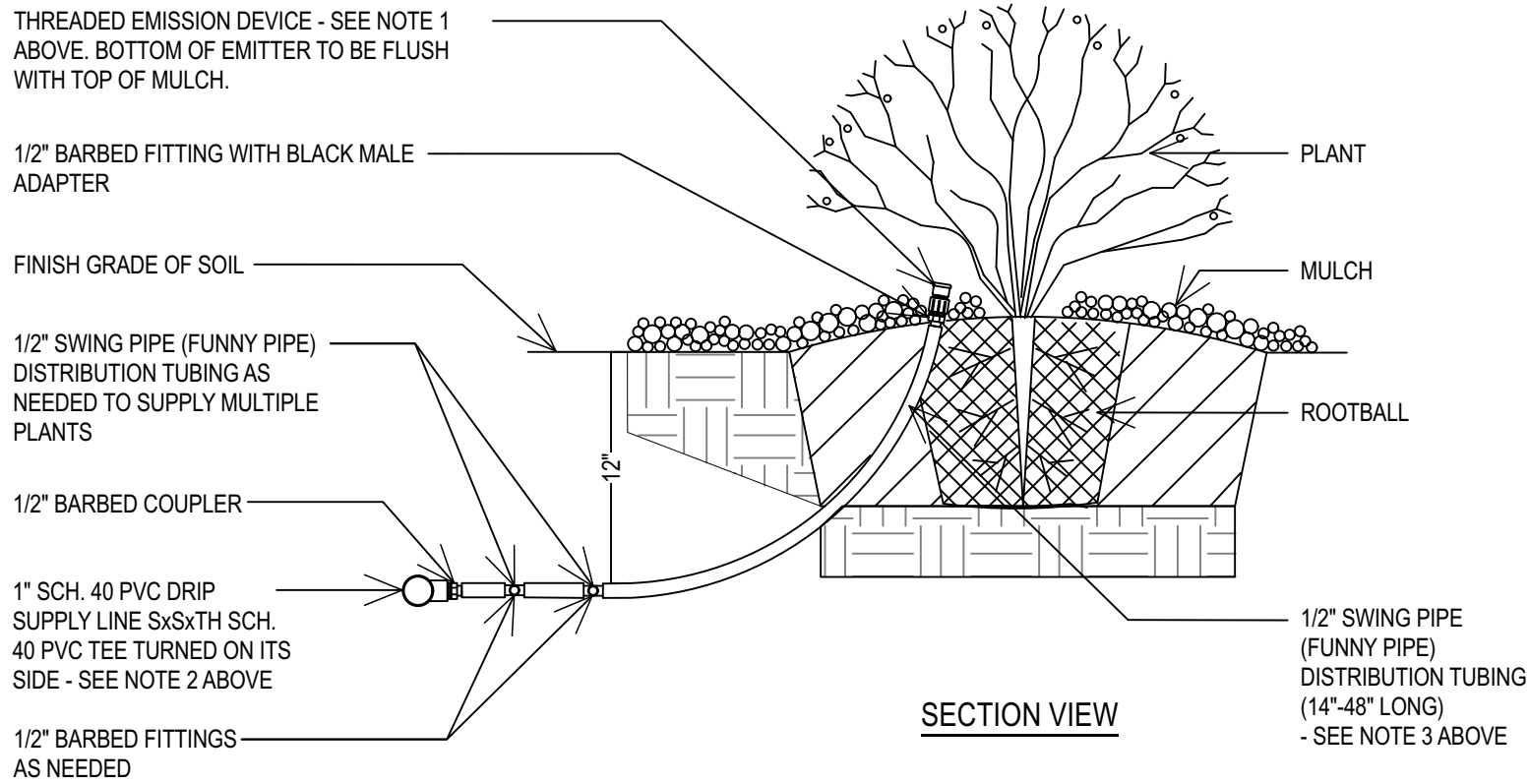


K PVC TO IN-LINE EMITTER
NO SCALE

NOTE:
1. USE AT TREE RINGS AND AS CONNECTION FROM SUPPLY AND EXHAUST HEADERS.
2. DO NOT EXCEED (3) GPM FLOW THROUGH SINGLE CONNECTION.

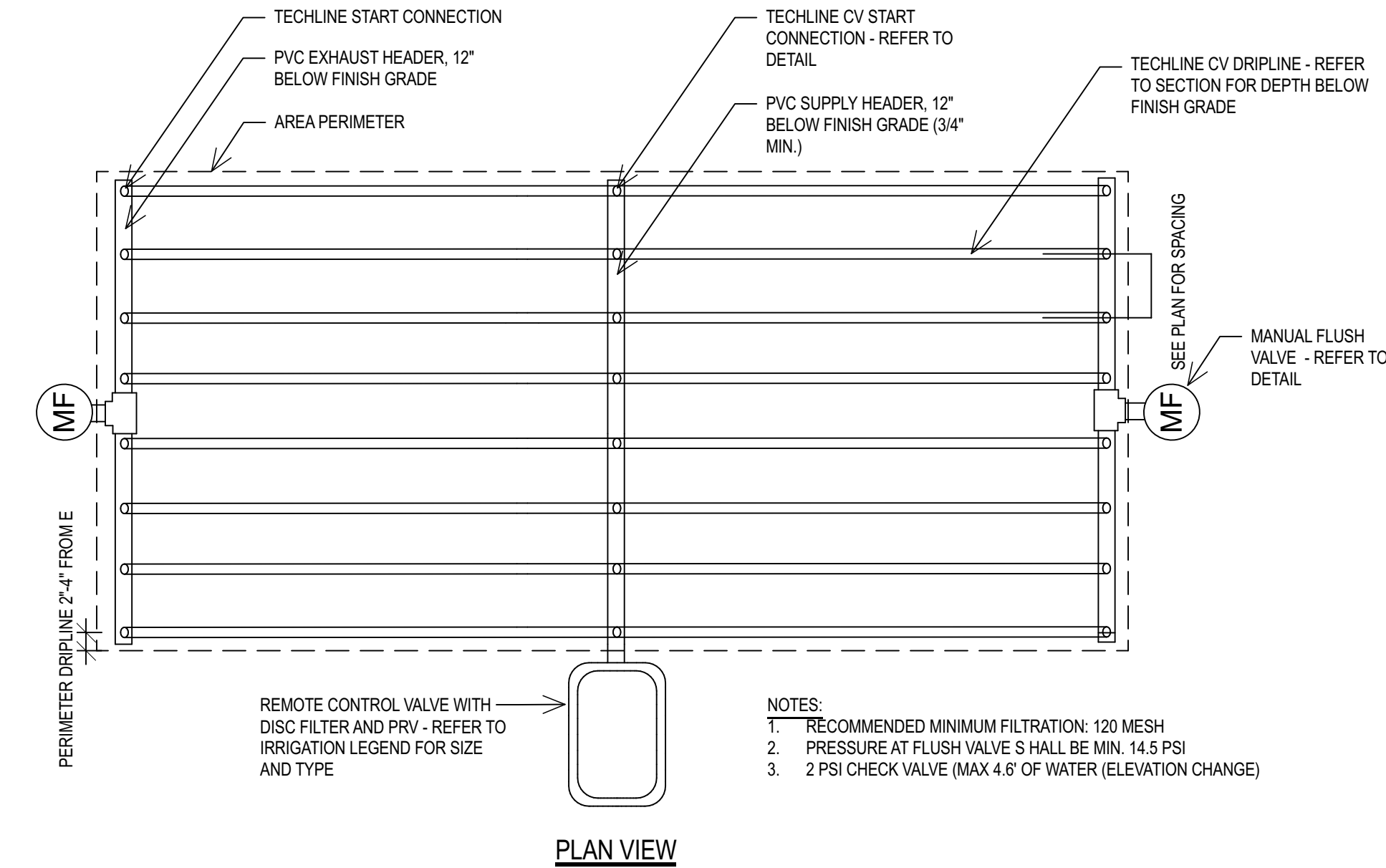


- NOTES:
1. SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
 2. INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
 3. DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.

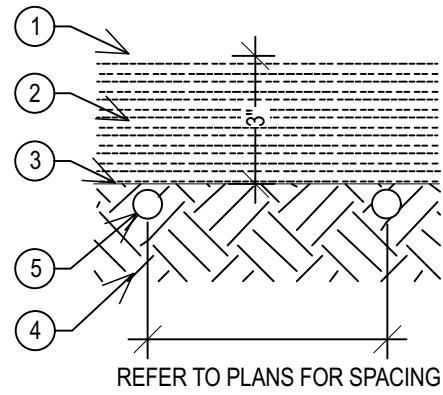


A DRIP EMISSION DEVICE @ SHRUBS

NO SCALE



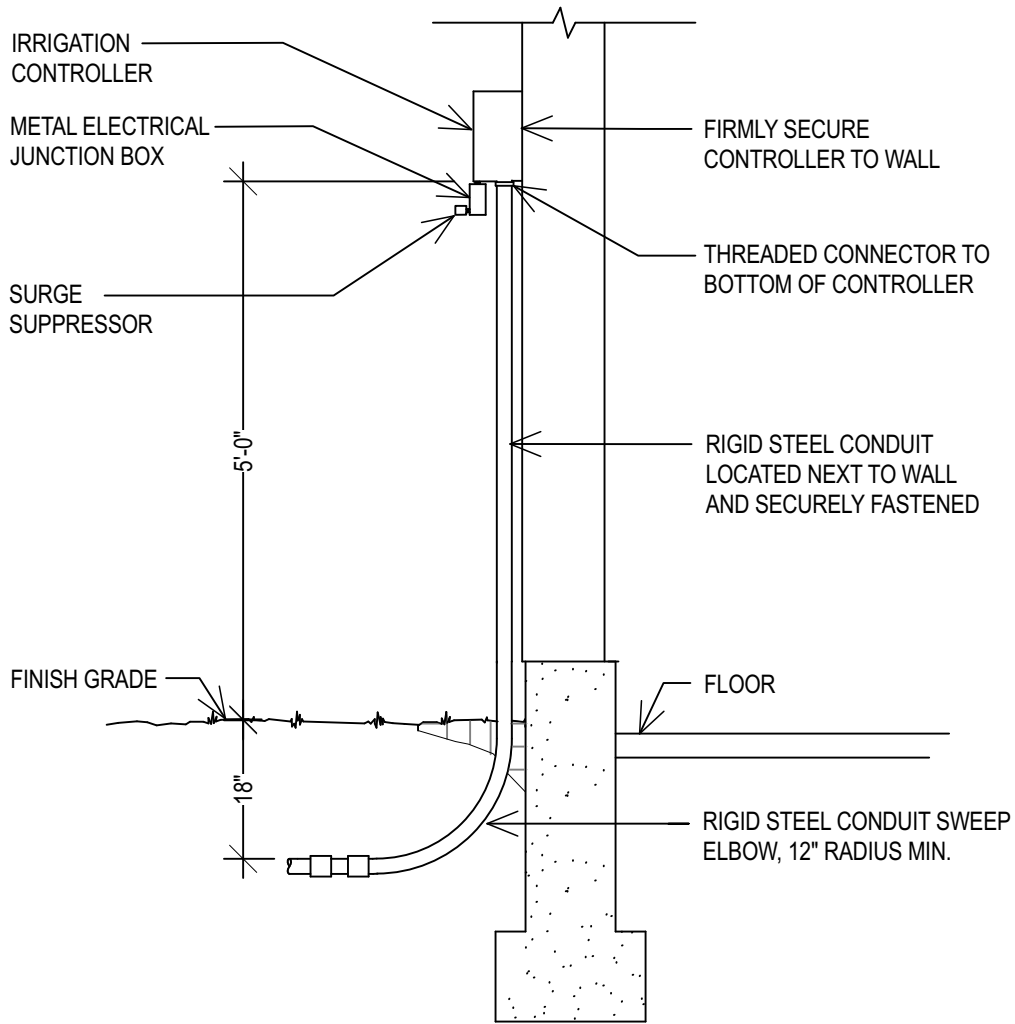
- LEGEND:
1. FINISH GRADE
 2. MULCH LAYER
 3. GEO-TEXTILE FABRIC
 4. SOIL WITHIN PLANTING BED
 5. NETAFIM TECHLINE CV DRIPLINE TUBING INSTALLED ON TOP OF GRADE BELOW FABRIC - STAPLE AS NEEDED TO PROPERLY SECURE.



SECTION

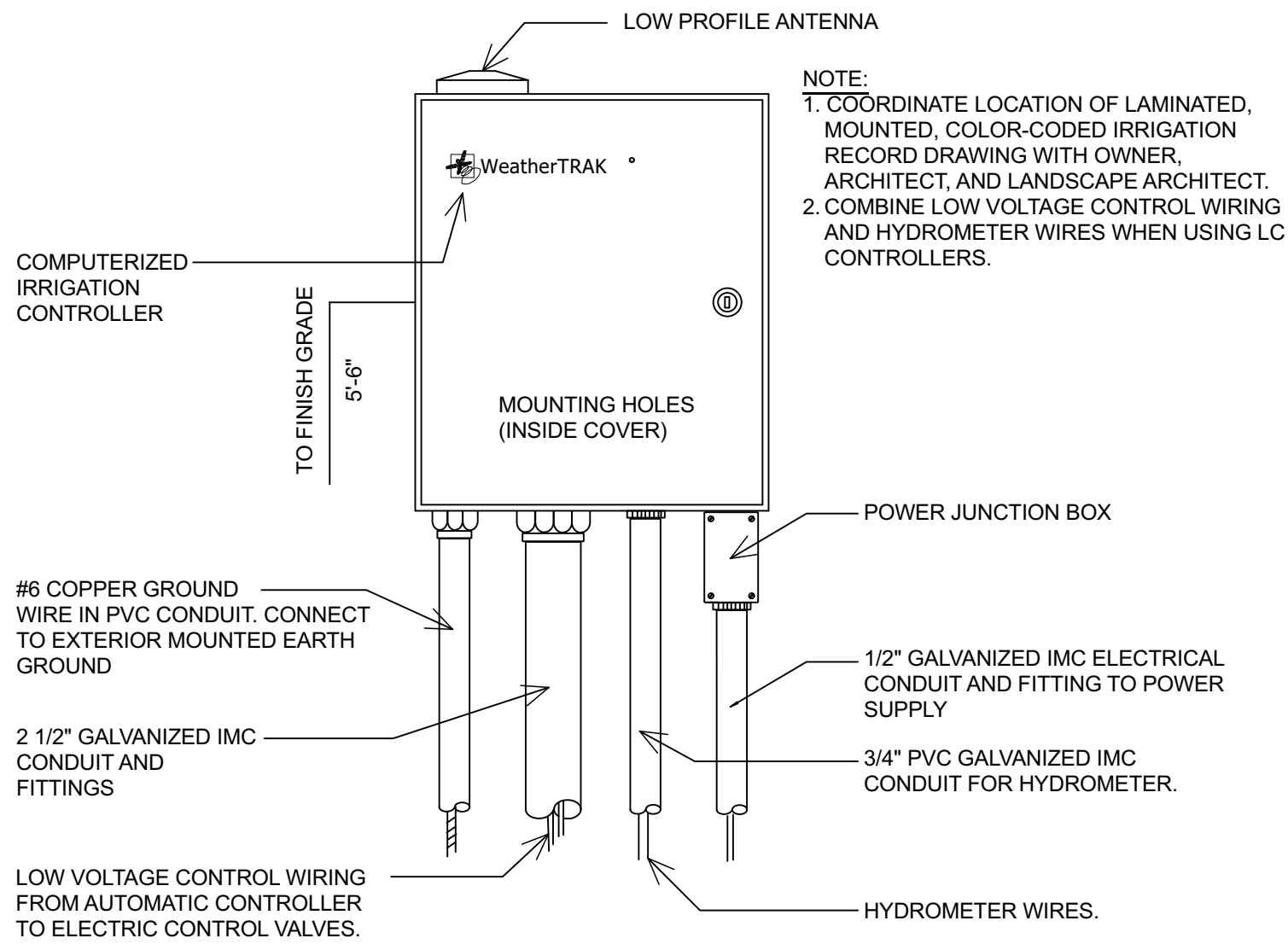
C TYPICAL DRIPLINE LAYOUT IN PLANTING BED AREAS

SCALE: NO SCALE



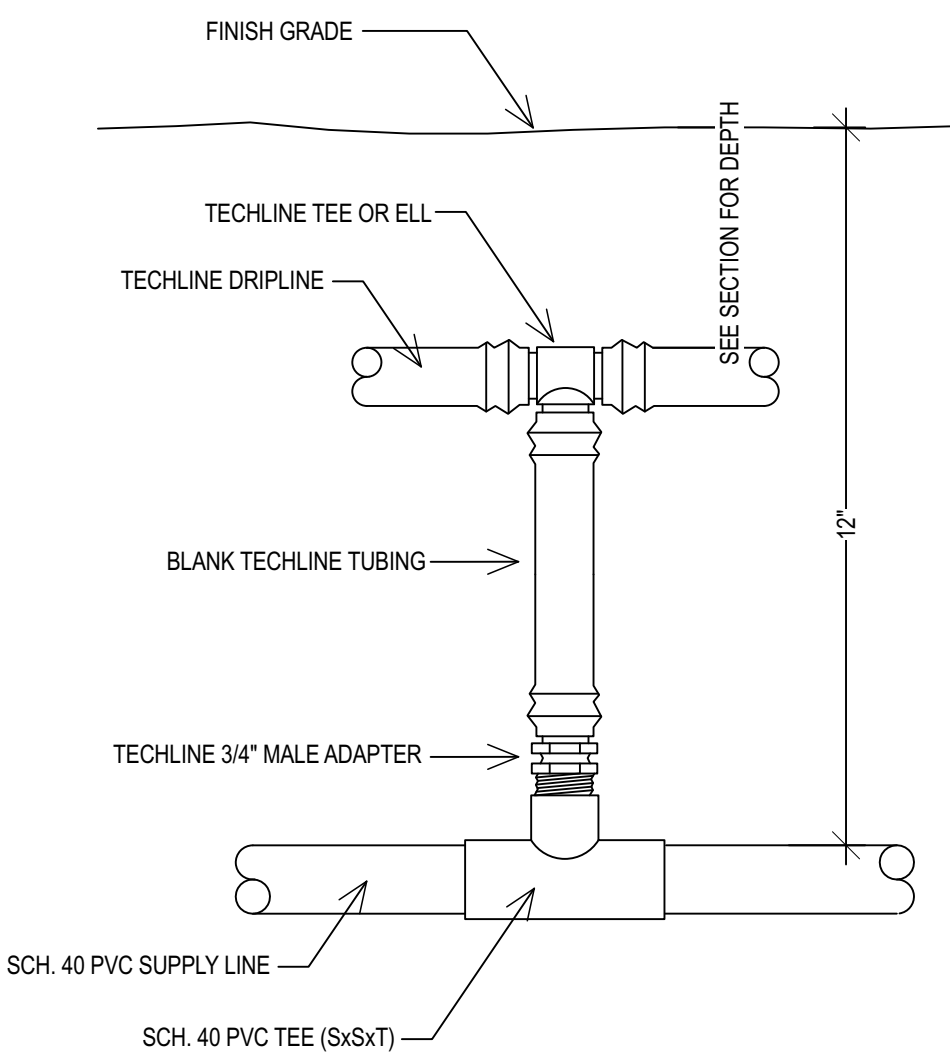
D CONTROLLER

NO SCALE

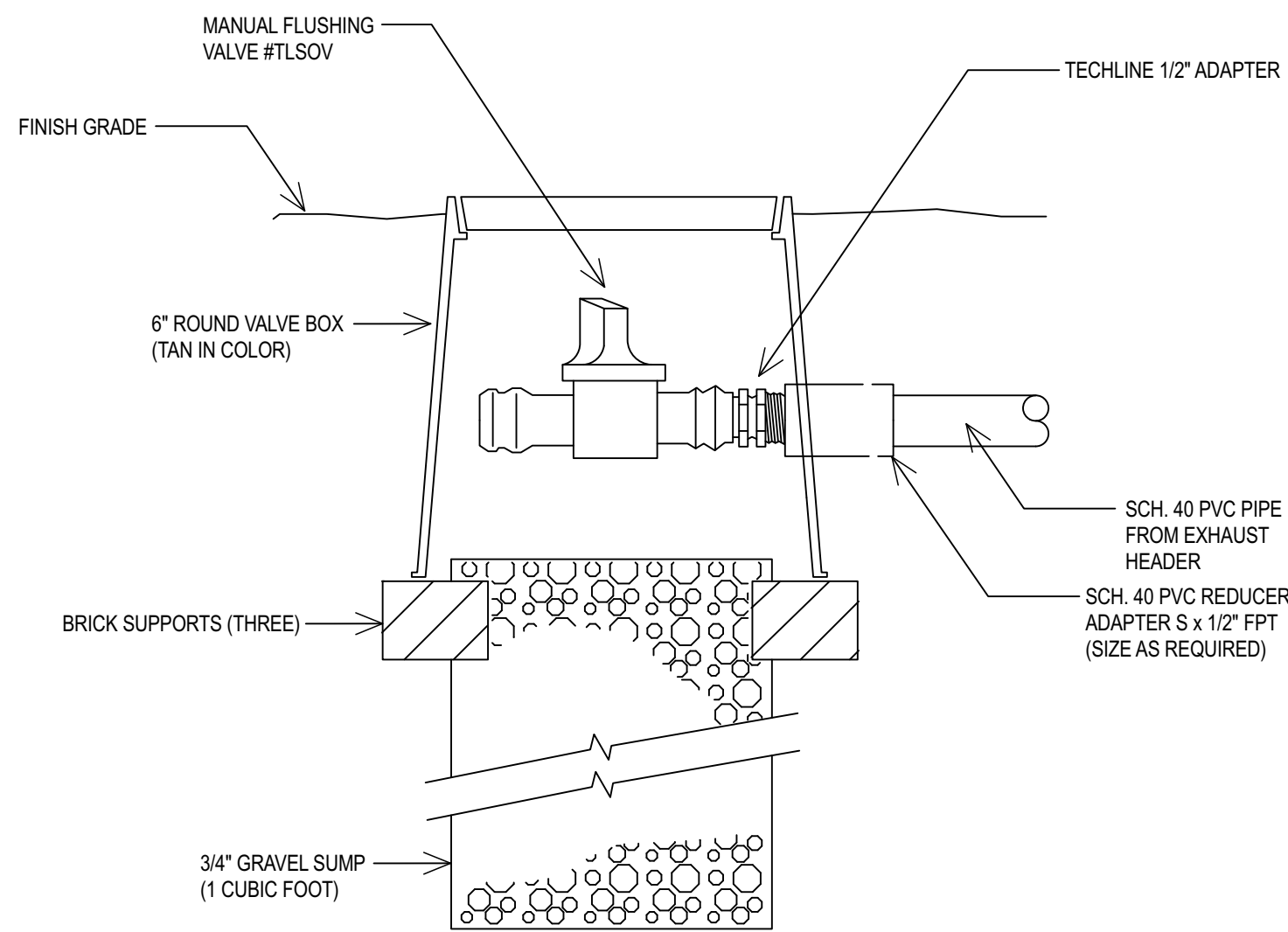


E SMART CONTROLLER

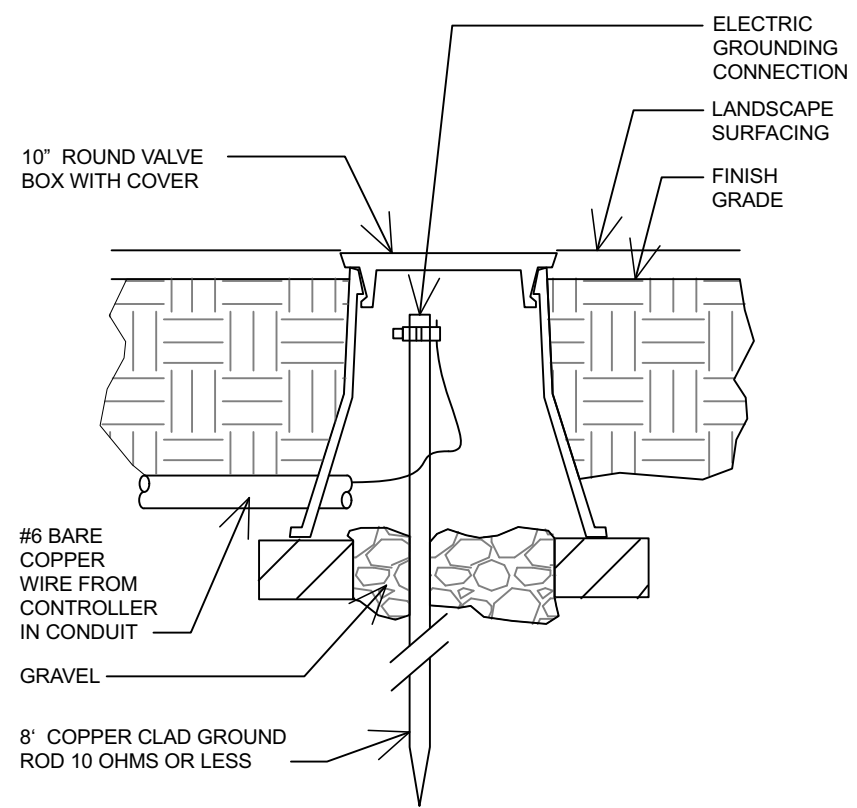
NO SCALE



START CONNECTION



FLUSH VALVE



F LIGHTNING GROUNDING ROD

NO SCALE

DESIGN CRITERIA:

- 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
- TYPE OF CONSTRUCTION: TYPE II-B.
- BUILDING USE: ASSEMBLY A-3
- BUILDING OCCUPANCY CATEGORY: II
- BUILDING HEIGHT: PER PLANS
- BUILDING VOLUME: 19,800 CU. FT.
- NO. OF OCCUPANTS: 120
- ROOF DEAD LOAD - 11 PSF PLUS FRAMING WEIGHT
 - SHINGLES AND FELT: 3.5 PSF
 - DIAPHRAGM SHEATHING: 2.3 PSF
 - WOOD DECK: 4.0 PSF
 - MISCELLANEOUS: 1.2 PSF
- ROOF LIVE LOAD - 20 PSF
- SNOW LOAD
 - Pg: 41 PSF (GROUND SNOW LOAD)
 - Pf = 0.7 * Pg * Ce * Ct * Is = 31 PSF (ROOF SNOW LOAD)
 - BUILDING ELEVATION: 4996 3FT
 - Ps = Pf Cs
 - Cs: 1.0 FOR A 4:12 PITCH
 - Ps: 31 PSF
- WIND LOAD (ULTIMATE)
 - V3s: 102 MPH
 - EXPOSURE: C
 - W: 1.00
- SEISMIC LOAD (ULTIMATE)
 - Ie: 1.00
 - Ss: 1.65
 - S1: 0.58
 - Sds: 0.98
 - Sd1: 1.13
 - Idc: 1.25
 - Cd: 2.5
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY: D
 - R: 1.25 (CANTILEVERED STEEL COLUMNS)
 - EQUIVALENT LATERAL FORCE PROCEDURE
 - Cs = 0.78
- ALLOWABLE SOIL BEARING PRESSURE:
 - 1500 PSF
 - ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
 - USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
 - COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

- VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
 - BUILDING PERMIT
 - PLANNING OR CONDITIONAL USE PERMIT
 - OBTAIN REQUIRED USE PERMIT
- REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
- LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
- DIG COLUMN CAISSONS.
- PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
- SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
- PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
- SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU-LAM BEAMS.
- AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS, TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
- THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
- NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
- LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
- ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS.
- ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
- SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
- INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
- INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
- LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID OVER RIDGE.
- INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
- INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE-FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
- FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
- AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
- INSTALL MEMBRANE CURING ON CONCRETE SLAB.
- ALLOW CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK.
- ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS.
- STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

- REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS
- PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

UTILITIES:(BY OTHERS)

- INSTALL PLUMBING LINE FOR COLD WATER.
- INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE- ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.

CONCRETE:

- CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24"
- PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
 - COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
 - MAX W/C: 0.45
 - 6% (+/-1.5%) AIR ENTRAINMENT.
 - CEMENT TYPE II/V
 - DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
 - F2, S1 (PER ACI 318 TABLE 4.2.1)
 - LIMIT SLUMP TO 4" (+/-1")
- VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- SLAB TO BE SEALED WITH WEATHERWORKER J-29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, Fy = 46,000 PSI
- ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 55.
- ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
- ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

- GLU-LAM BEAMS:
 - SOUTHERN YELLOW PINE
 - 24F-V3 STRESS COMBINATION
 - 2-INCH NOMINAL THICK LAMINATIONS
 - 5" MINIMUM WIDTHS
 - RESORCINOL ADHESIVE
 - DOUBLE PITCHED AND TAPERED
 - ARCHITECTURAL APPEARANCE GRADE
 - STAIN AND SEAL FINISH
 - ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
 - MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
- MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
- FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
- TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
- USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
- PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
- ROOF FRAMING
 - USE GALVANIZED NAILS.
 - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
 - MITER ENDS OF FASCIA AT CORNERS
 - BUTT FASCIA ONLY AT BEAM ENDS
 - FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
 - 2x8 ROOF DECK:
 - DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED, AND STAINED - NO. 2 GRADE
 - DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS - RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
 - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
 - INSTALL WITH TONGUES UP ON SLOPED ROOFS.
- ROOF SHEATHING:
 - 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
 - INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH 3 STAPLES PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
 - PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM

- 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- PROFILE NOMINAL SIZE: 13"x 39 3/8"
- EXPOSURE: 5 5/8"
- COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

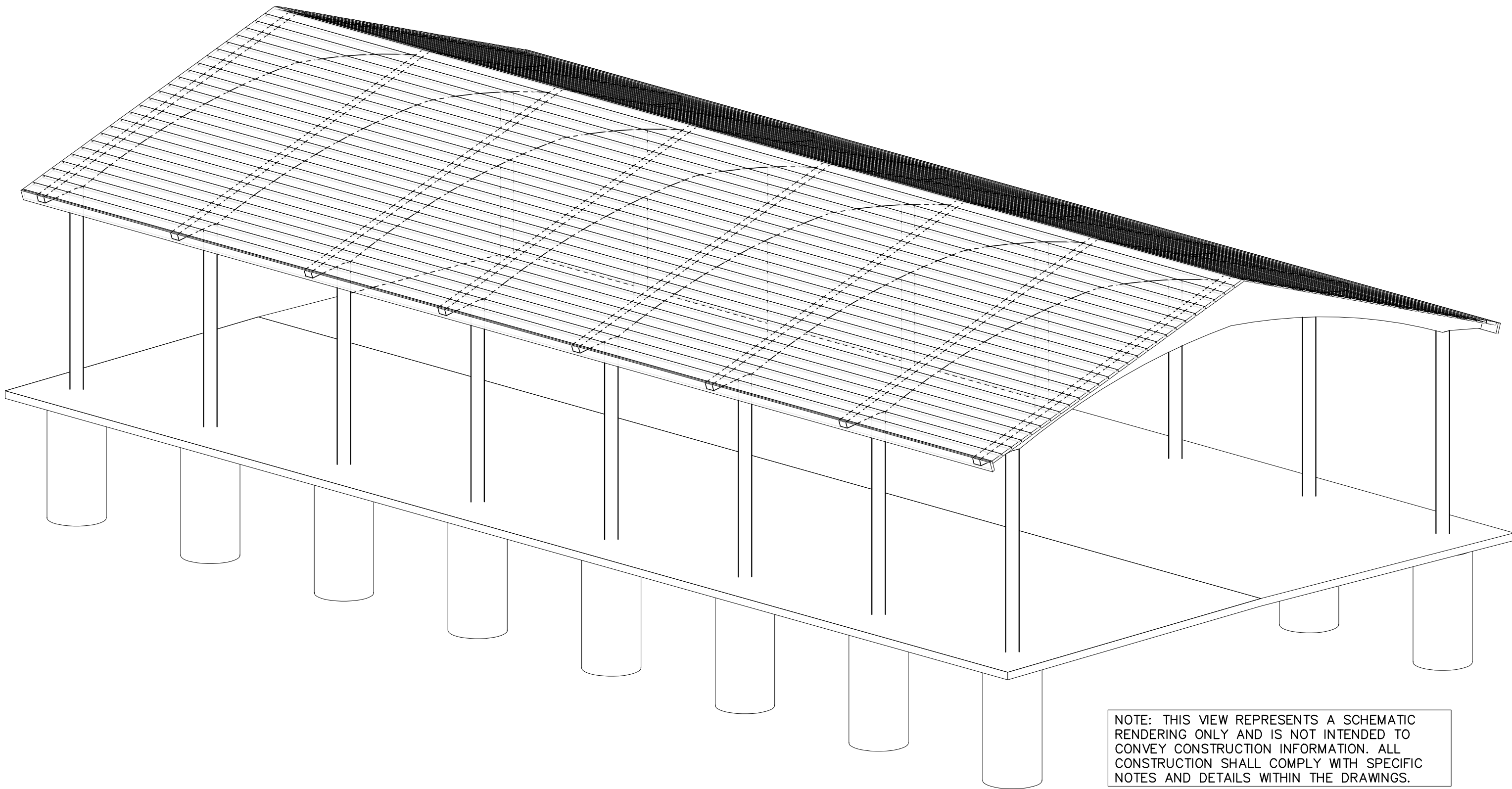
- BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

ELASTOMERIC JOINT SEALANTS:

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
- CLEAN AND PREPARE SURFACES.
- USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
- PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

PLUMBING AND ELECTRICAL:(BY OTHERS)

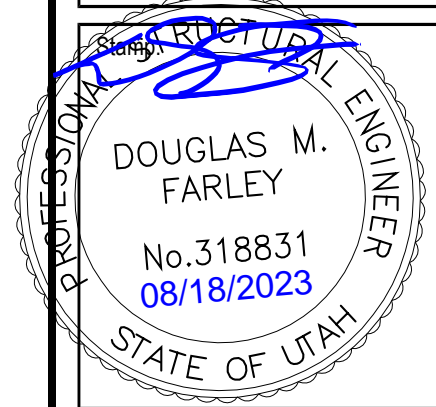
- COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.



NOTE: THIS VIEW REPRESENTS A SCHEMATIC RENDERING ONLY AND IS NOT INTENDED TO CONVEY CONSTRUCTION INFORMATION. ALL CONSTRUCTION SHALL COMPLY WITH SPECIFIC NOTES AND DETAILS WITHIN THE DRAWINGS.

Supplier:

SMITH
STEELWORKS



30'x60' Glulam Pavilion
Kit 1 Option A
1120 Rocky Mountain Way
Elkridge, Utah

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Mark	Date (mm)	Description

Project Number:

Plan Series:

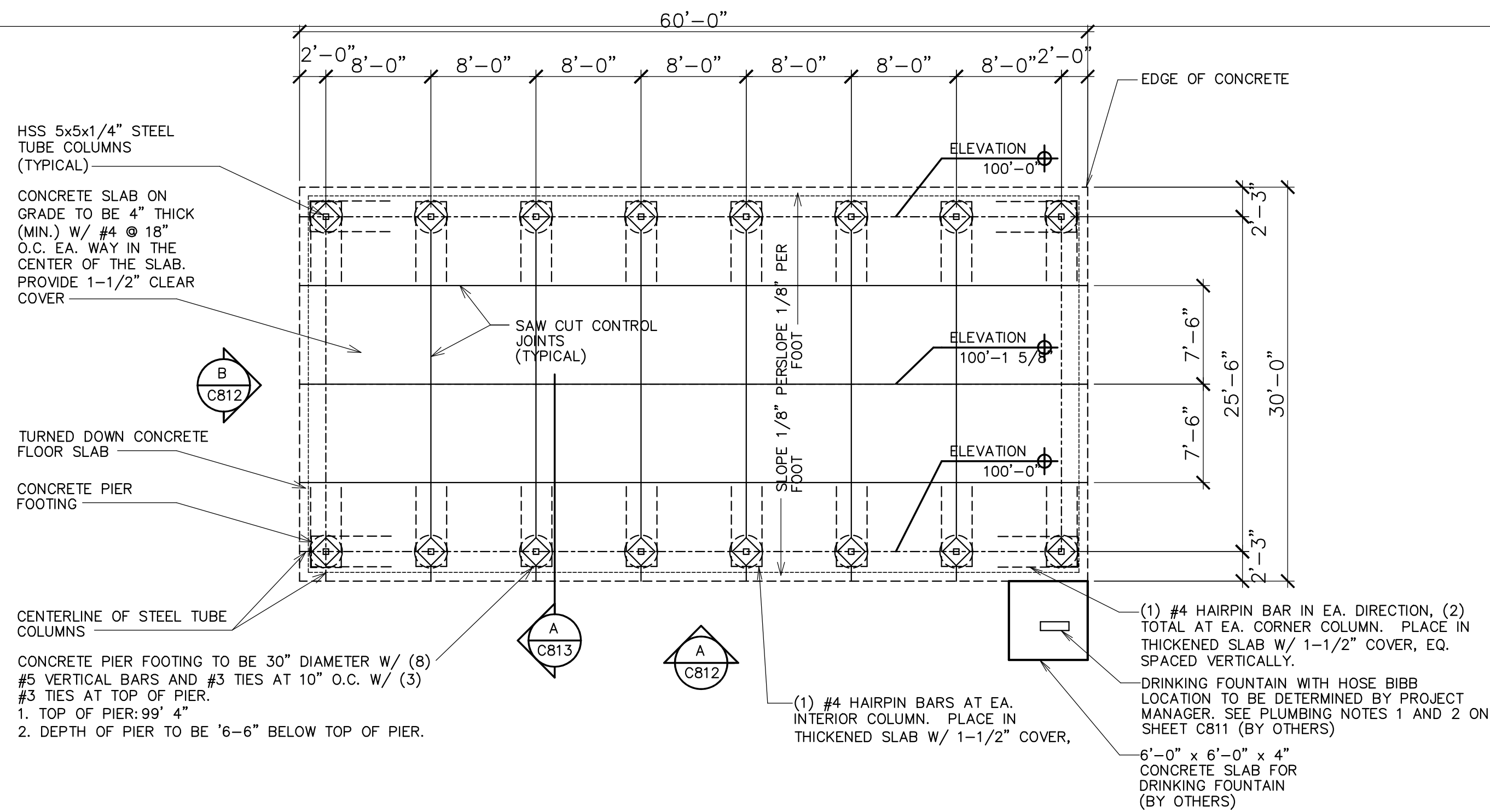
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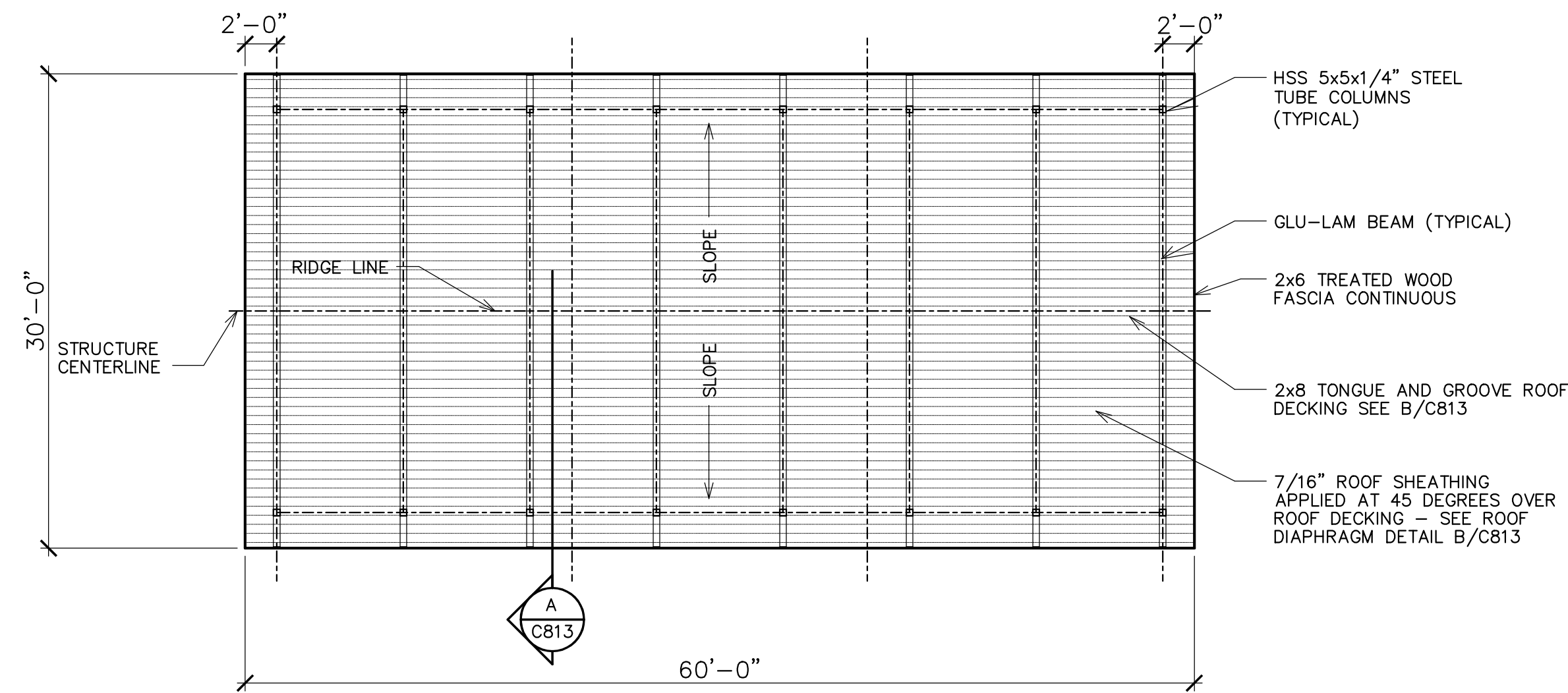
PLAN VIEWS

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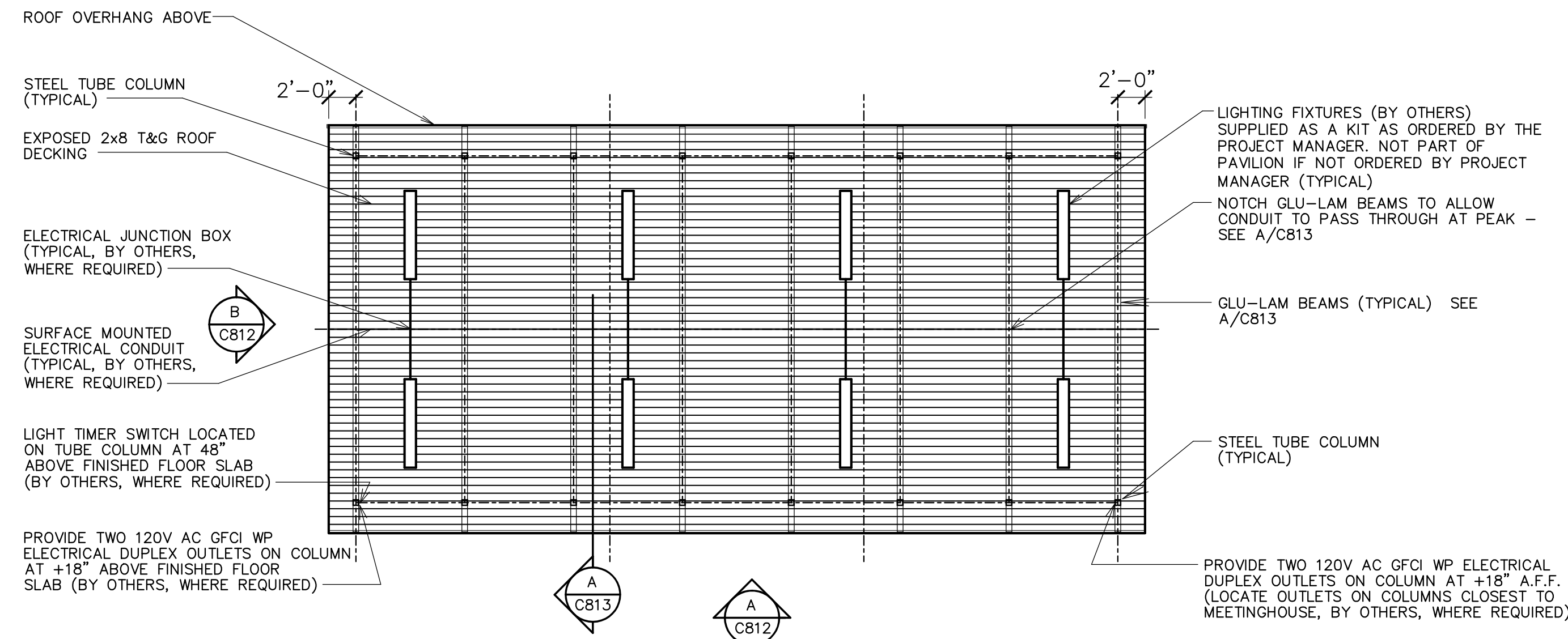
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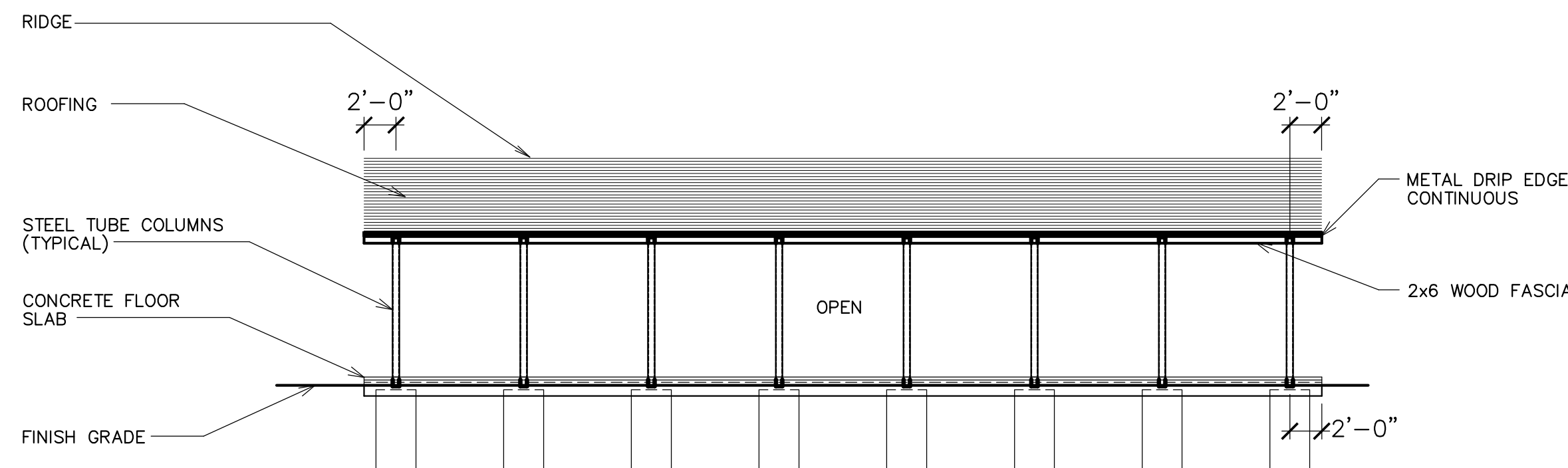
1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



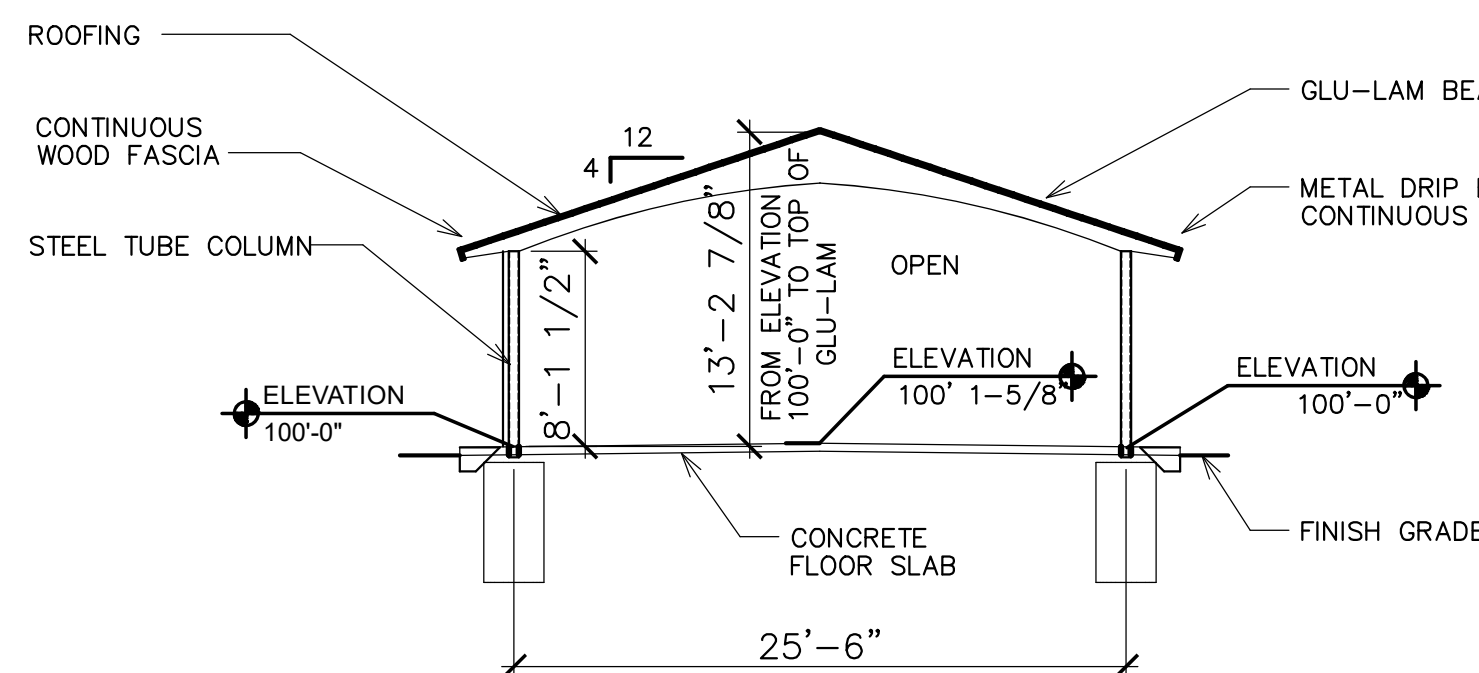
2 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



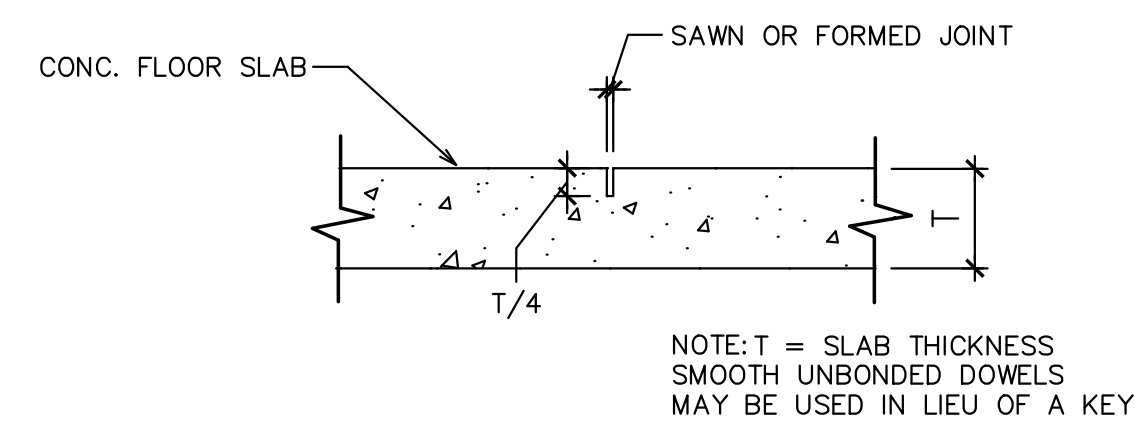
3 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



A SIDE ELEVATION
SCALE: 1/8" = 1'-0"



B END ELEVATION
SCALE: 1/4" = 1'-0"



4 CONTROL JOINT DETAIL
SCALE: 1 1/2" = 1'-0"

Supplier:

SMITH
STEELWORKS

DOUGLAS M. FARLEY
No. 318831
08/18/2023
STATE OF UTAH

30'x60' Glulam Pavilion
Kit 1 Option A
1120 Rocky Mountain Way
Elkridge, Utah

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

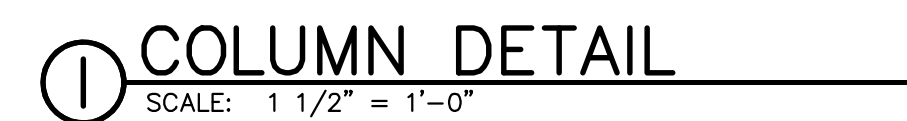
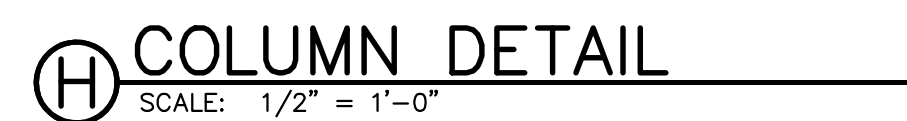
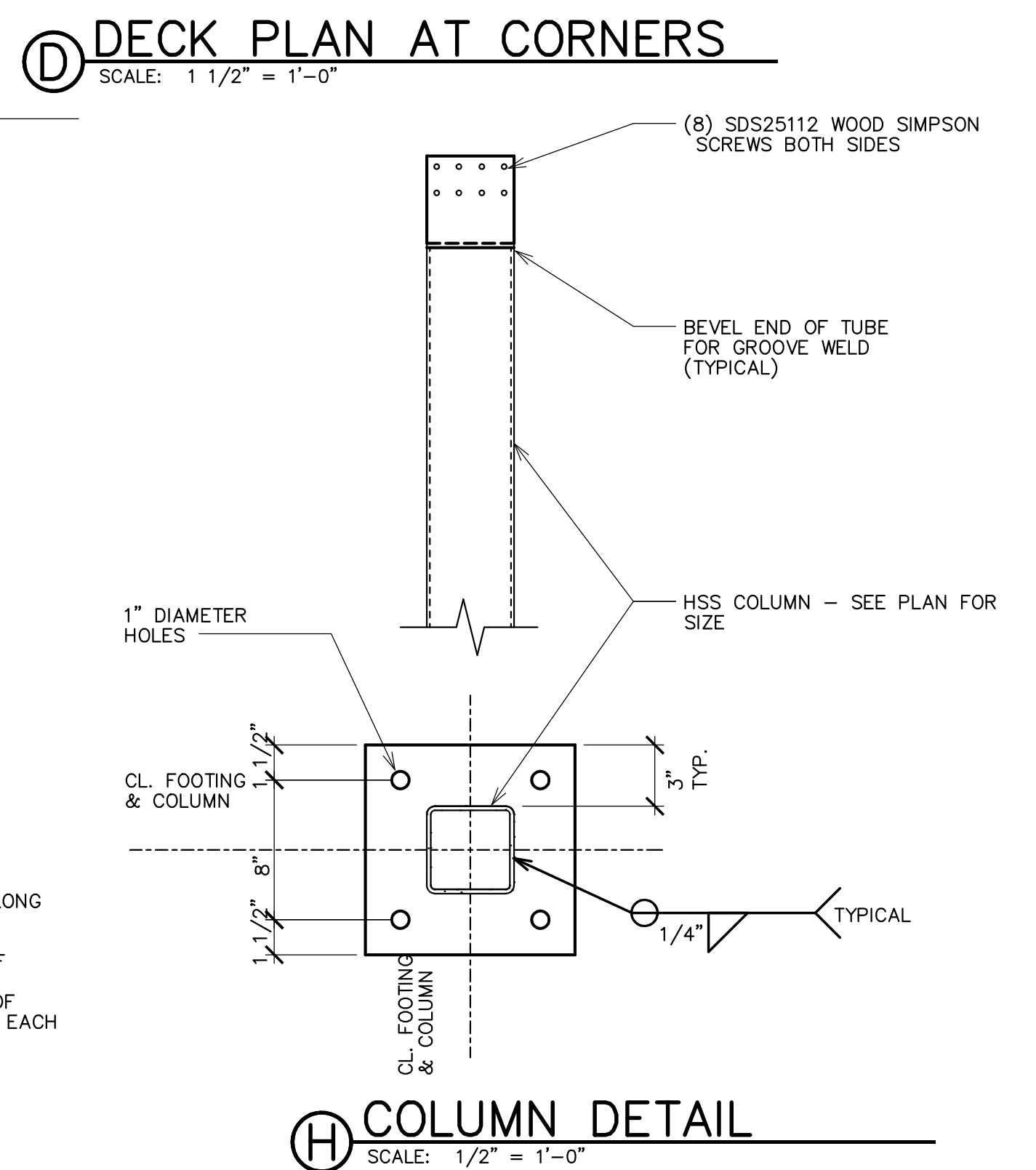
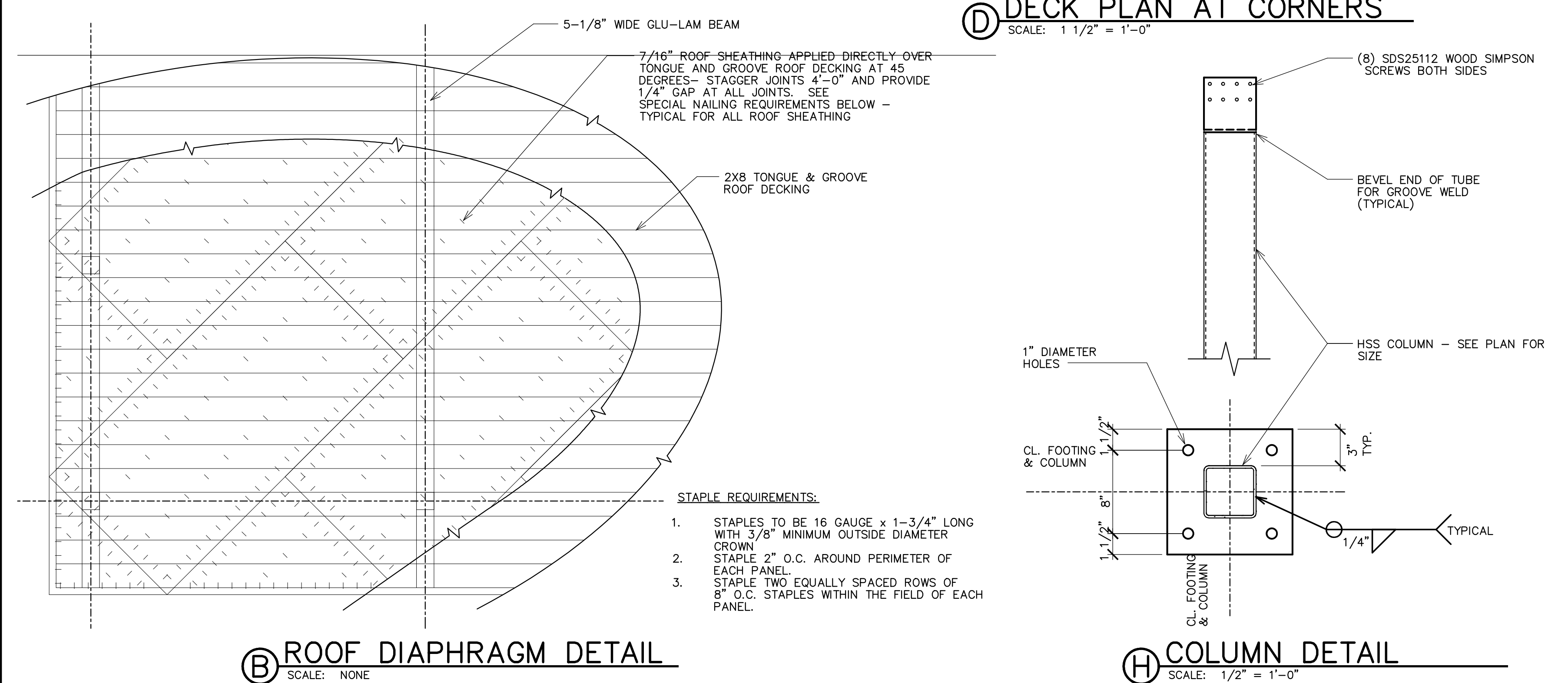
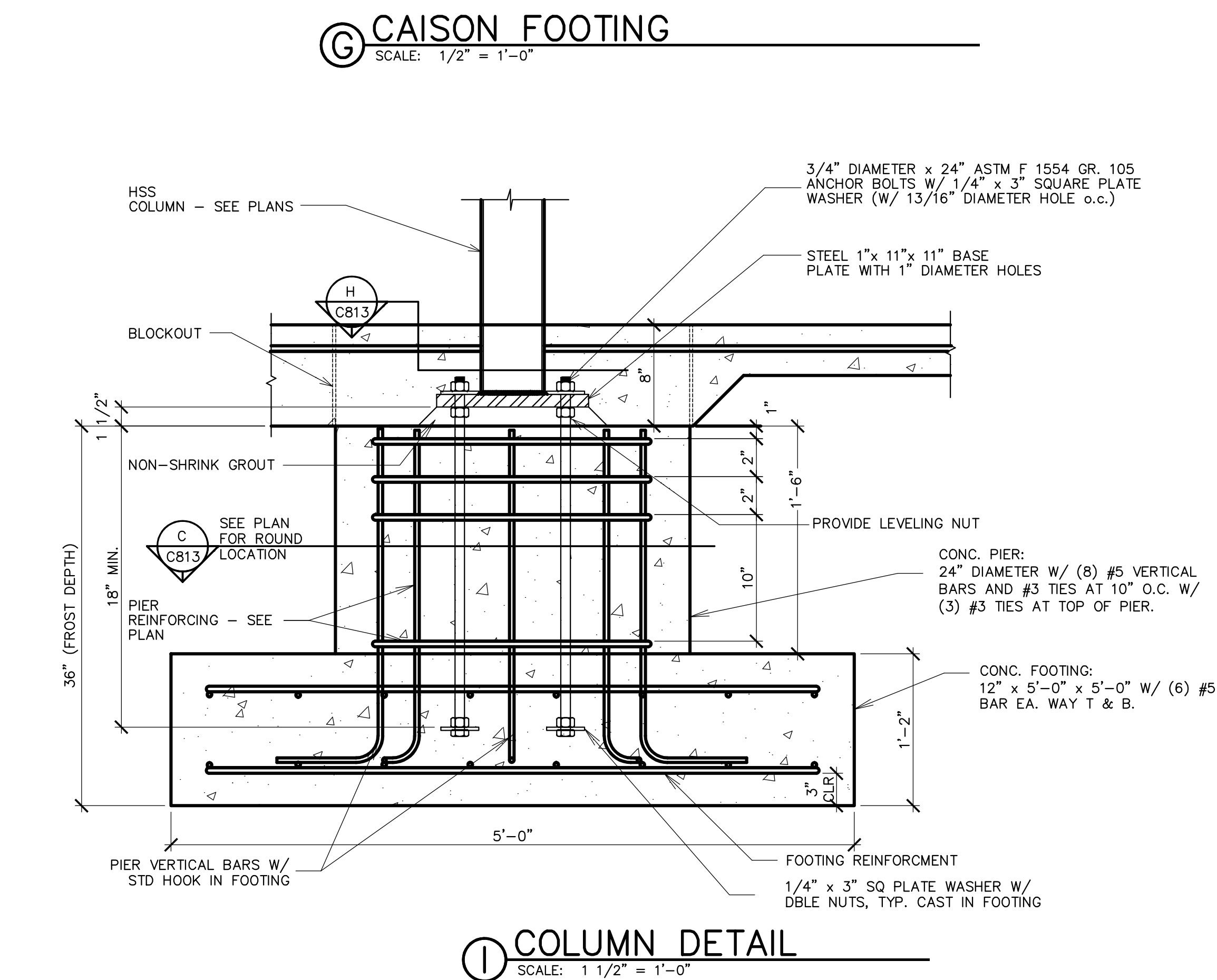
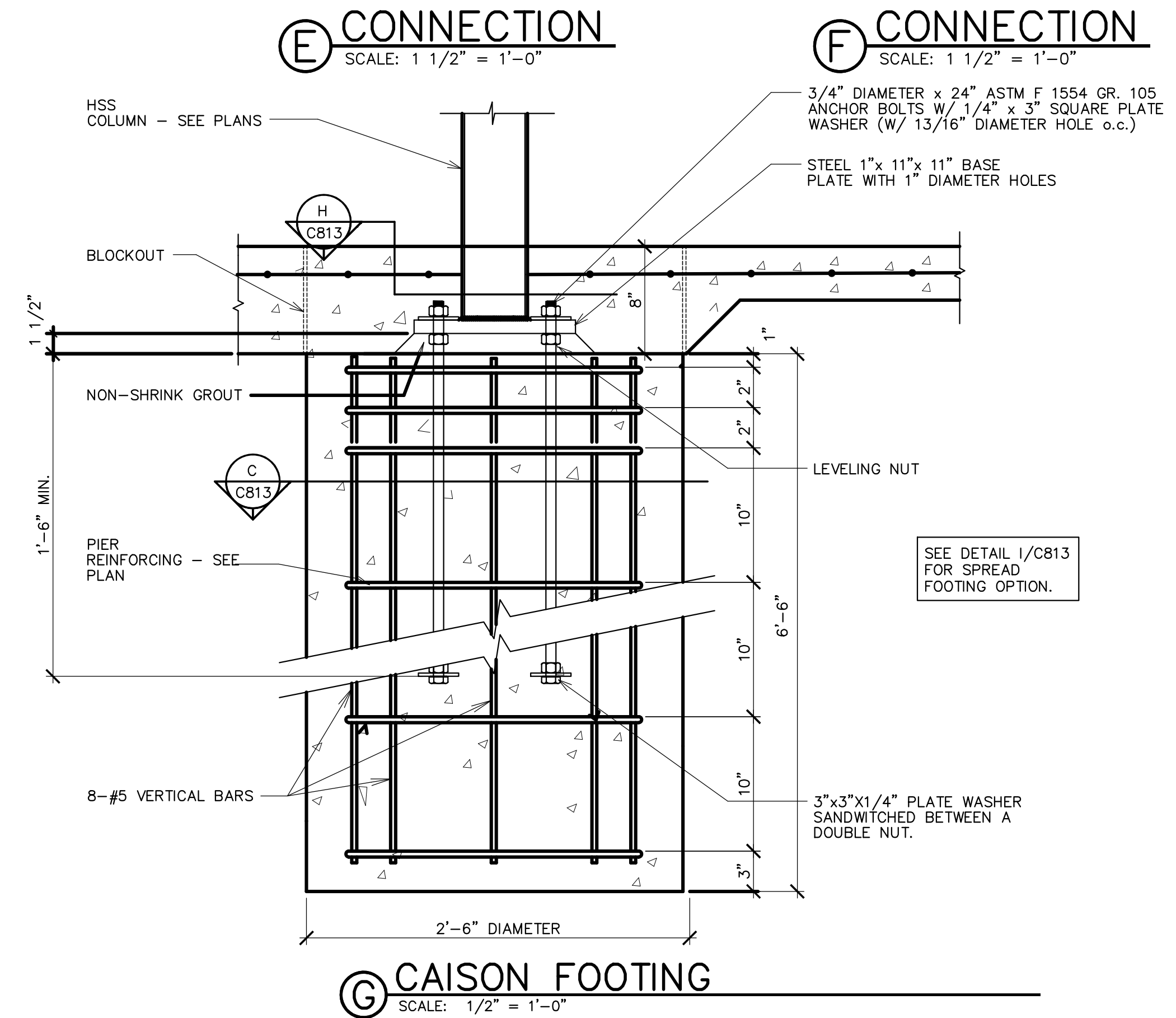
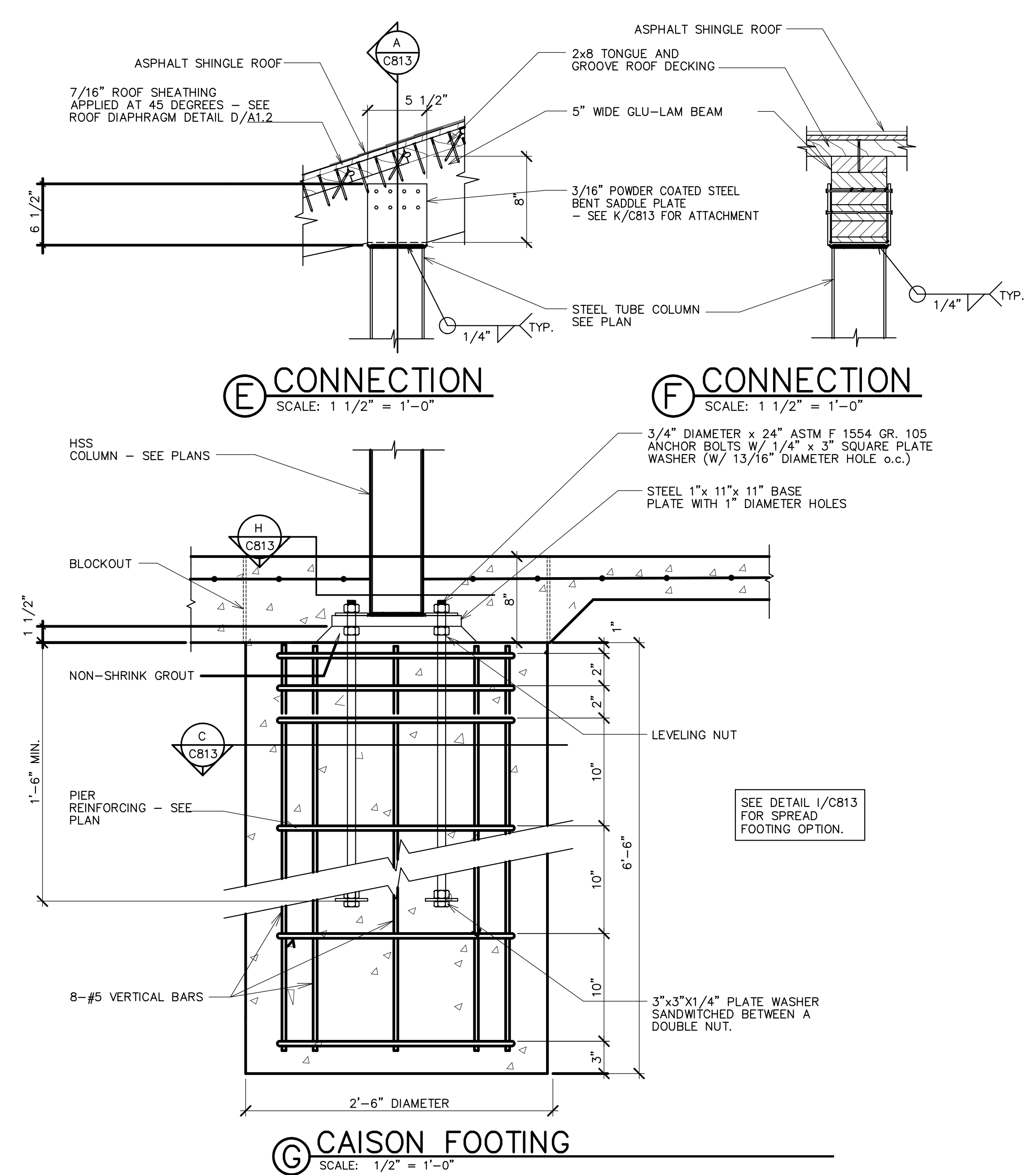
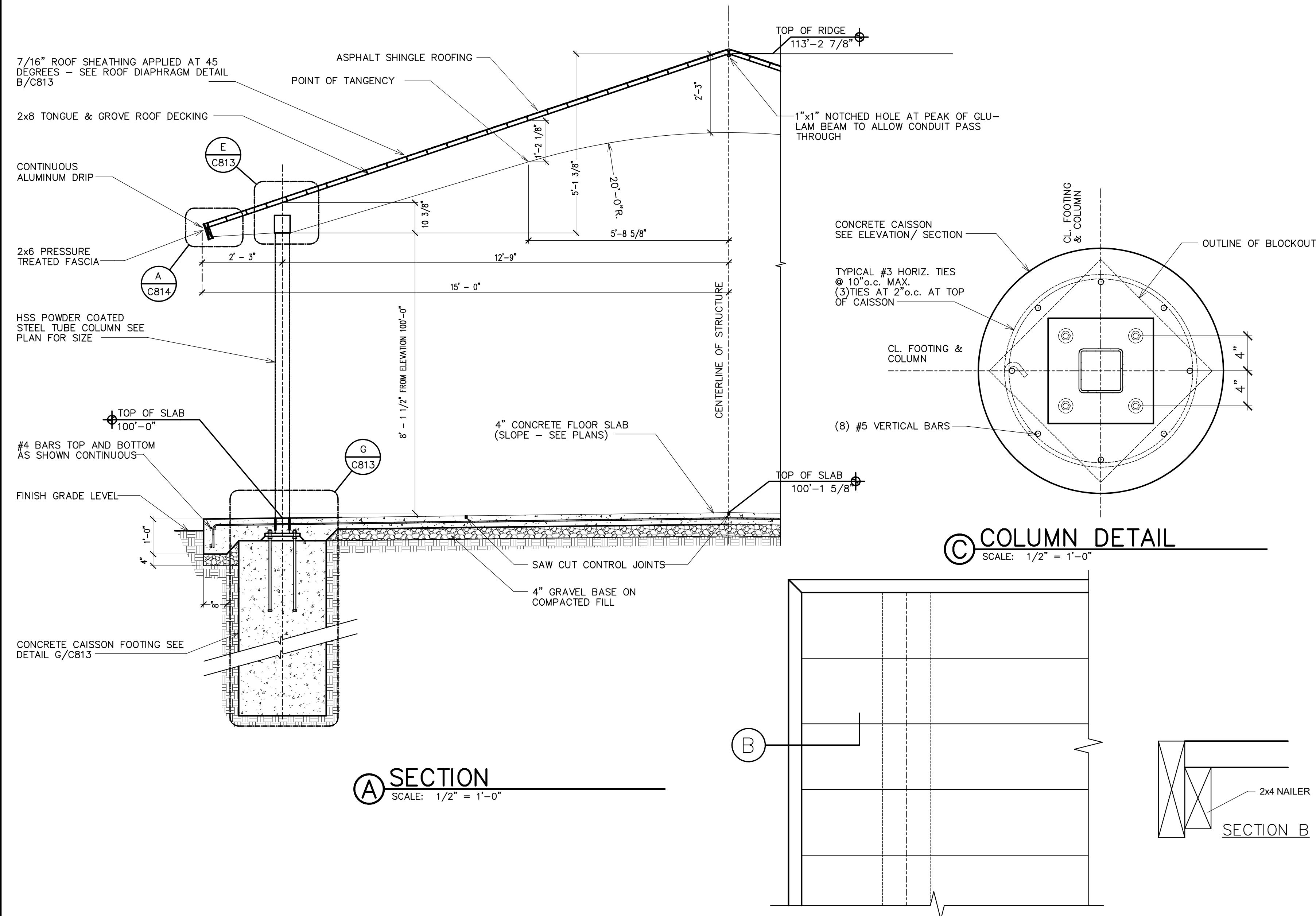
Mark	Date (mm)	Description

Project Number:
Plan Series:
Property Number:

Sheet Title:
PLAN VIEWS

Sheet:

C812



Supplier:

SMITH
STEELWORKS

IMP: FR

**30'x60' Glulam Pavilion
Kit 1 Option A**

1120 Rocky Mountain Way
Elkridge, Utah

Project 101.

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Project Number:

an Series:

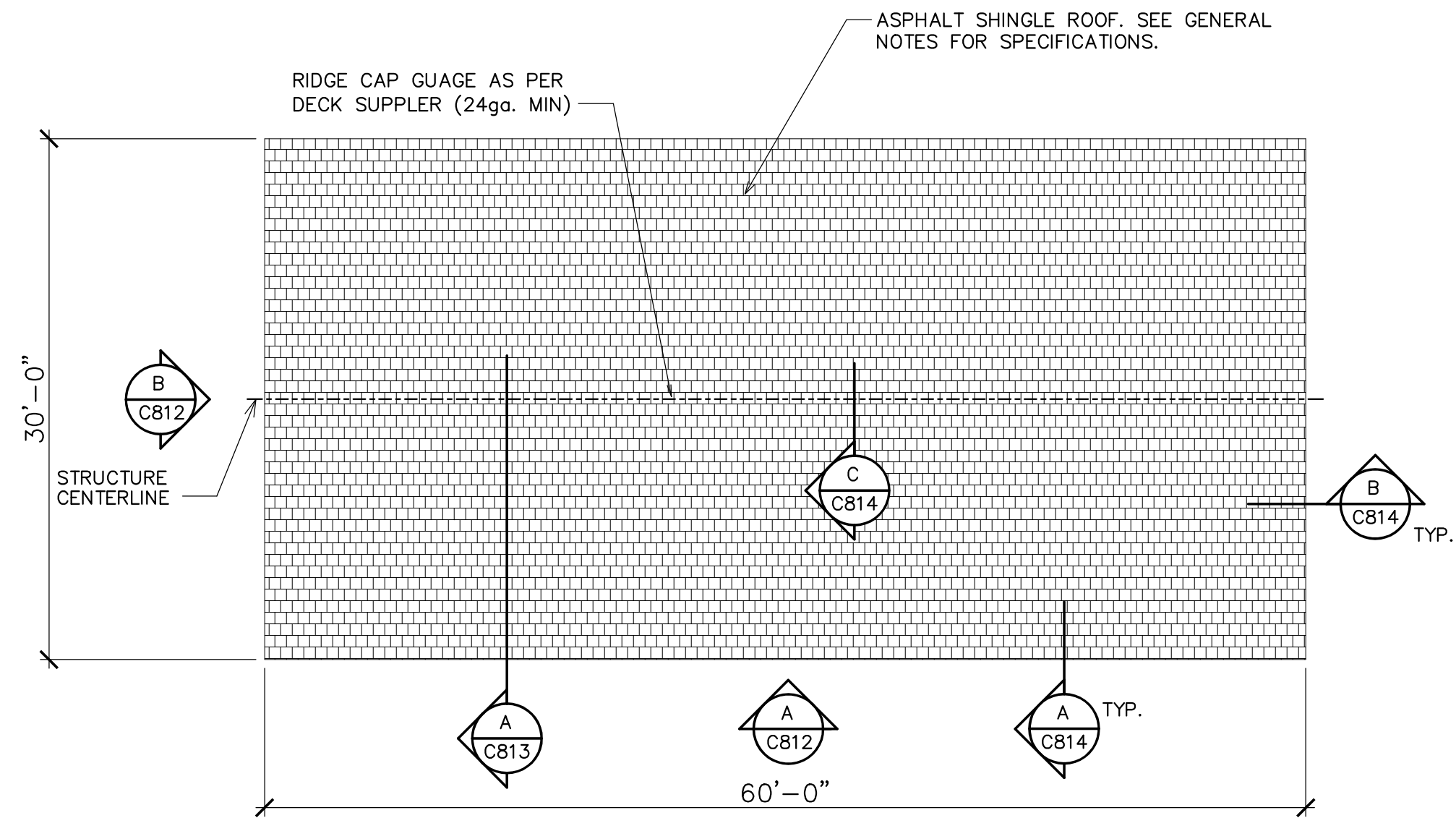
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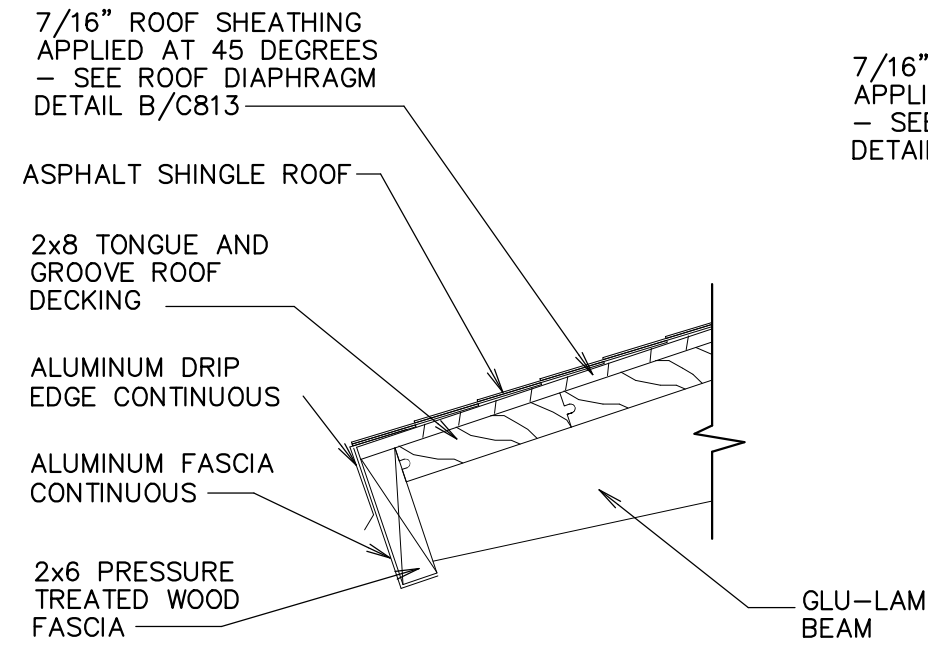
SECTION AND DETAIL VIEWS

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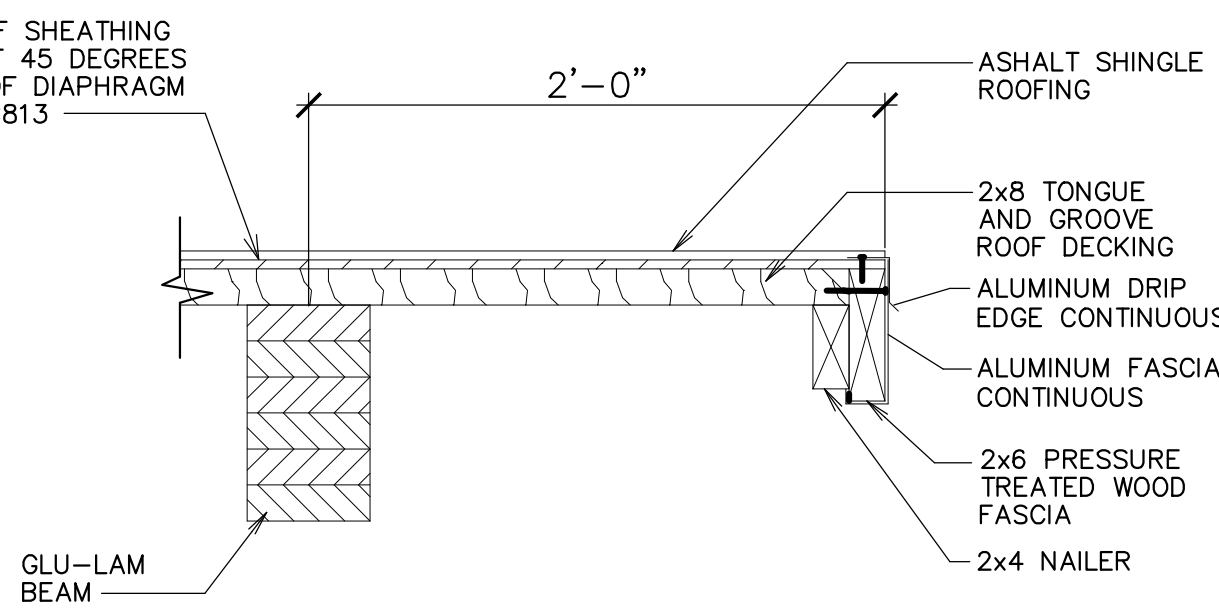
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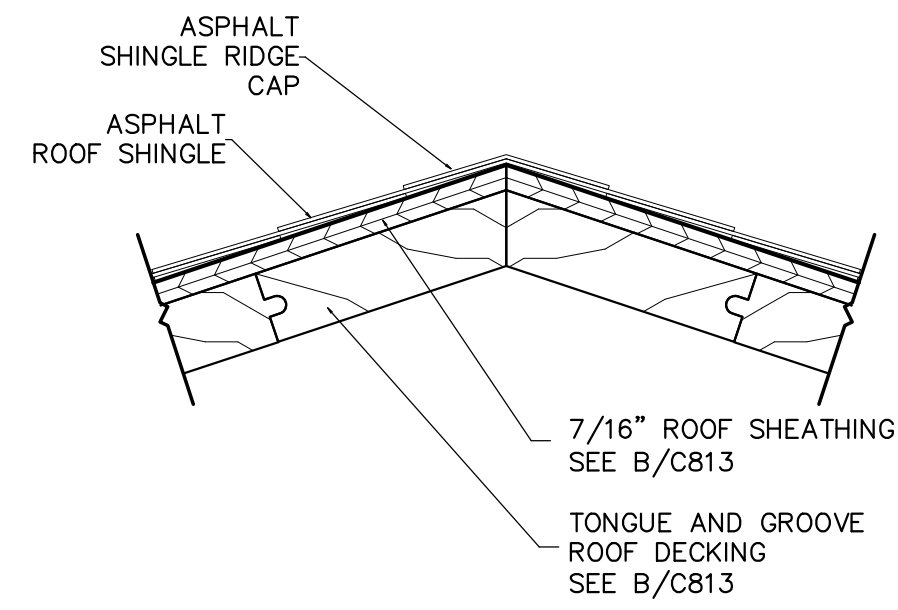
① ROOF PLAN
SCALE: 1/8" = 1'-0"



Ⓐ FASCIA DETAIL
SCALE: 1 1/2" = 1'-0"



Ⓑ RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



Ⓒ RIDGE CAP DETAIL
SCALE: 3" = 1'-0"

Supplier:

SMITH

STEELWORKS

State of Utah Professional Engineer

DOUGLAS M. FARLEY

No.318831

08/18/2023

30'x60' Glulam Pavilion
Kit 1 Option A

1120 Rocky Mountain Way
Elkridge, Utah

Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Mark	Date (yy/mm)	Description

Project Number:

Plan Series:

Property Number:

Sheet Title:

ROOF VIEWS
AND DETAILS

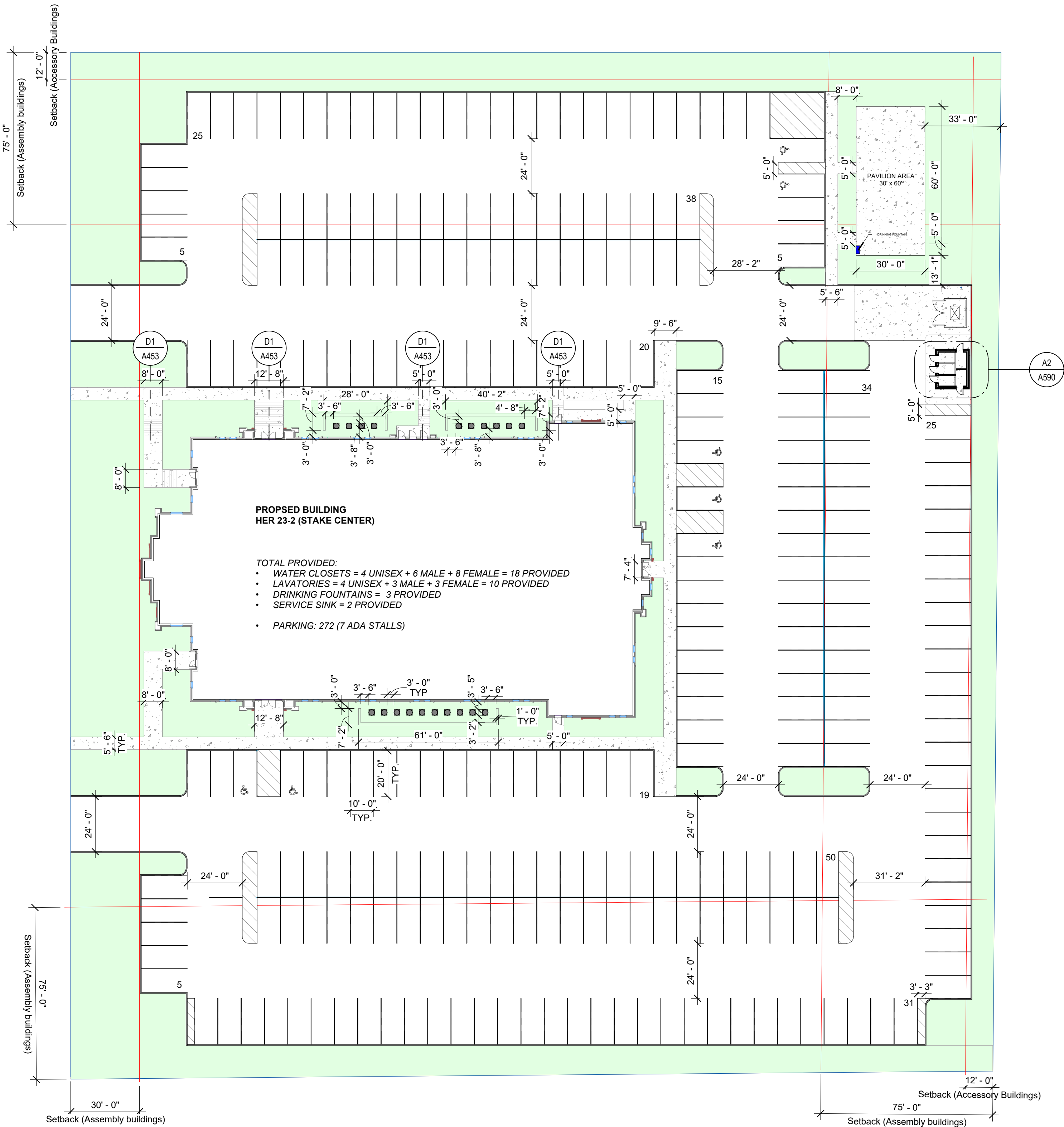
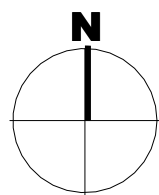
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A1 PLAN - SITE - OVERALL

1" = 30'-0"



ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UT 84651

JOB NUMBER:	501-2698
OWNER:	
DATE:	03.21.2024
<hr/>	
REV	DATE
DESCRIPTION	

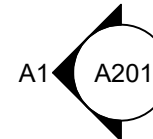
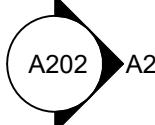
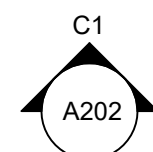
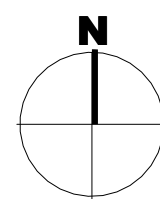
ARCHITECTURAL
SITE PLAN

A100

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A1 PLAN - LEVEL 01

1/8" = 1'-0"



ANNOTATED
PLAN - LEVEL 01

A110.1

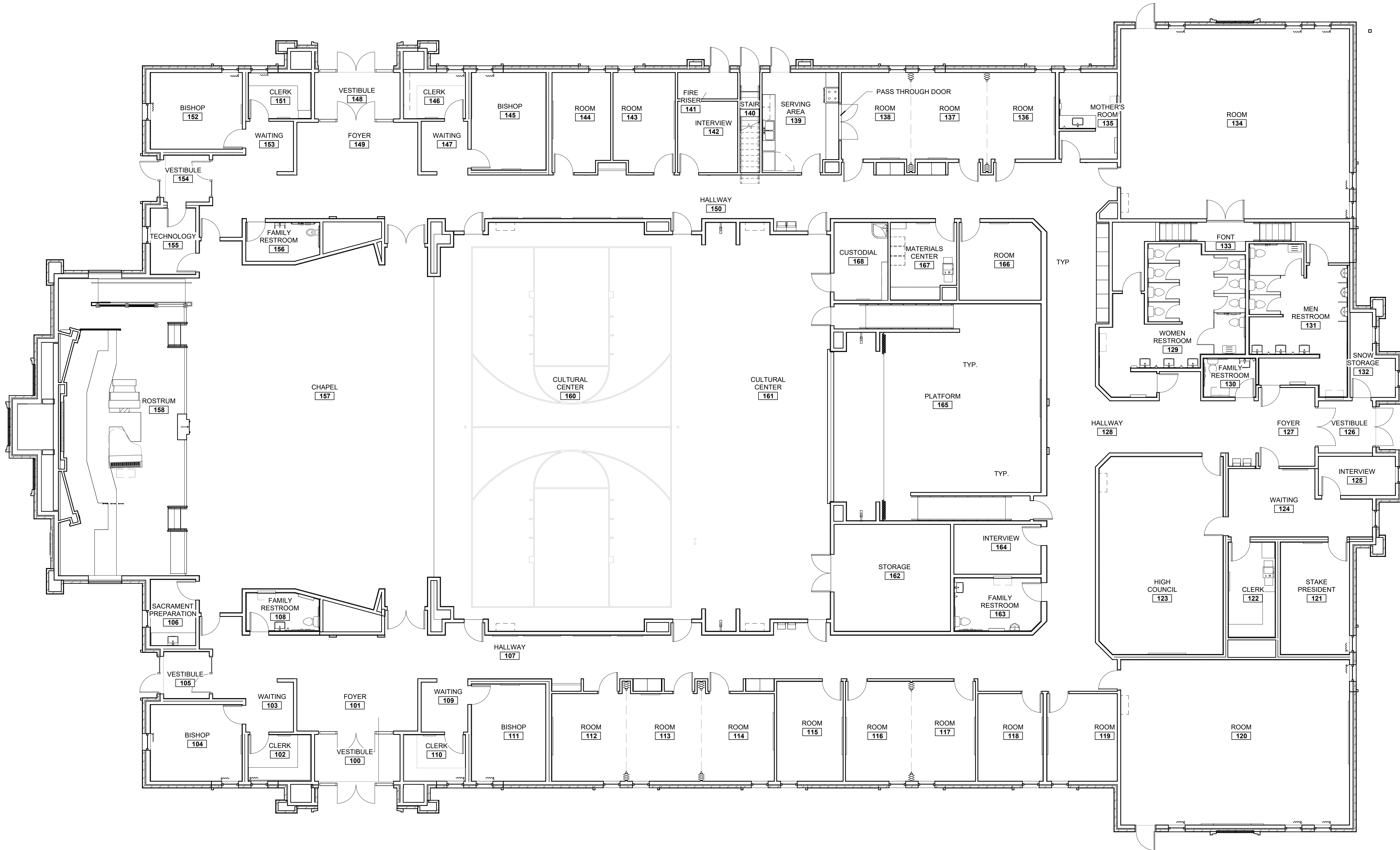
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OWNER: Church of Jesus Christ of Latter Day Saints
DATE: 02.09.2024
REV DATE DESCRIPTION

ELK RIDGE UT HERITAGE 23-2
1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UTAH COUNTY, UTAH 84651

OWNER / DEVELOPER: Church of Jesus Christ of Latter Day Saints
CONTACT INFO:
James d@nku
(801) 240-5174
jdd@nku@churchofjesuschrist.org
50E North Temple St Salt Lake City UT 84190



684 W Center St
Mojave UT 84047
uncommonarch.com
(801) 417-9951

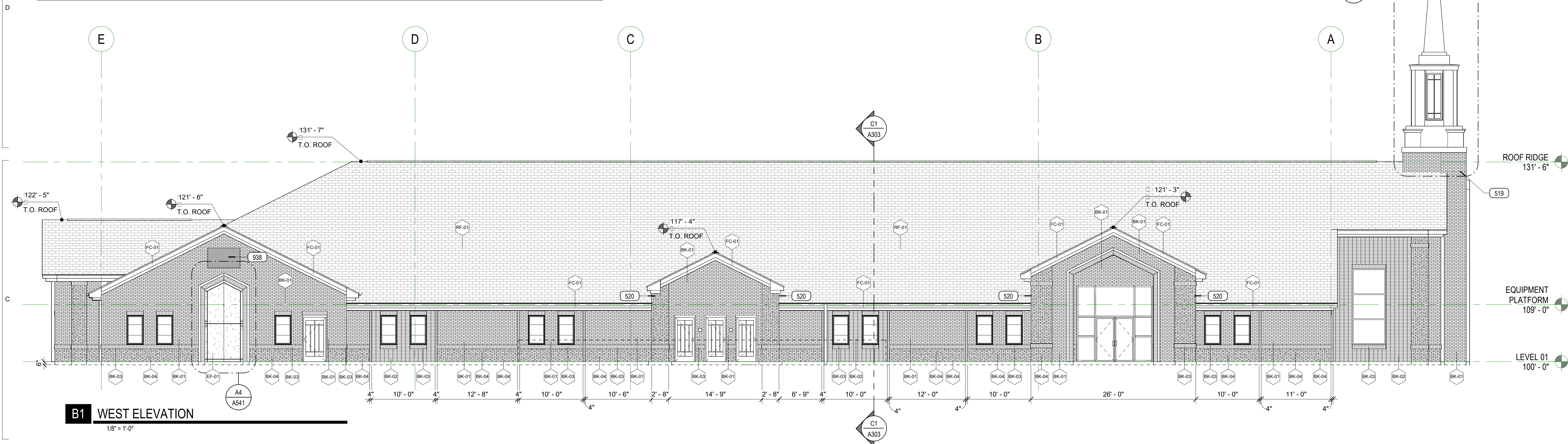


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EXTERIOR MATERIALS LEGEND	
FINISH TYPE	DESCRIPTION
BK-01	BRICK, RUNNING BOND. TEXTURE: MATTE, COLOR: MT. RED
BK-02	BRICK, STACK BOND. TEXTURE: ROUGH, COLOR: MT. RED
BK-03	BRICK, SOLDIER COURSE TEXTURE: ROUGH, COLOR: MT. RED
BK-04	BRICK, RUNNING BOND. TEXTURE: SCRATCH, COLOR: MT. RED
RF-01	ASPHALT SHINGLE ROOF
EF-01	DRYVIT EIFS ACCENT AND TRIM - COLOR: TBD: PROVIDE SAMPLES
FC-01	METAL FASCIA

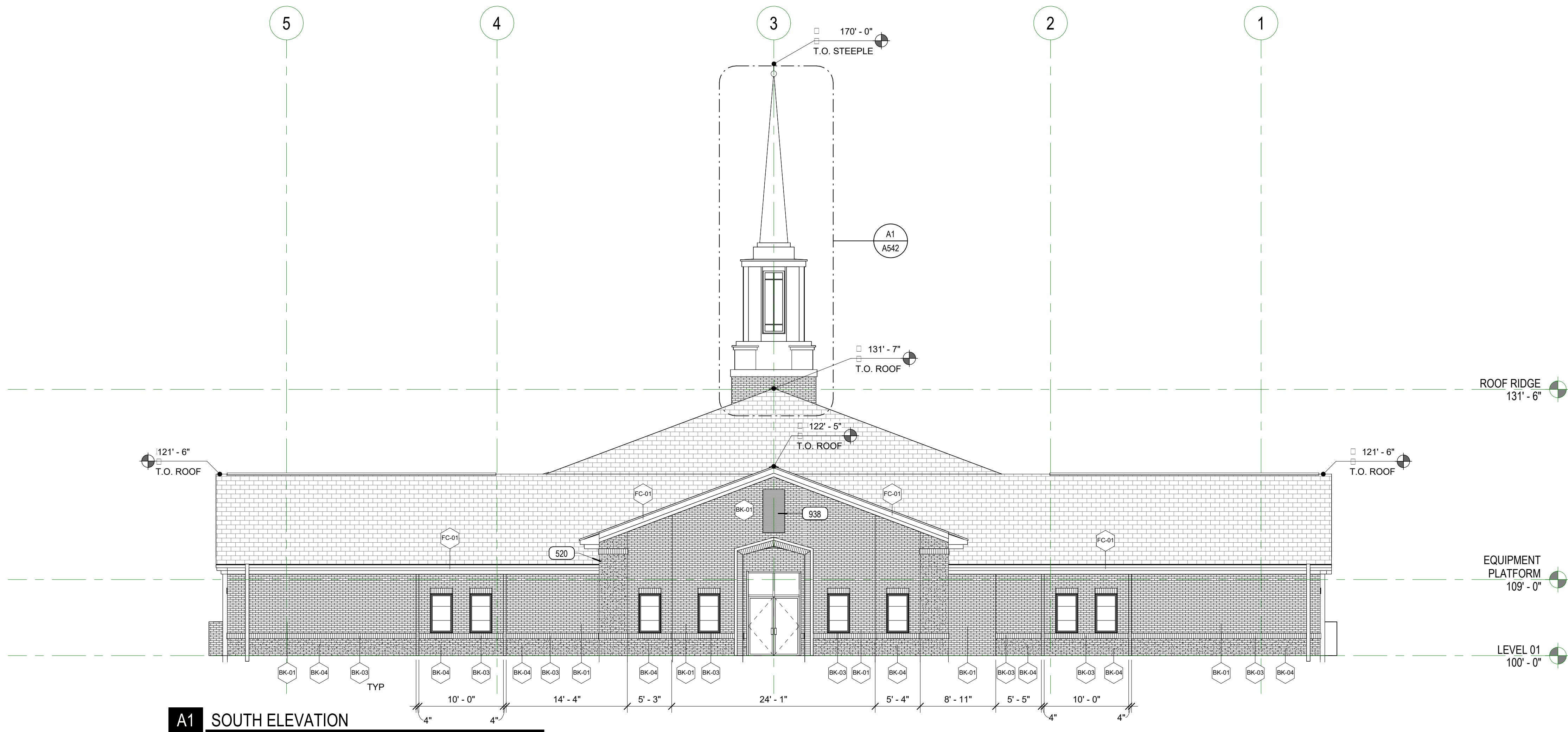
KEYED NOTE

- 519 INSTALL STEEL ANGLE LINTEL AT 30'-0" MAX. HT. ABOVE THE FOUNDATION. INSTALL LINTEL AT A GROUT LINE SO THAT IT IS CONCEALED BY THE GROUT.
- 520 INSTALL STEEL ANGLE LINTEL TO SUPPORT BRICK AT WALL RETURNS LOCATED ABOVE ROOF LINE, TYP.
- 938 MECHANICAL LOUVER, COLOR TO MATCH BRICK. SUBMIT COLOR SAMPLES.



B1 WEST ELEVATION

1/8" = 1'-0"



A1 SOUTH ELEVATION

1/8" = 1'-0"



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684 W Center St
Mojave, UT 84047

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ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UT 84651

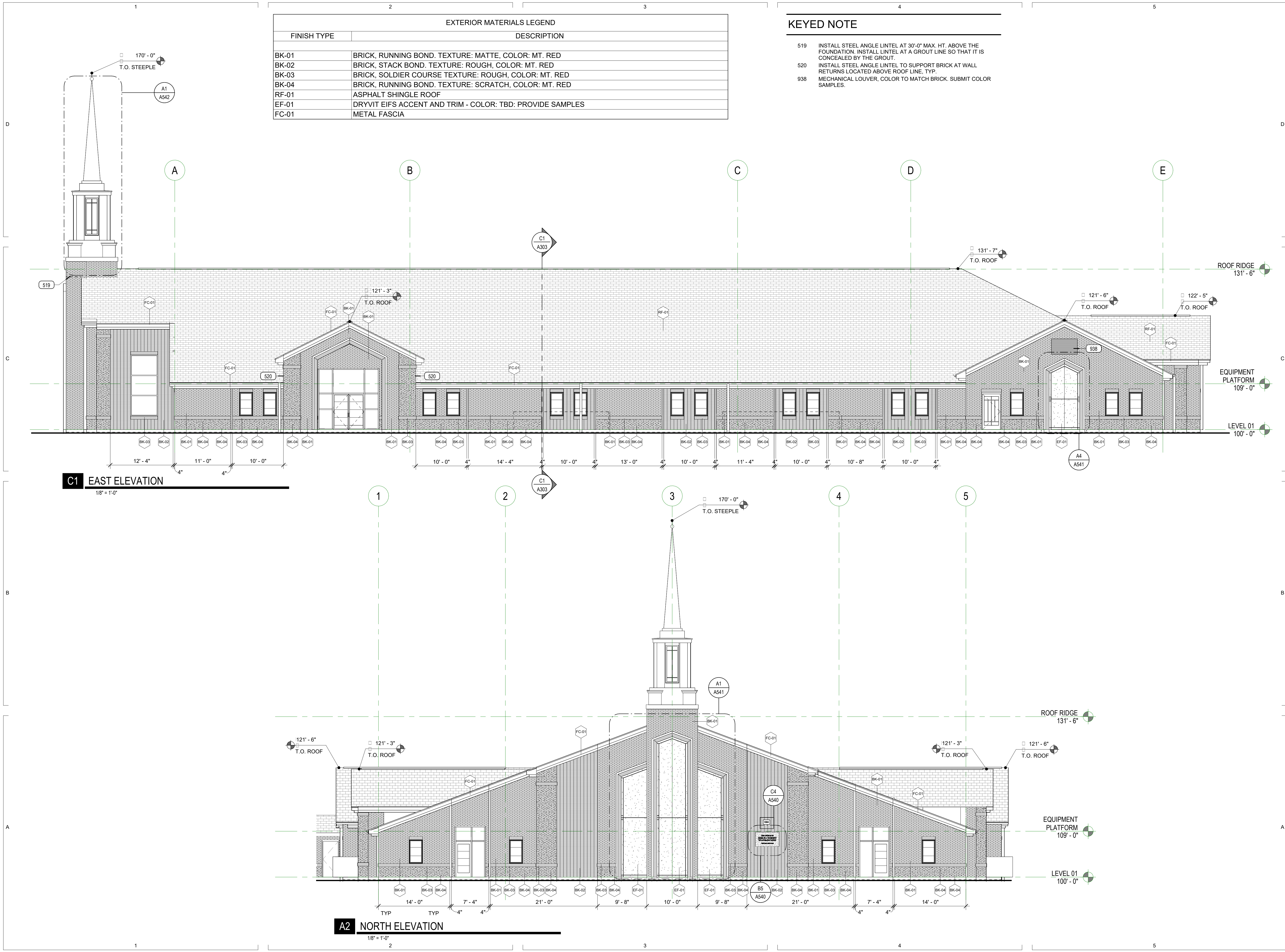
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OWNER: -
DATE: 03.21.2024

REV DATE DESCRIPTION

EXTERIOR
ELEVATION

A201

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STATE OF UTAH - LICENSED ARCHITECT
DARIN M. MANO
9502000-0301
ELK RIDGE
2/13/2024

ELK RIDGE UT HERITAGE 23-2

1120 ROCKY MOUNTAIN WAY
ELK RIDGE, UT 84651

JOB NUMBER: 501-2698

OWNER: -

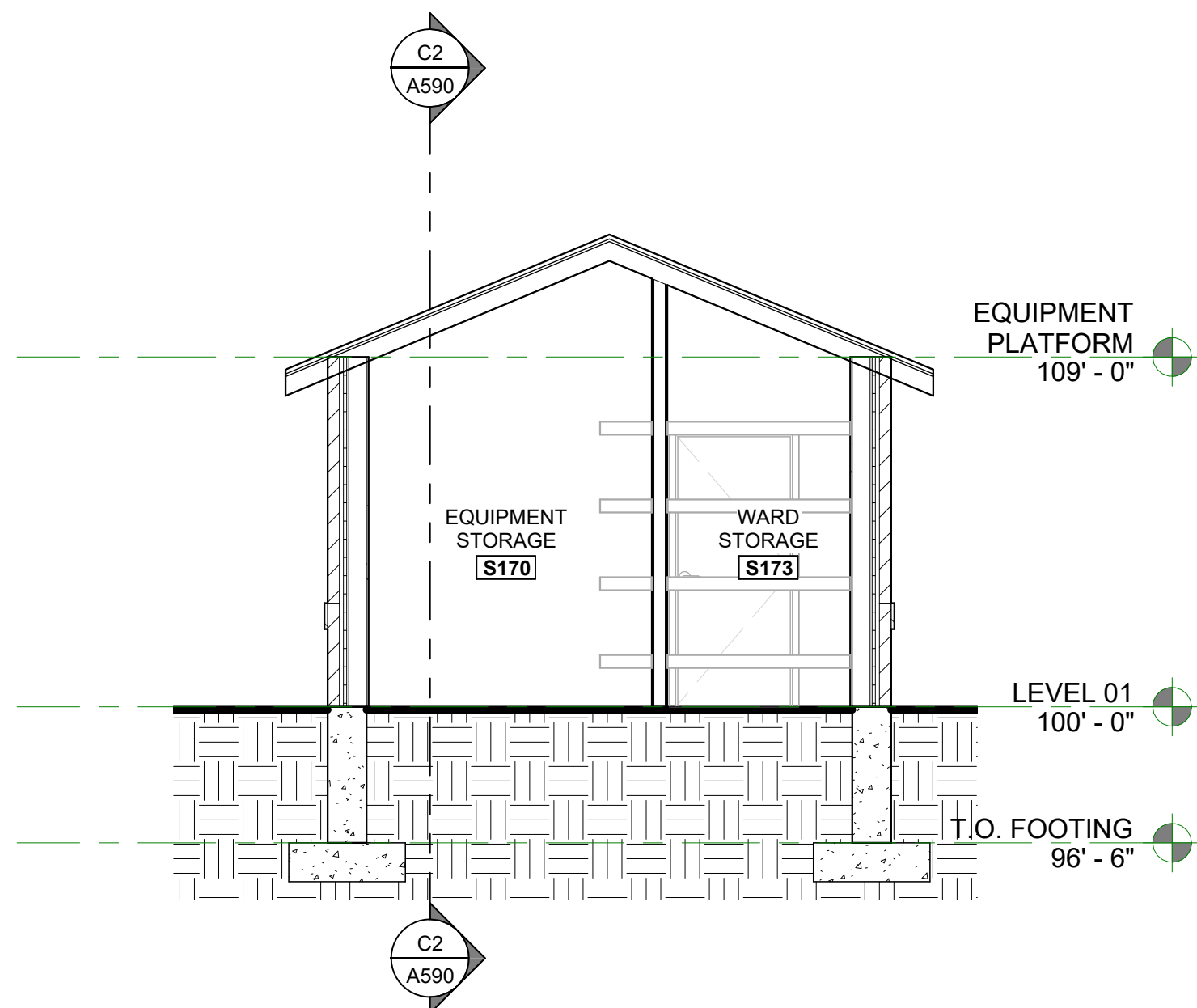
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4		

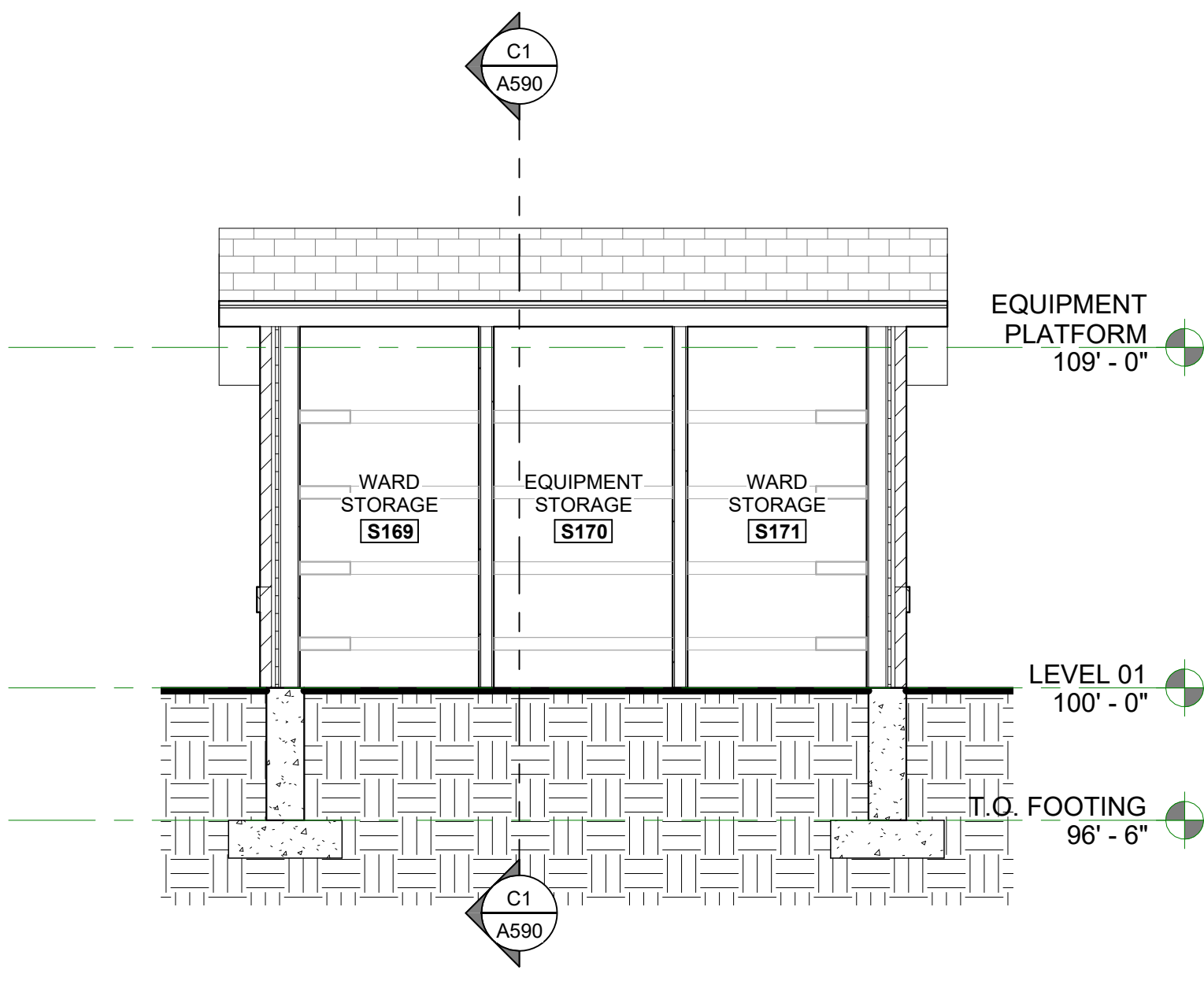
EXTERIOR
ELEVATION

A202

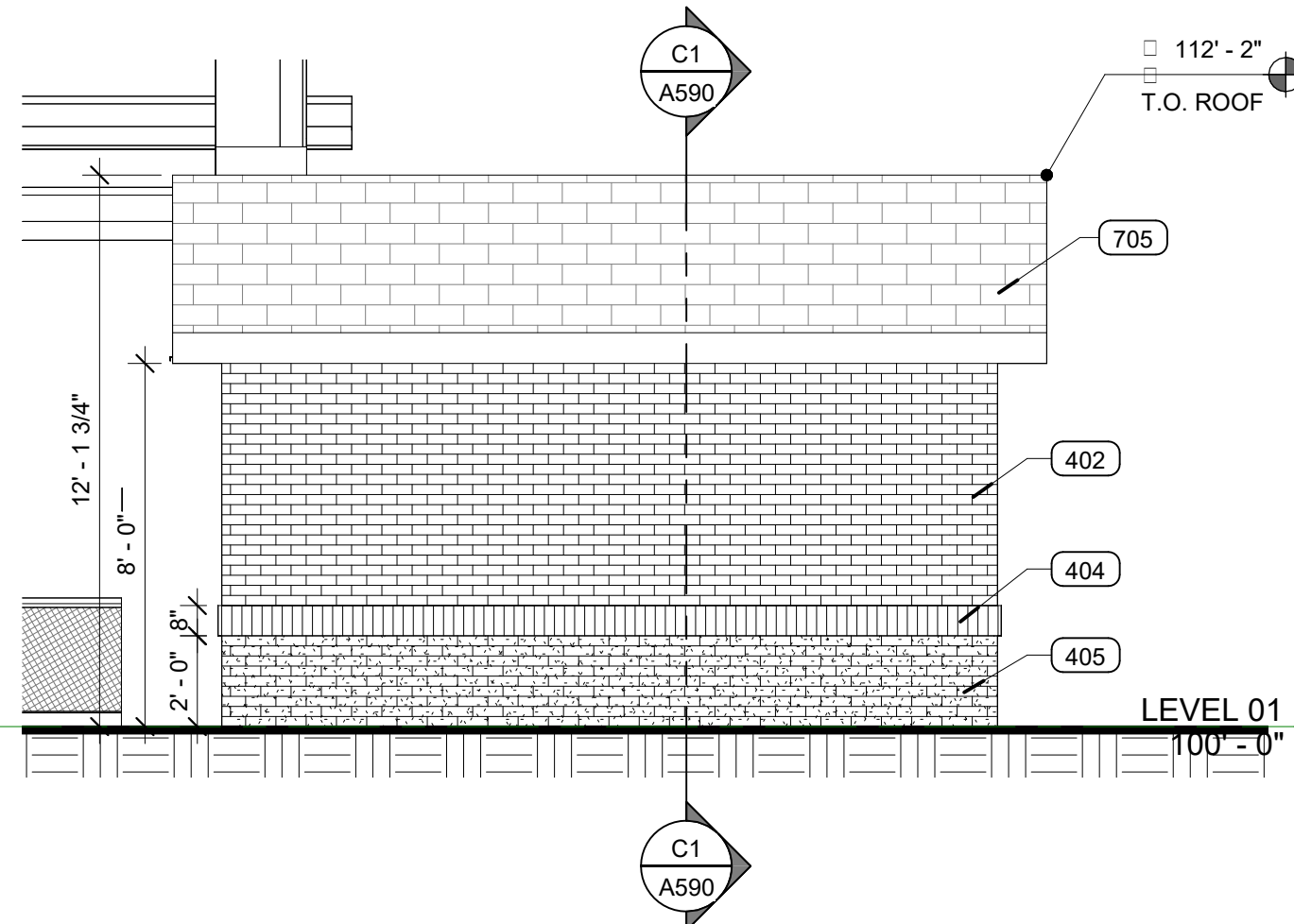
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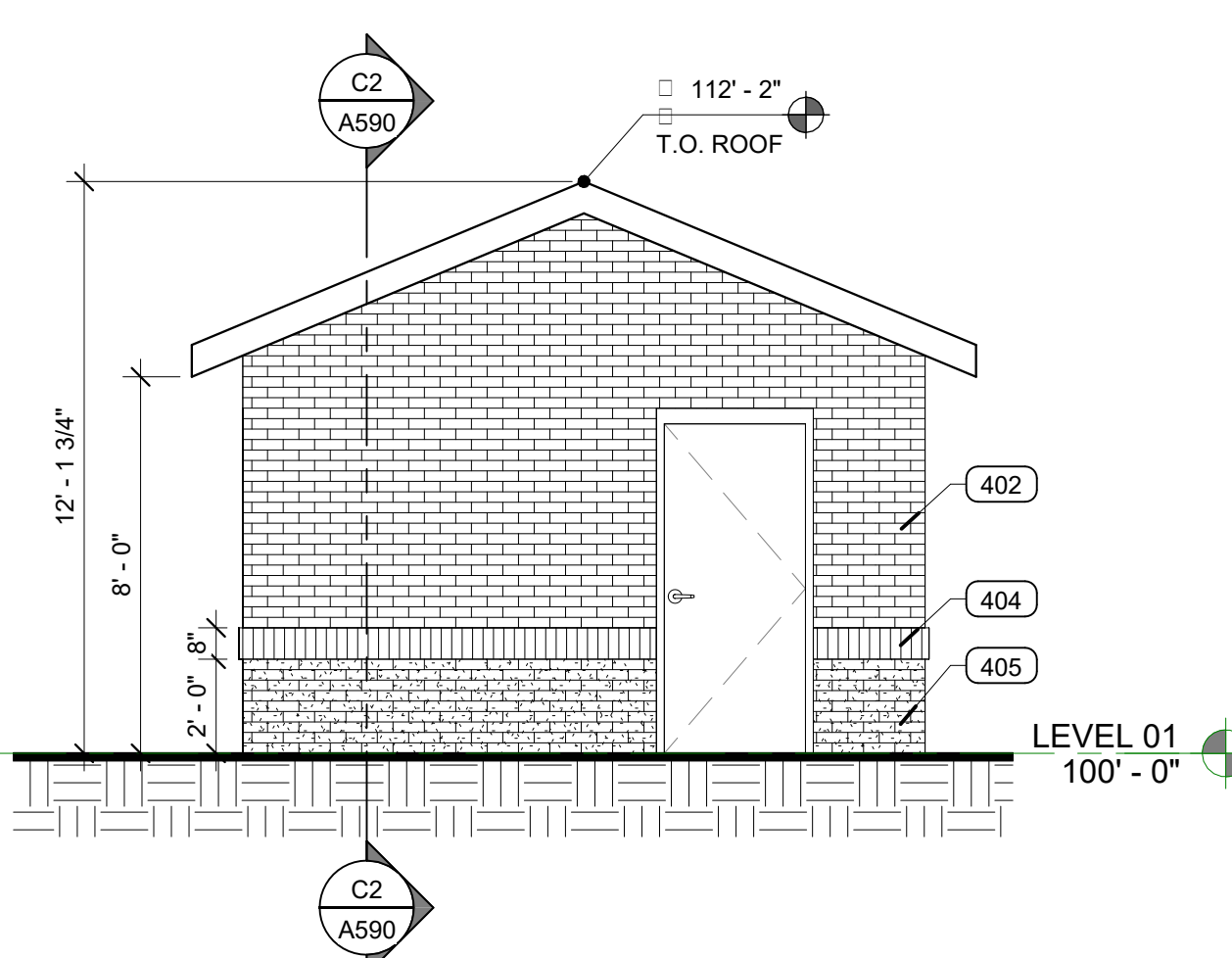
C1 STORAGE BUILDING SECTION # 1
1/4" = 1'-0"



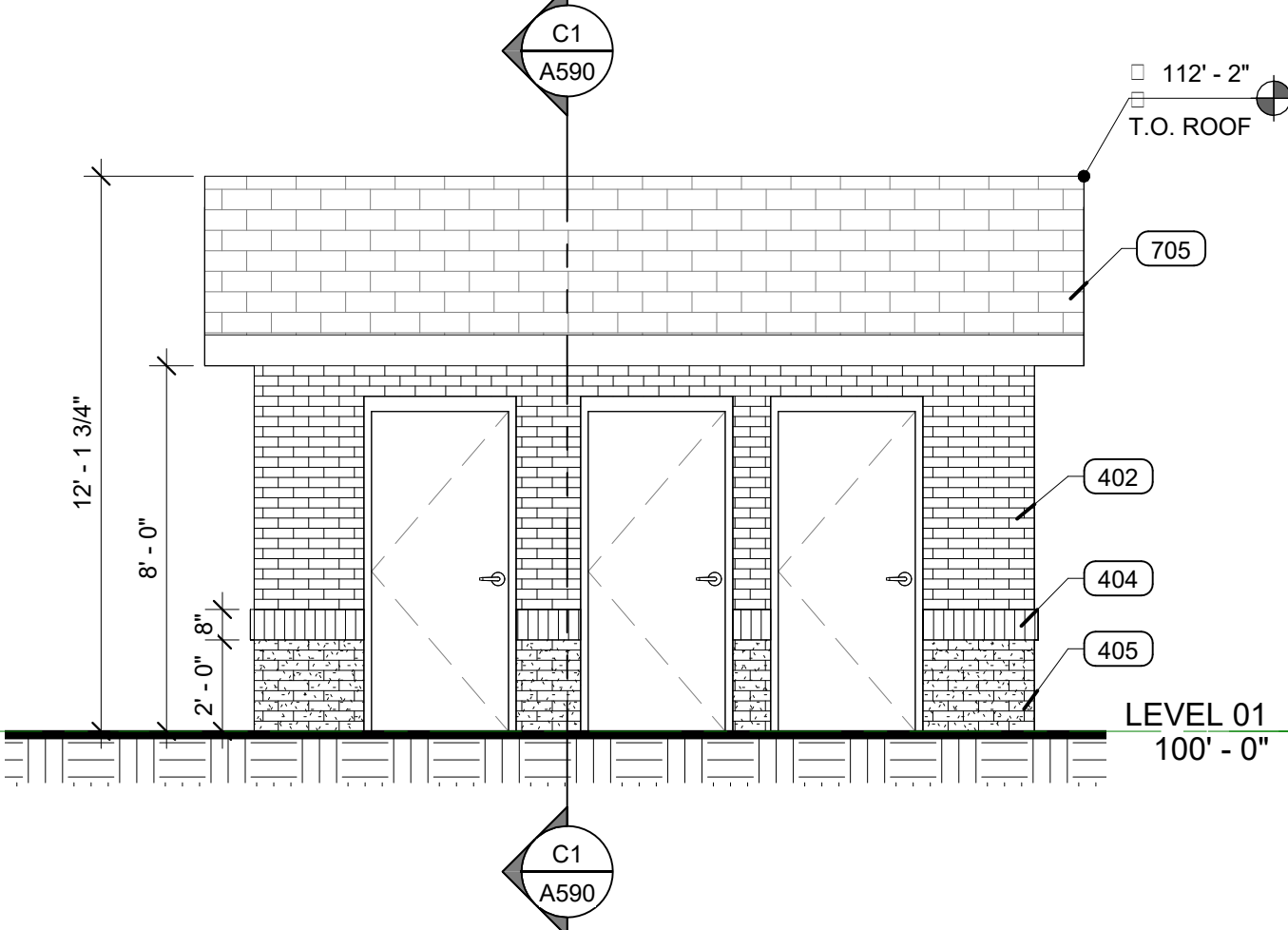
C2 STORAGE BUILDING SECTION # 2
1/4" = 1'-0"



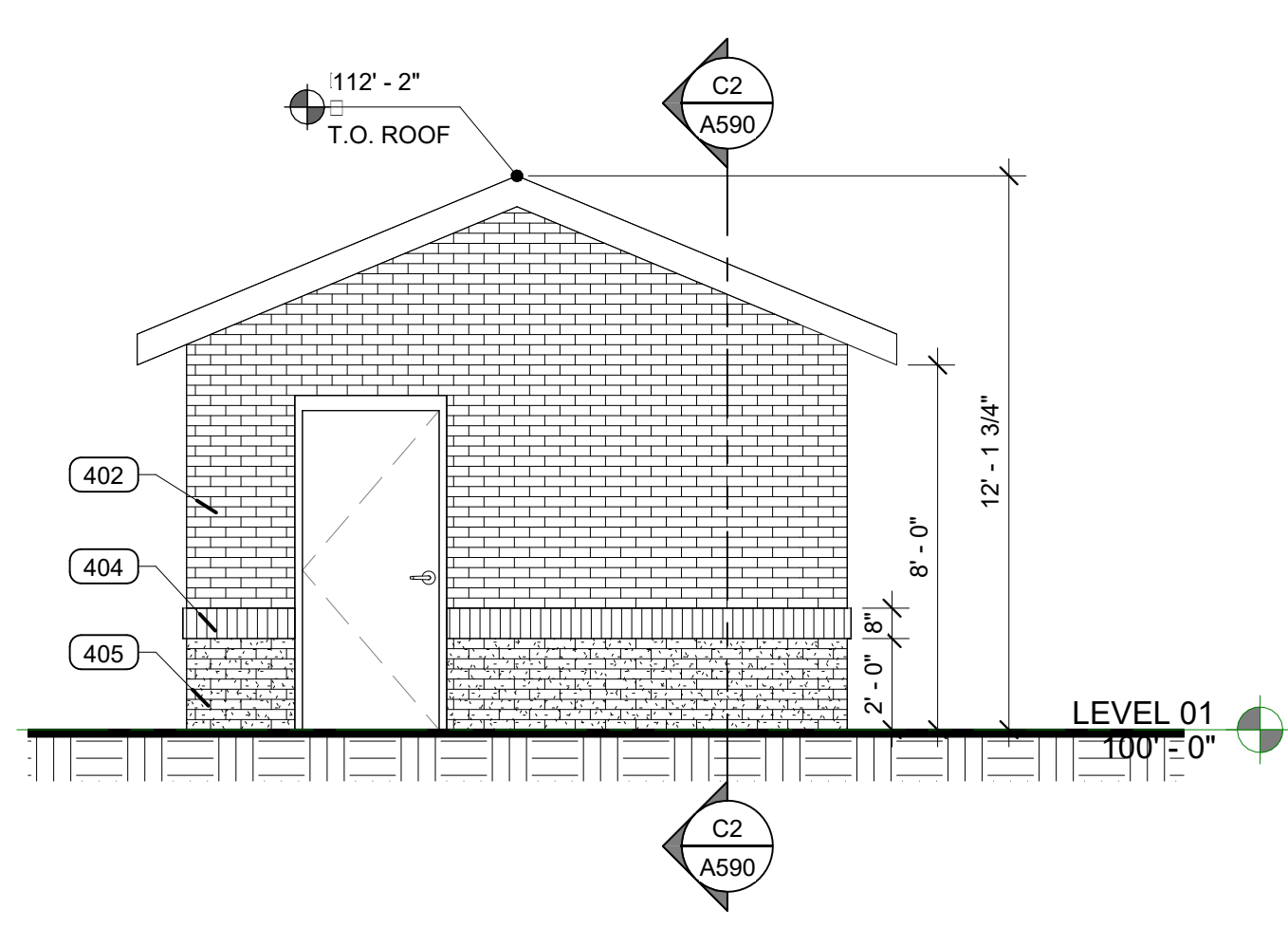
B1 STORAGE BUILDING EAST ELEVATION
1/4" = 1'-0"



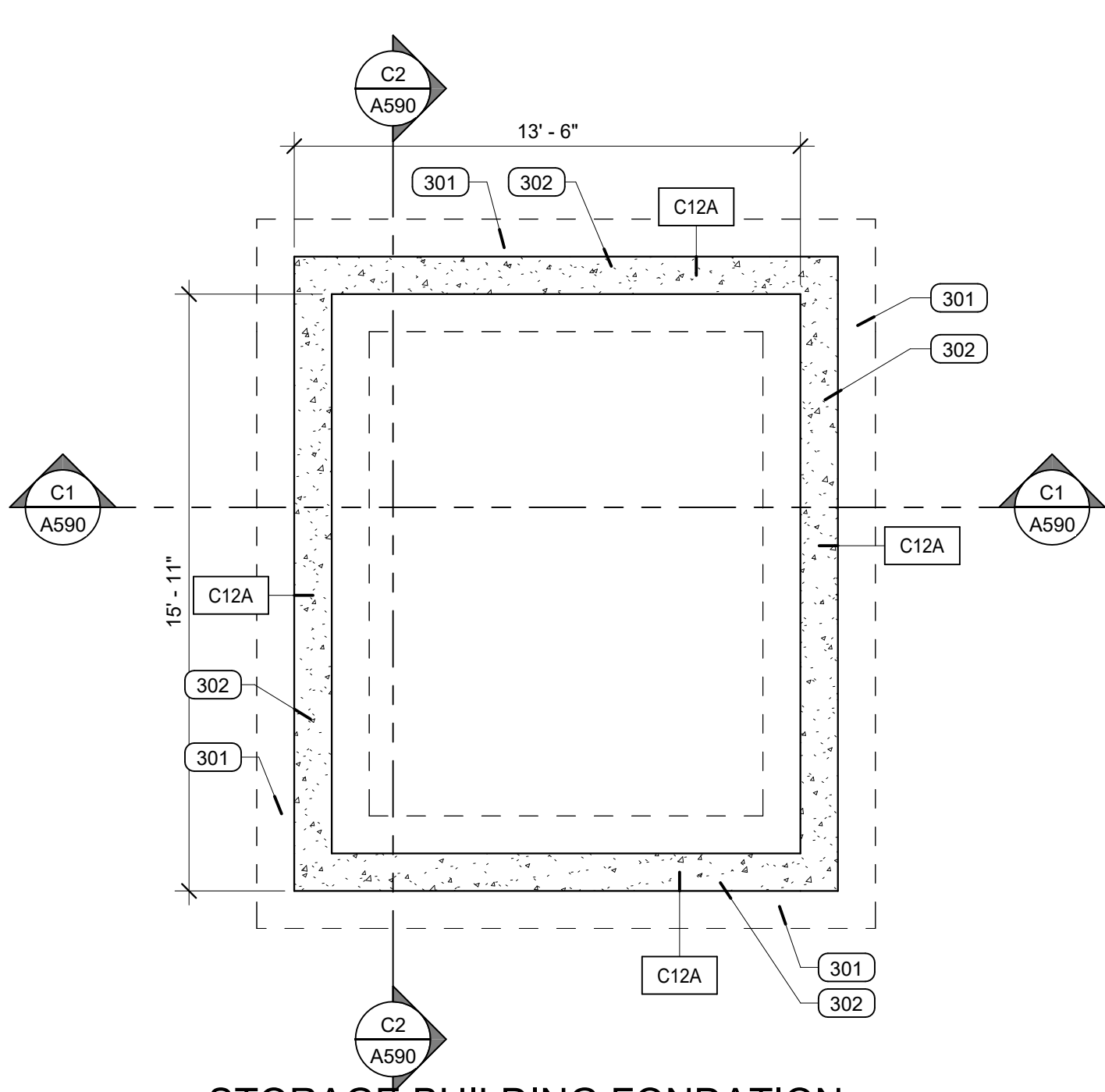
B2 STORAGE BUILDING SOUTH ELEVATION
1/4" = 1'-0"



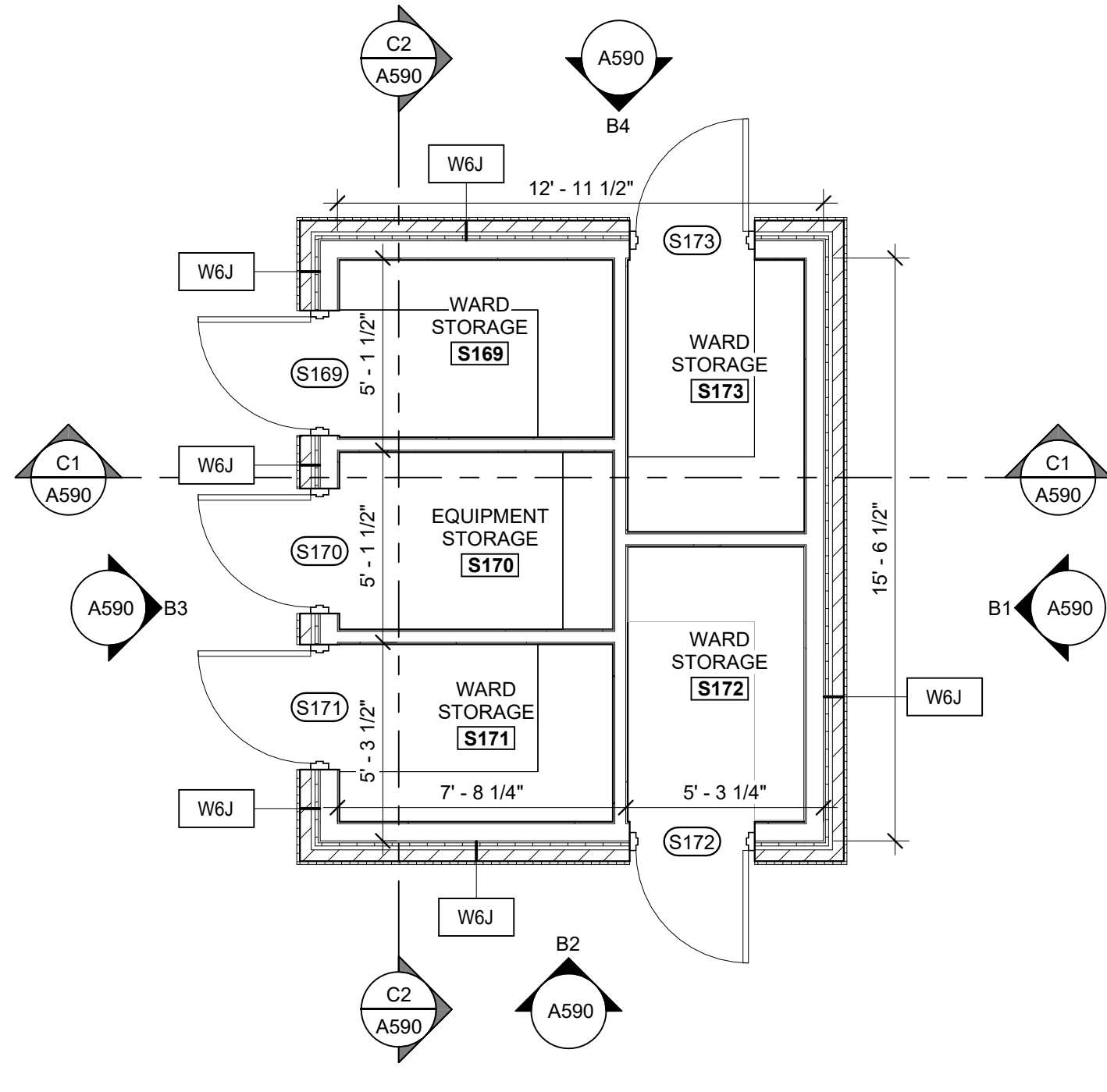
B3 STORAGE BUILDING WEST ELEVATION
1/4" = 1'-0"



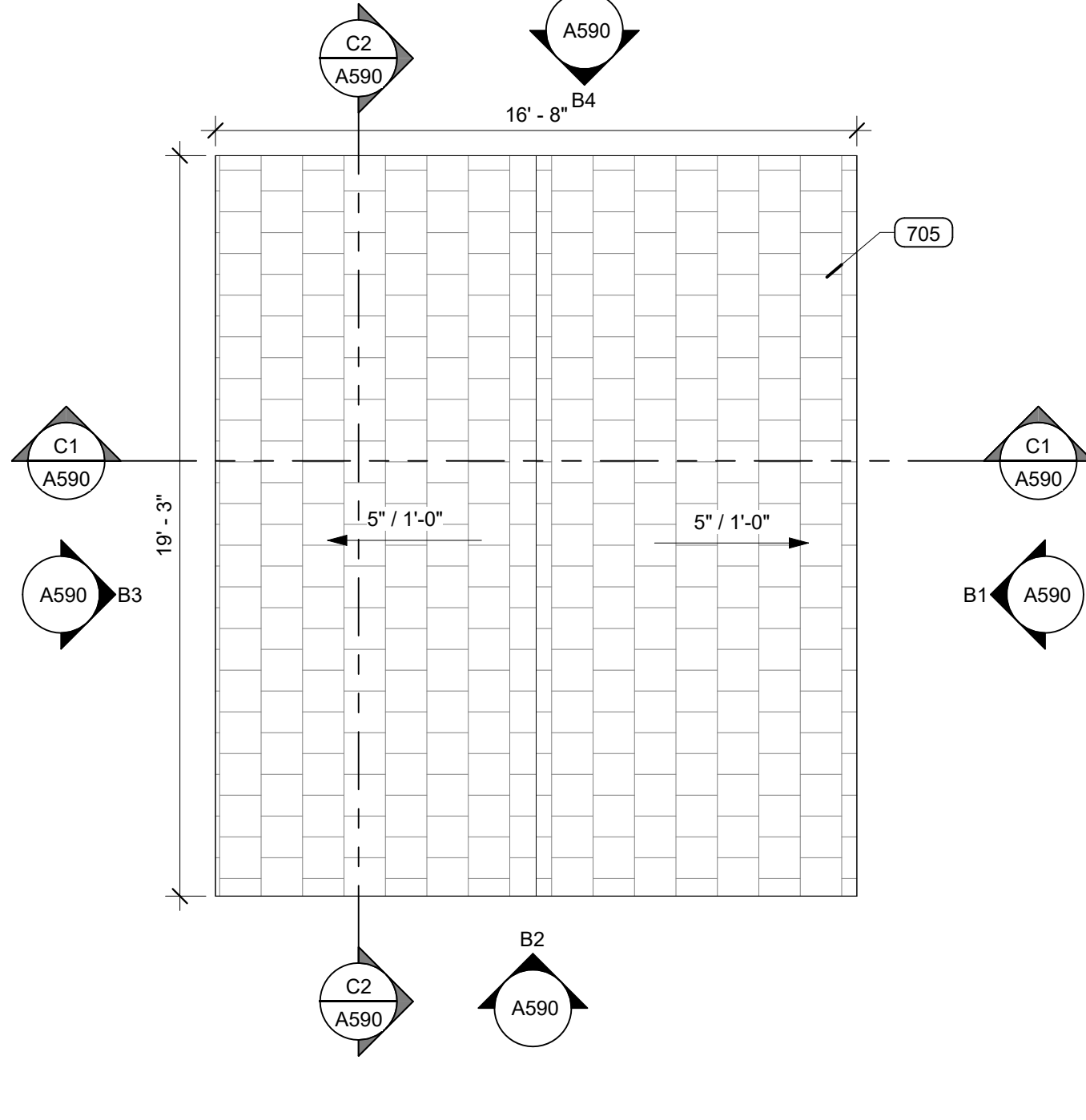
B4 STORAGE BUILDING NOTRH ELEVATION
1/4" = 1'-0"



A1 STORAGE BUILDING FONDATION PLAN
1/4" = 1'-0"



A2 STORAGE BUILDING FLOOR PLAN
1/4" = 1'-0"



A4 STORAGE BUILDING ROOF PLAN
1/4" = 1'-0"

KEYED NOTE

- 301 REINFORCED CONCRETE FOOTING. SEE STRUCTURAL.
302 CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
402 BRICK, RUNNING BOND. SEE EXTERIOR MATERIALS LEGEND.
404 BRICK TRIM. SEE EXTERIOR ELEVATIONS FOR BOND PATTERN. SEE EXTERIOR MATERIALS LEGEND.
405 TEXTURED BRICK, RUNNING BOND. SEE EXTERIOR MATERIALS LEGEND.
705 COMPOSITE ASPHALT SHINGLES ROOF. SEE EXTERIOR MATERIALS LEGEND.



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ELK RIDGE UT HERITAGE 23-2

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ELK RIDGE, UTAH COUNTY, UTAH 84651

JOB NUMBER: 501-2698
OWNER: Church of Jesus Christ of Latter Day
DATE: 02.09.2024
REV DATE DESCRIPTION

STORAGE
BUILDING
DETAILS

A590